

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1272	Issue Date:	CBL: 046 C008001
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Location of Construction: 14 VERNON PL	Owner Name: EVERITT ROSE M & WILLIAM	Owner Address: 14 VERNON PL	Phone:
Business Name:	Contractor Name: property owner	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: <i>Additions</i> Alterations - Dwellings	Zone: R-6

Past Use: Single Family Home	Proposed Use: Single Family Home - repair/ replace porch	Permit Fee: \$40.00	Cost of Work: \$2,000.00	CEO District: 2
Proposed Project Description: repair/ replace porch		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>R3</i> Type: <i>SB</i> <i>IPC 2003</i>	
		Signature: _____ Signature: <i>dm 11/30/09</i>		
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: Ldobson	Date Applied For: 11/10/2009	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <i>using section 14-425.</i> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK w/ cond. have</i> Date: <i>11/16/09 ASK</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <i>yes</i> <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>11/17/09 STH</i>
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PERMIT ISSUED

NOV 30 2009

City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>14 Vernon Place</u>		
Total Square Footage of Proposed Structure/Area <u>40 sq. ft.</u>	Square Footage of Lot <u>1,512 sq. FT</u>	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>46</u> Block# <u>8</u> Lot# <u>1553</u>	Applicant * must be owner, Lessee or Buyer * Name <u>WILLIAM EVERITT</u> Address <u>14 VERNON PL</u> City, State & Zip <u>04101</u>	Telephone: <u>671-1315</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>2,000</u> C of O Fee: \$ _____ Total Fee: \$ <u>40</u> <i>check enclosed</i>
Current legal use (i.e. single family) <u>Single family</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? <u>N/A</u> Proposed Specific use: <u>same</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Repair / replacement of porch</u>		
Contractor's name: <u>Doing it ourselves</u> Address: _____ City, State & Zip _____ Telephone: _____ Who should we contact when the permit is ready: _____ Telephone: _____ Mailing address: _____		

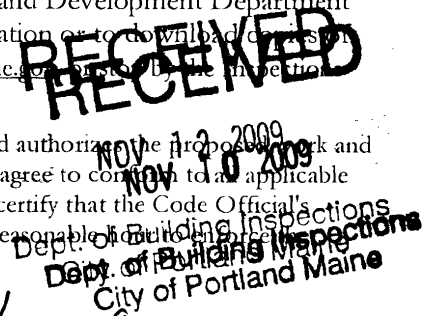
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov or by the Inspection Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorized me to make this application as his/her authorized agent. I agree to comply with all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable time for the purpose of inspecting the work and to download this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov or by the Inspection Division office, room 315 City Hall or call 874-8703.

Signature: William Everitt Date: 11/5/2009

This is not a permit; you may not commence ANY work until the permit is issued



DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT ISSUED

PERMIT

Permit Number: 091272

NOV 30 2009

Please Read
Application And
Notes, If Any,
Attached

This is to certify that EVERITT ROSE M & WILLIAM A EVERITT property owner
has permission to repair/replace porch
AT 14 VERNON PL City of Portland
CE# 046 C008001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is set-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other. _____

Department Name

Thomas M. MacKinnon 11/30/09
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1272	Date Applied For: 11/10/2009	CBL: 046 C008001
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Location of Construction: 14 VERNON PL	Owner Name: EVERITT ROSE M & WILLIAM A	Owner Address: 14 VERNON PL	Phone:
Business Name:	Contractor Name: property owner	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home - repair/ replace porch	Proposed Project Description: repair/ replace porch
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Dept: Historic	Status: Approved	Reviewer: Scott Hanson	Approval Date: 11/17/2009	Note:	Ok to Issue: <input checked="" type="checkbox"/>
Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 11/16/2009	Note: Using section 14-425 to add three steps off the rear of the entry porch. 15' rear setback. Footprint is 22.5 sf & it comes 5' 2 1/4" off of building.	Ok to Issue: <input checked="" type="checkbox"/>
<ol style="list-style-type: none"> 1) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District. 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval. 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. 					
Dept: Building	Status: Approved with Conditions	Reviewer: Tom Markley	Approval Date: 11/30/2009	Note:	Ok to Issue: <input checked="" type="checkbox"/>
<ol style="list-style-type: none"> 1) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work. 					

