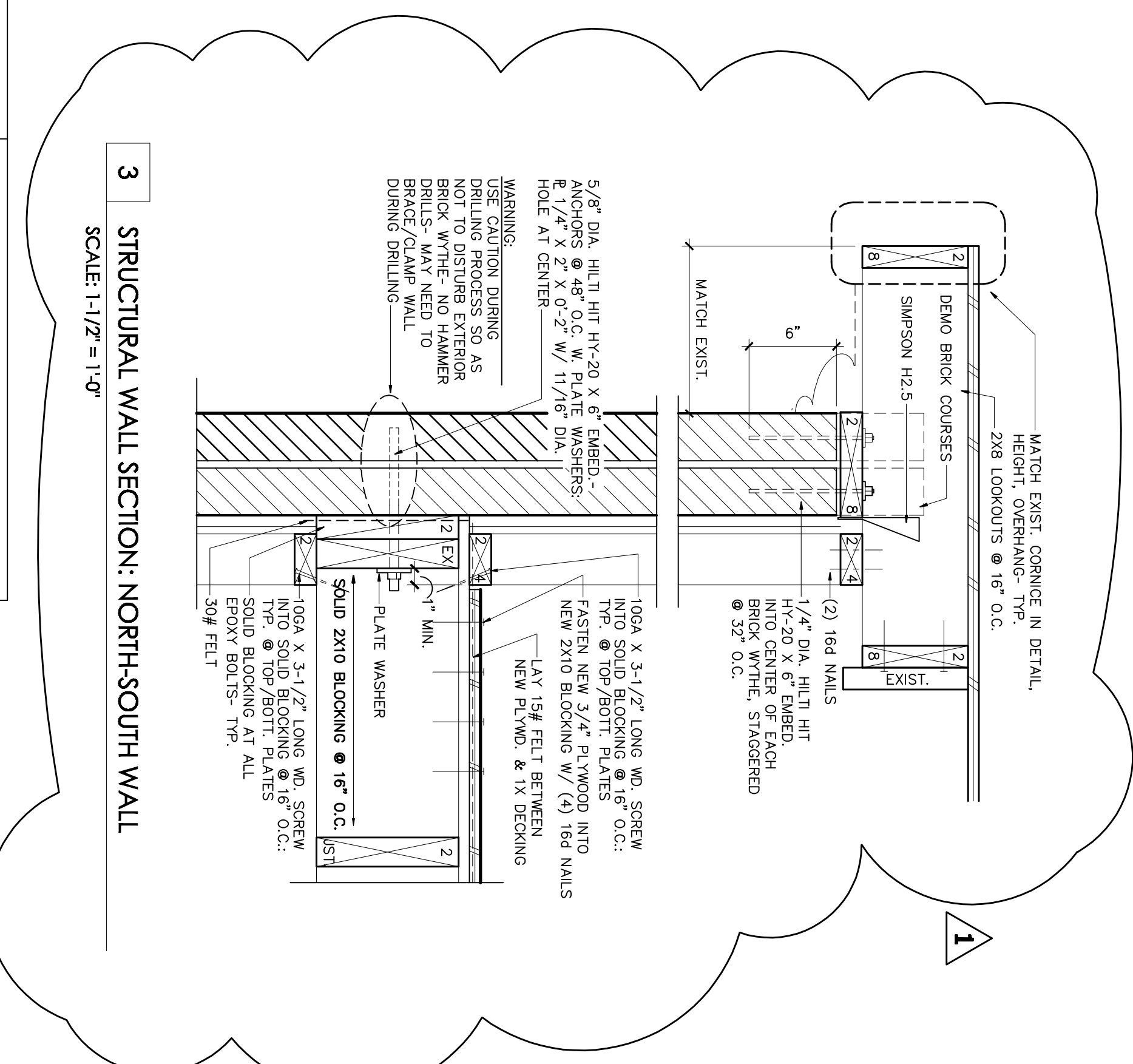


STRUCTURAL/FRAMING NOTES

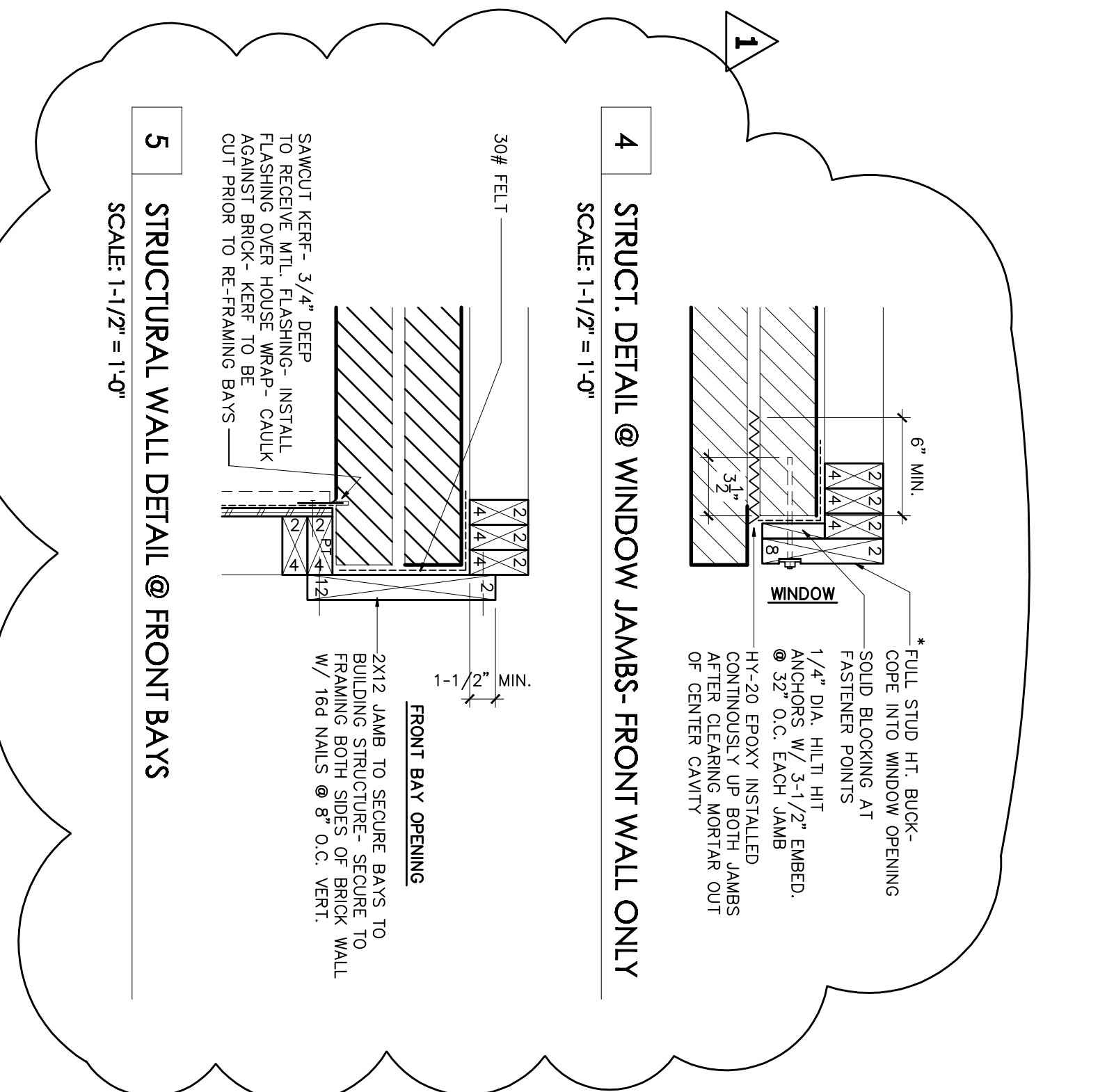
ALL BRIMS AND HEADERS LISTED IN THE STRUCTURAL DETAILS SHALL BE BELOW 5/8" SPIRAL REBAR WITHIN 12" OF BRIM. SET WITH BELOW FROM BOTTOM OF BRIM. ALL BRIMS SHALL BE SPANNED BY (1) LASH STUD AND (2) CONT. KING STUDS. UNLESS NOTED OTHERWISE (UNKN).
 ALL POSTS/STUDS SUPPORTING NEW BRIMS MUST HAVE A CONTINUOUS BEARING SURFACE ON THE FLOOR OR CEILING. ALL POSTS/STUDS SHALL BE SPANNED BY (1) LASH STUD AND (2) CONT. KING STUDS. UNLESS NOTED OTHERWISE (UNKN).
 ALL FRAMING LUMBER TO BE USED SHALL BE SP5 GRADED NO LESS THAN NO. 2 UNLESS OTHERWISE NOTED.
 REFLECT ANY WOOD HAVING EVIDENCE OF WATER DAMAGE OR DECAY TO THE ARCHITECT FOR REVISION. (TP) IN BRIDGE CONDITIONS ALL FRAMING LUMBER SHALL BE SP5 GRADED NO LESS THAN NO. 2 UNLESS OTHERWISE NOTED.
 REFLECT ANY WOOD HAVING EVIDENCE OF WATER DAMAGE OR DECAY TO THE ARCHITECT FOR REVISION. (TP) IN BRIDGE CONDITIONS ALL FRAMING LUMBER SHALL BE SP5 GRADED NO LESS THAN NO. 2 UNLESS OTHERWISE NOTED.