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

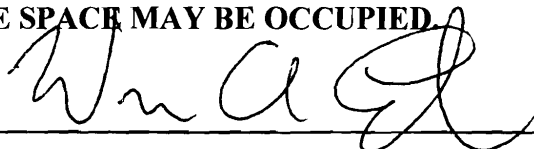
Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers

Final inspection required at completion of work.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

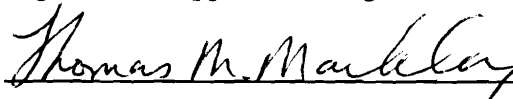
If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee

10/30/2009
Date



Signature of Inspections Official

11/30/09
Date



Residential Additions/Alterations Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000. in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at www.portlandmaine.gov, in the Inspection Office, Room 315 of Portland City Hall or call (207)874-8703 to have one mailed to you.

One (1) complete set of construction drawings must include:

- Cross sections w/framing details
- Floor plans and elevations existing & proposed
- N/A* Detail removal of all partitions & any new structural beams
- N/A* Detail any new walls or permanent partitions
- Stair details including dimensions of: rise/run, head room, guards/handrails, baluster spacing
- N/A* Window and door schedules
- N/A* Foundation plans w/required drainage and damp proofing (if applicable)
- N/A* Detail egress requirements and fire separation/sound transmission ratings (if applicable)
- N/A* Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IEEC 2003
- Deck construction including: pier layout, framing, fastenings, guards, stair dimensions
- Reduced plans or electronic files in pdf format are also required if original plans are larger than 11" x 17"
- Proof of ownership is required if it is inconsistent with the assessors records

Separate permits are required for internal & external plumbing, HVAC, and electrical installations.

If there are any additions to the footprint or volume of the structure, any new or rebuilt structures or, accessory detached structures a plot plan is required. A plot must include:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines. Structures include decks, porches; bow windows, cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown with dimensions if not to scale.
- Location and dimensions of parking areas and driveways
- N/A* A change of use may require a site plan exemption application to be filed.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.

WILLIAM A. EVERITT
14 VERNON PLACE
PORTLAND, MAINE 04101

November 5, 2009

Mr. Tom Markley
Code Enforcement Officer, Plan Reviewer
Planning & Development Department
City of Portland
389 Congress Street
Portland, Maine 04101

Dear Mr. Markley,

Enclosed, please find my application for a General Building Permit for repairing my porch.

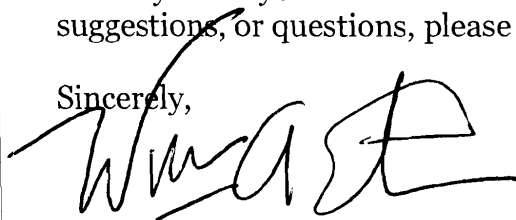
Currently, my porch is even with my front door (my only entrance/exit to my home). This means that each winter, snow and ice build-up makes it difficult to open/close my door. My wife and I have lived in the house for three winters now. Having had a baby girl this past year, the ice jam/door issue has gone from becoming a nuisance to being a safety issue to us. To remedy this problem, I propose to lower my porch by 6 inches.

In doing so, I plan to replace and repair rotting or damaged portions of the structure. Being in a historic district (and as the Historic Preservation Division recommends), I will use as much of the existing porch as possible (much of the understructure, including at least five posts, will be kept intact). I also propose to add a set of stairs from the western side of the porch to make loading and unloading of my car easier (my driveway is very narrow). Other than the three additional stairs, the footprint of the porch will remain exactly the same as it is currently (5' 2 1/4" by 8').

You will see that I have already received my Historic Preservation Certificate of Appropriateness (copy enclosed).

Thank you for your time and consideration of this application. If you have any comments, suggestions, or questions, please do not hesitate to call me.

Sincerely,



Will Everitt
14 Vernon Place
Portland, Maine 04101
Cell: 671-1315
Email: willeveritt@maine.rr.com

Enclosed: Historic Preservation Certificate of Appropriateness; Application; Residential Additions/Alterations Permit Application Checklist; digital rendering of proposed porch; understructure framing details; site elevation; Detail: risers, treads, & newel post for east (existing) steps and west (new) steps; site plan; \$40 check for fee.