- LEGEND**
- SIMPSON FRAMING ANGLE
 - SIMPSON FRAMING ANGLE
 - SIMPSON FRAMING ANGLE
 - SIMPSON FRAMING ANGLE

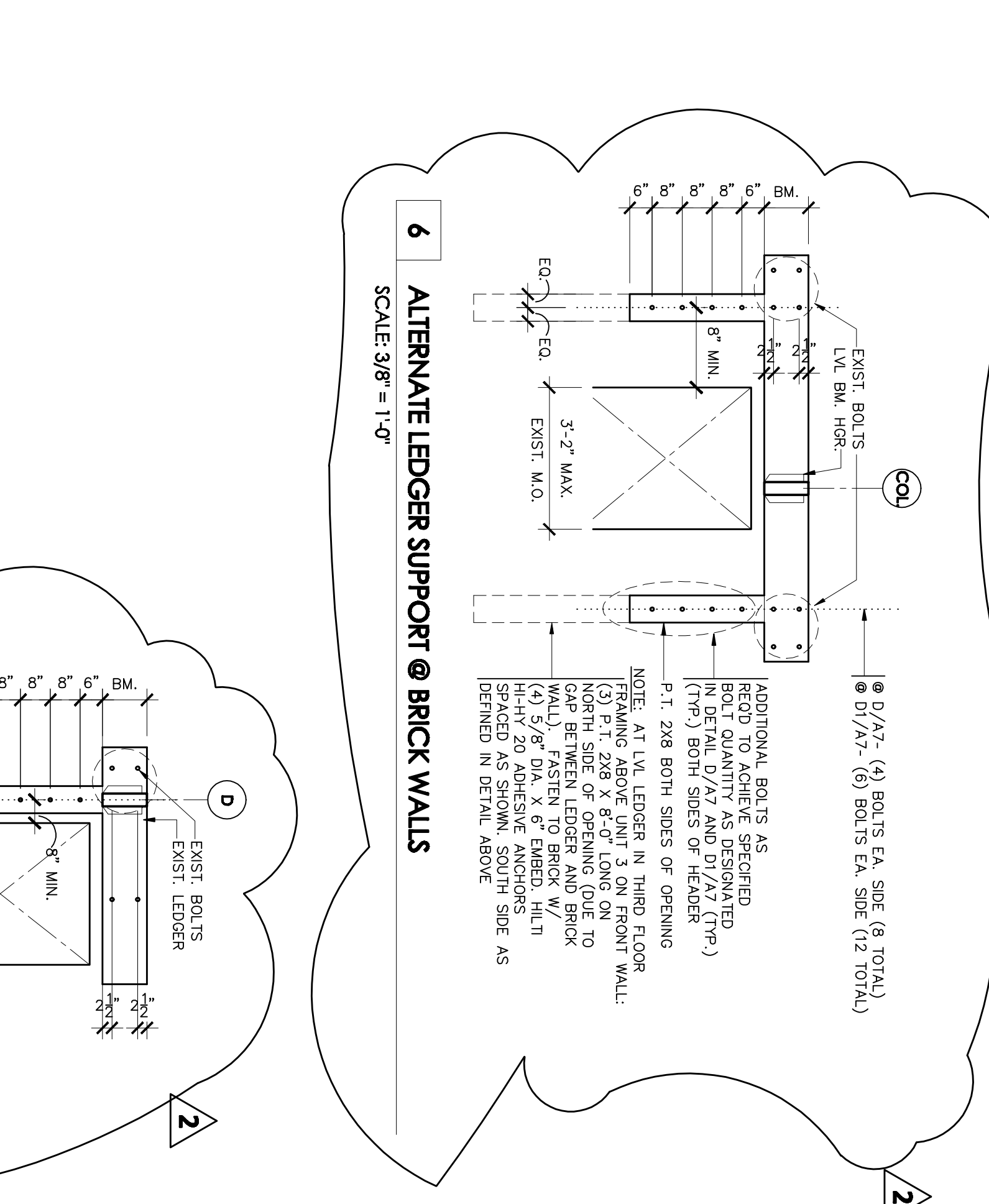
3 STRUCTURAL WALL SECTION: NORTH-SOUTH WALL
 SCALE: 1/2" = 1'-0"



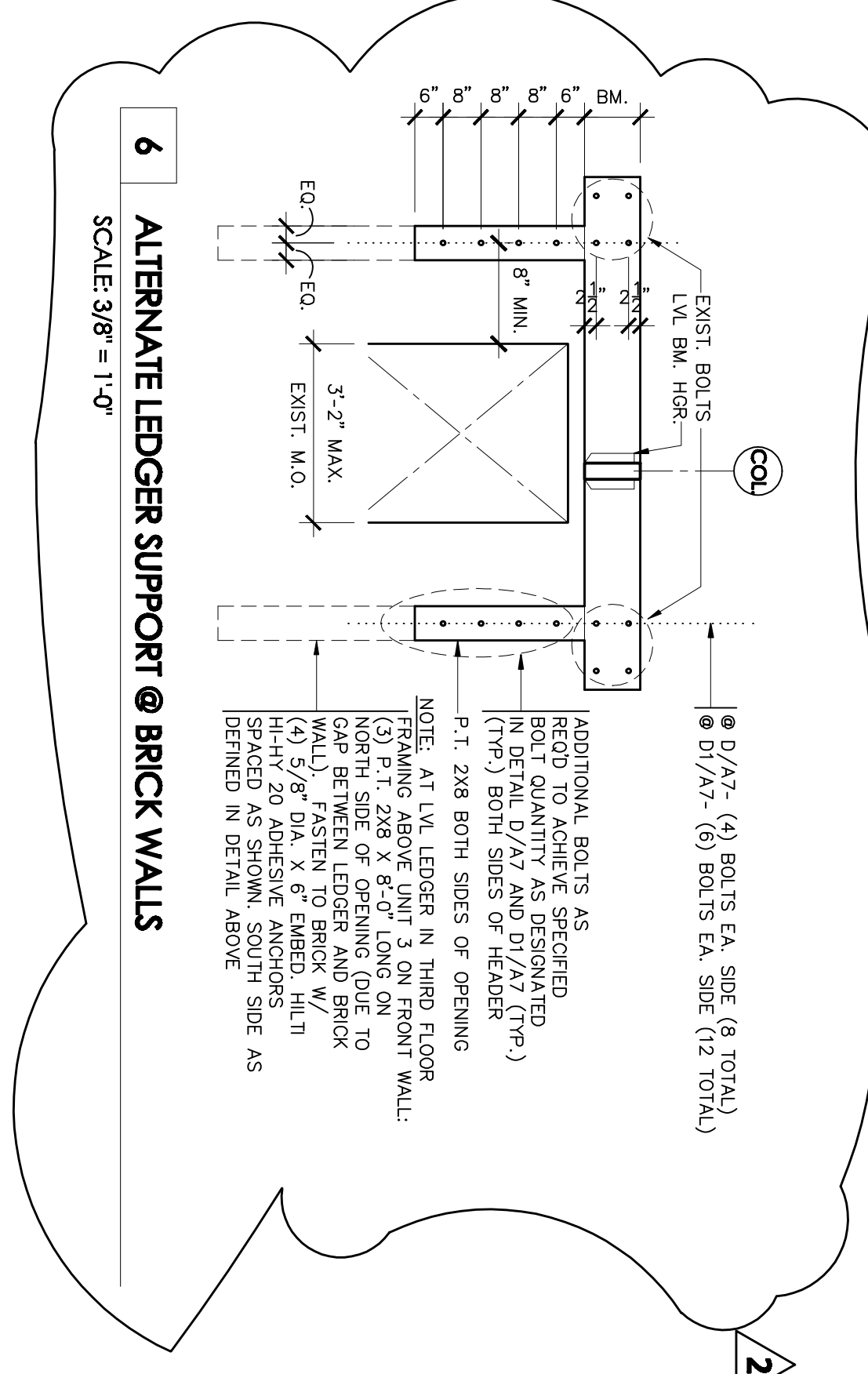
4 STRUCT. DETAIL @ WINDOW JAMBS- FRONT WALL ONLY
 SCALE: 1/2" = 1'-0"