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

**CITY OF PORTLAND
HISTORIC PRESERVATION
CERTIFICATE OF APPROPRIATENESS**

This is to certify that

WILLIAM EVERETT

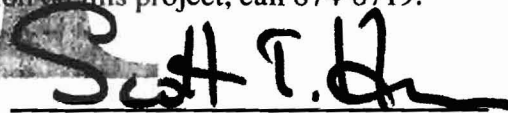
has received approval for

PORCH WORK

at

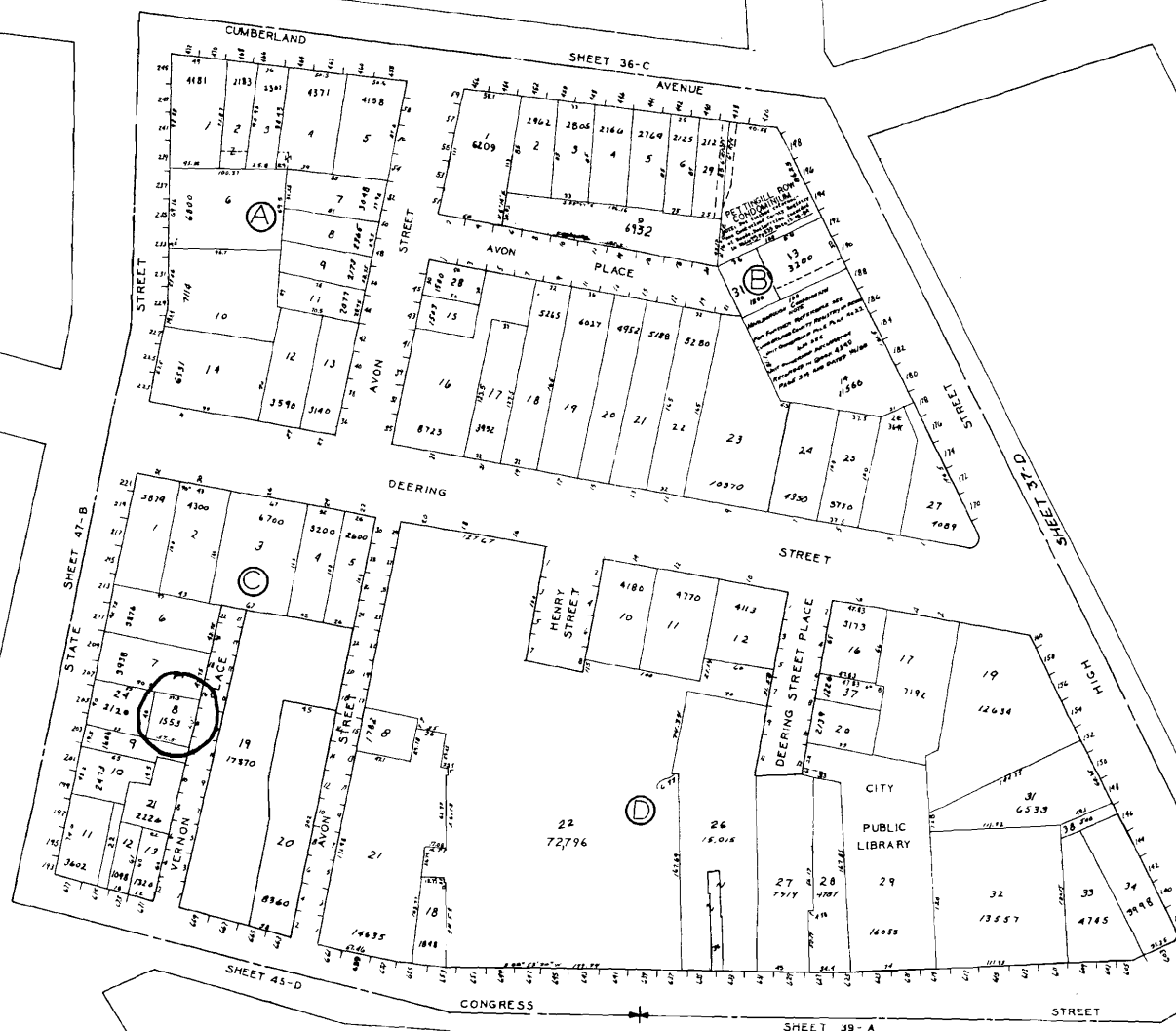
14 VERNON PLACE