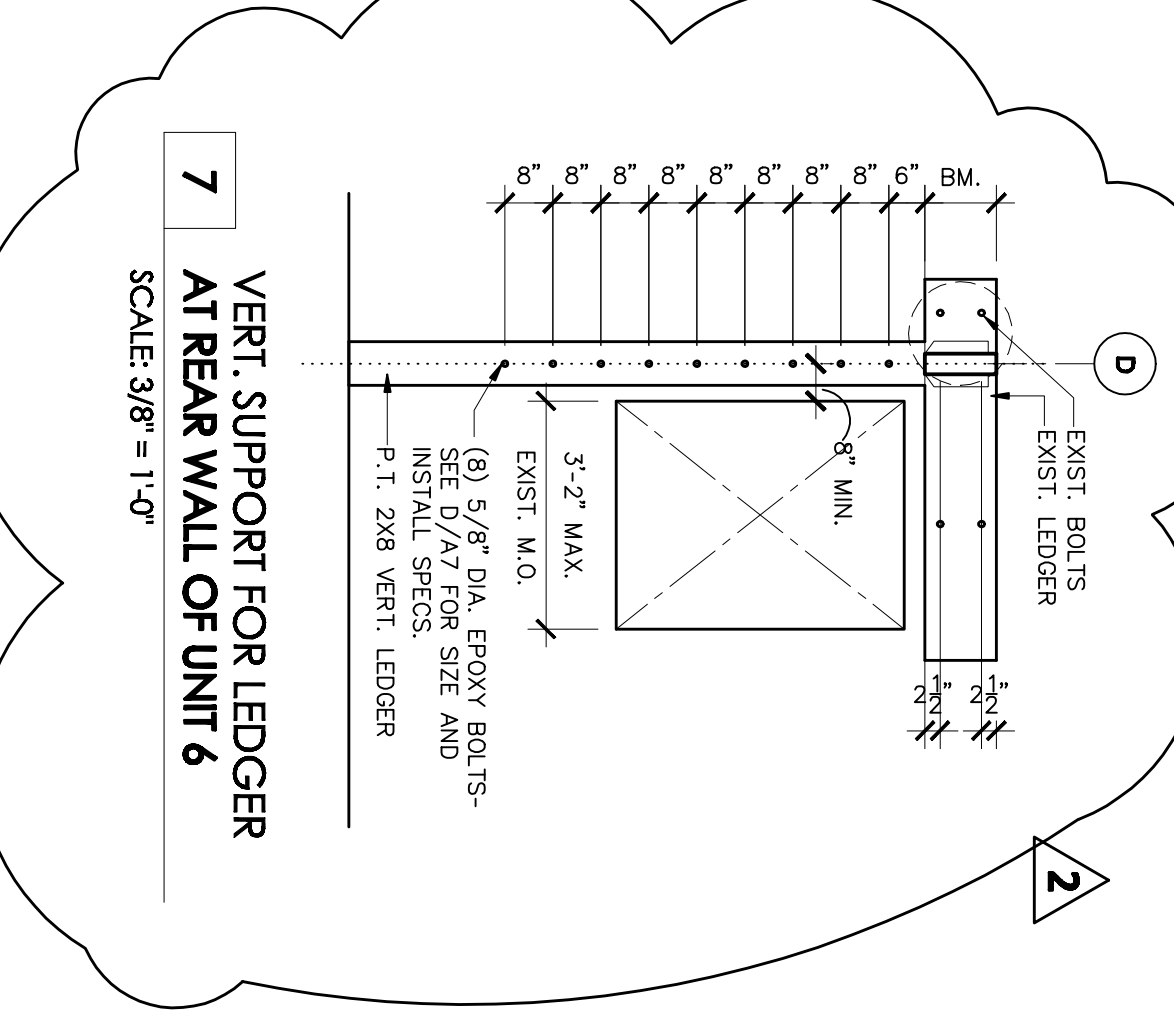
5 STRUCTURAL WALL DETAIL @ FRONT BAYS
 SCALE: 1/2" = 1'-0"



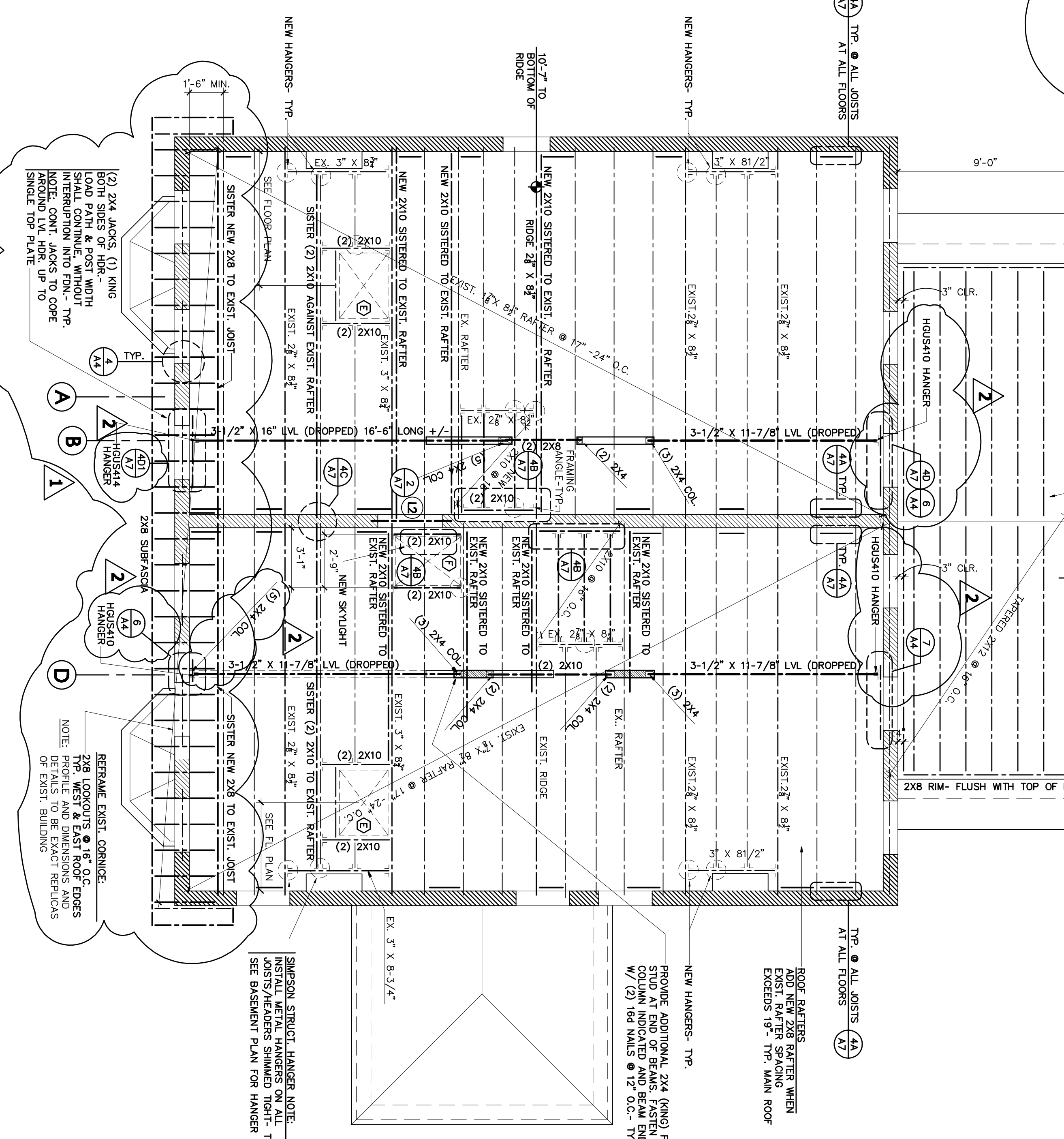
6 ALTERNATE LEDGER SUPPORT @ BRICK WALLS
 SCALE: 3/8" = 1'-0"