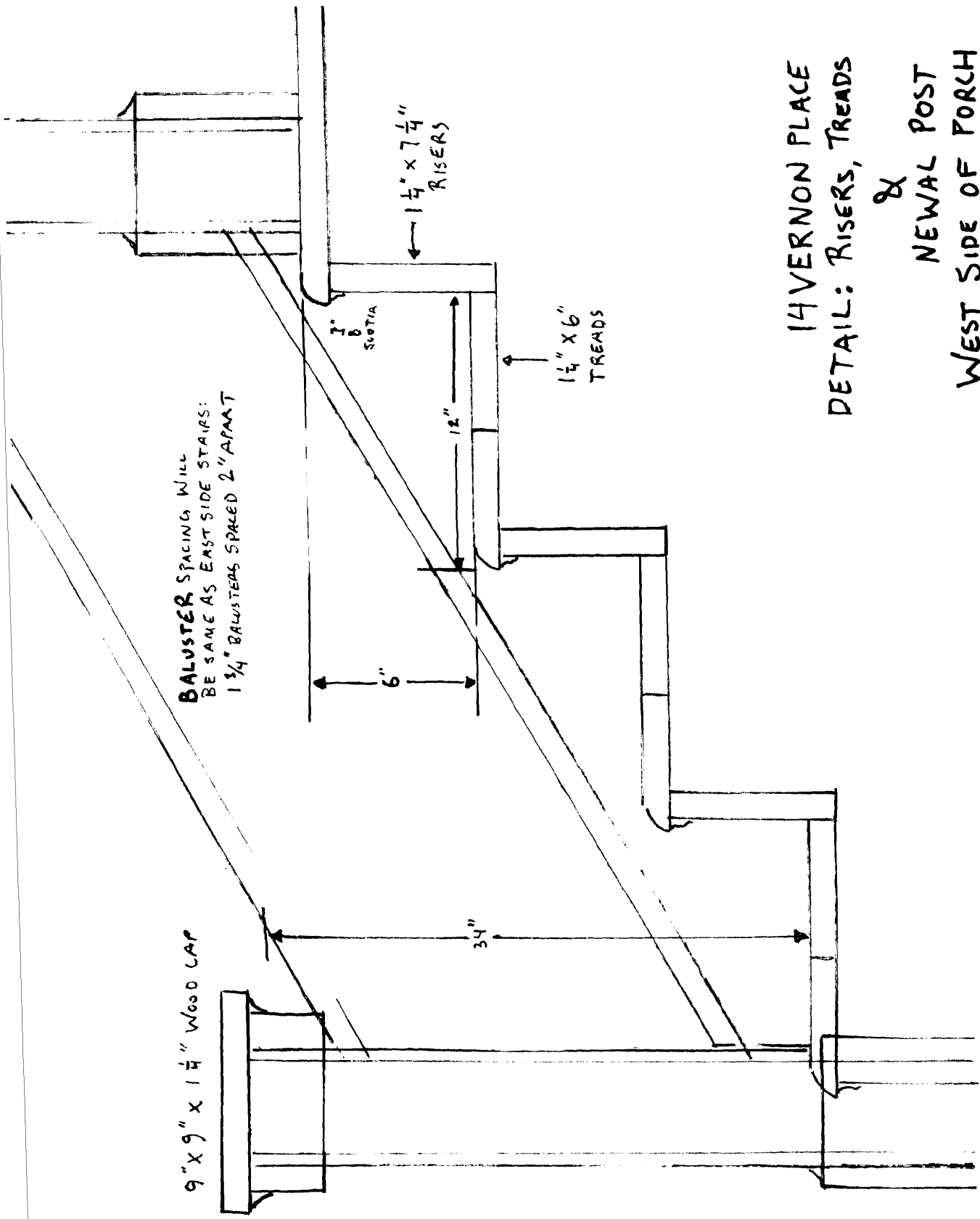
provided that the person or persons, firm or corporation accepting this Certificate shall comply with all other applicable provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in the Historic Preservation Office of the Planning Department. For more information on this project, call 874-8719.