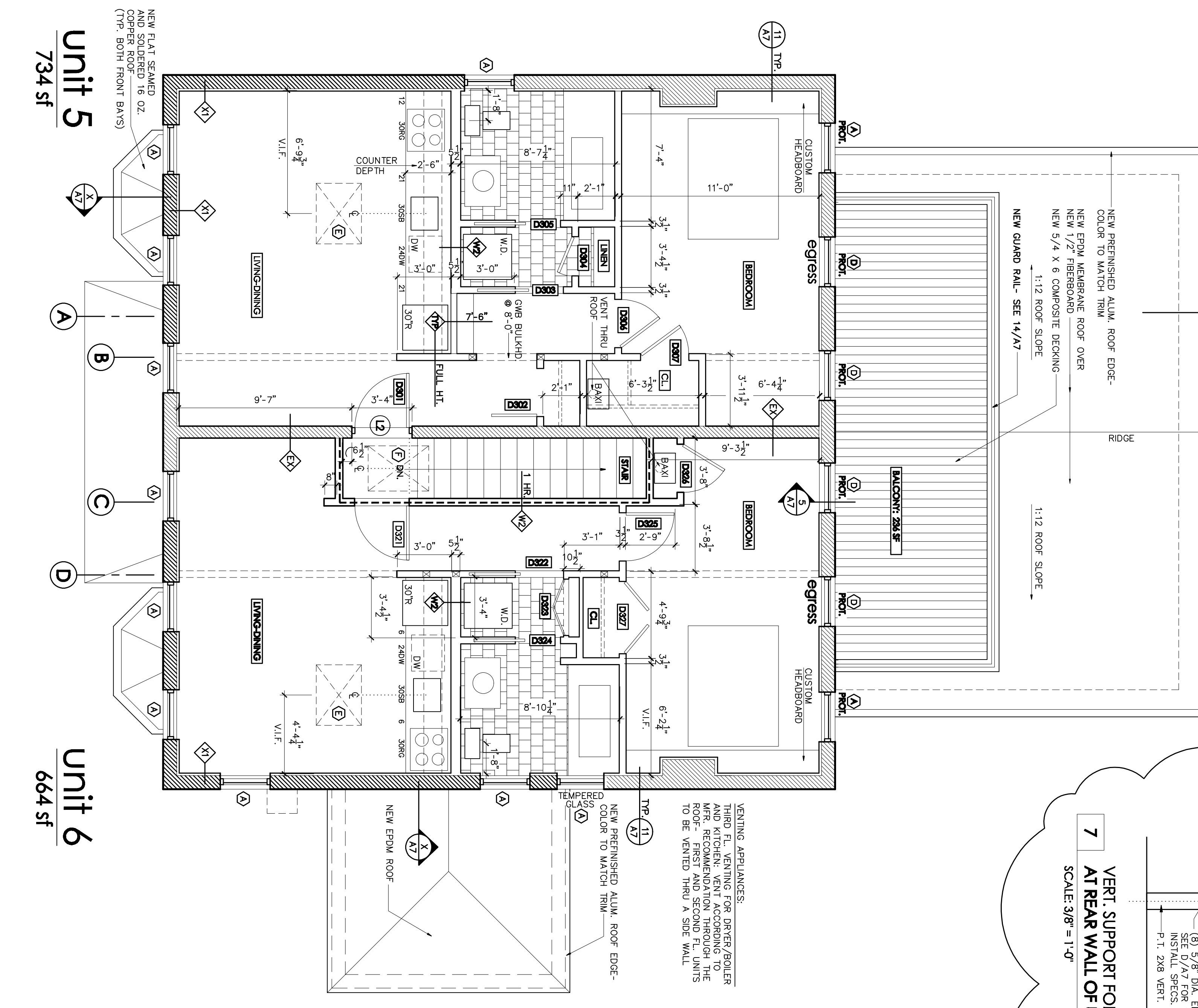
7 VERT. SUPPORT FOR LEDGER AT REAR WALL OF UNIT 6
 SCALE: 3/8" = 1'-0"



TP: ALL FLOORS
 REBAR SHALL BE SP5 GRADED NO LESS THAN NO. 2 UNLESS OTHERWISE NOTED.
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2 ROOF FRAMING PLAN



1 THIRD LEVEL PLAN

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201-203 State Street Condominiums
 Condominium Conversion, Portland, Maine

March 15, 2010
ROOF FRAMING/THIRD PLAN
CONSTRUCTION SET
 1 revised Sept. 9, 2010
 2 revised April 6, 2011

A4