Historic Preservation Manager

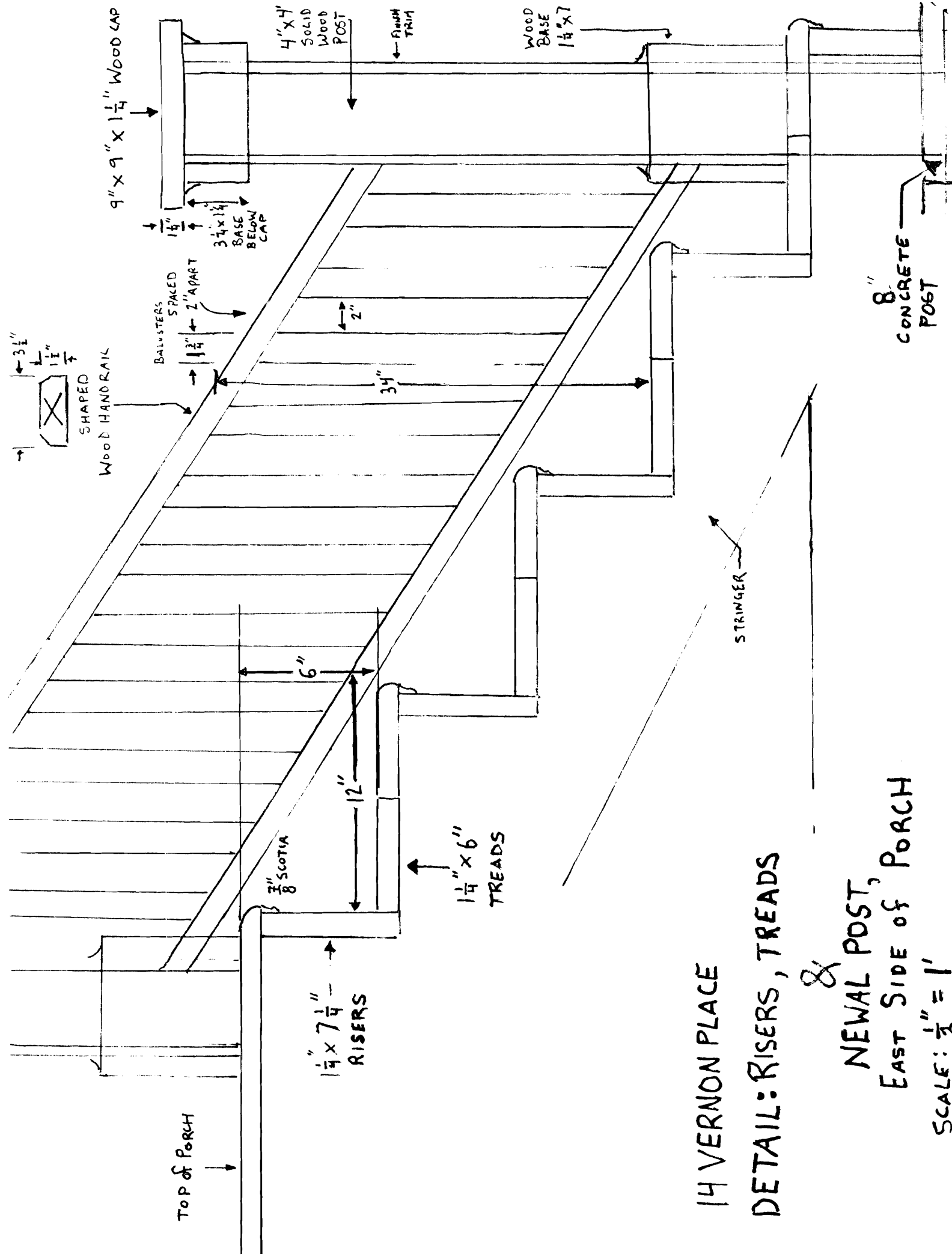
NOTE: THIS IS NOT A BUILDING PERMIT





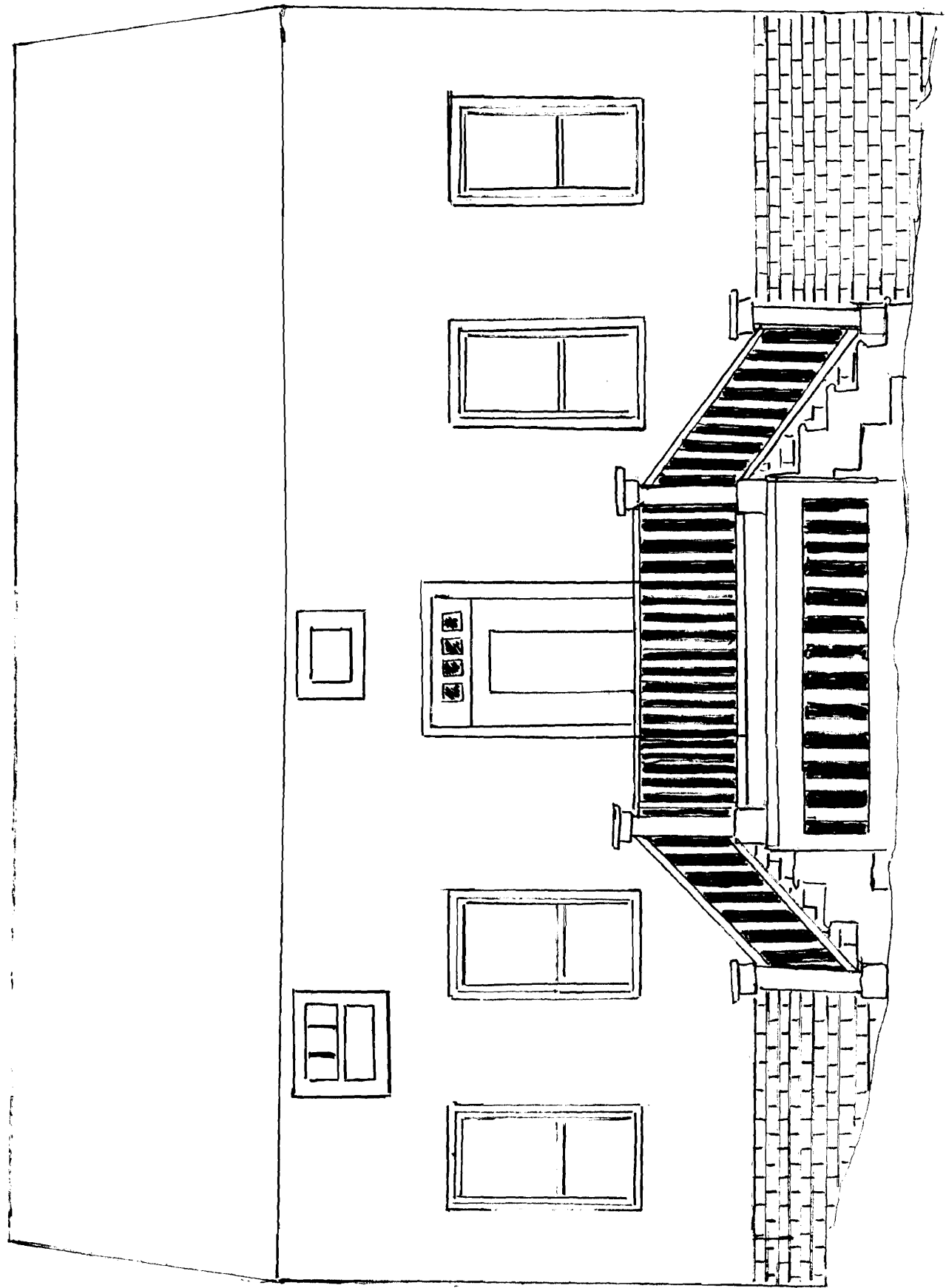
14 VERNON PLACE
 DETAIL: RISERS, TREADS

&
 NEWAL POST
 WEST SIDE OF PORCH
 SCALE: 1/2" = 1'



14 VERNON PLACE
 &
 DETAIL: RISERS, TREADS
 NEWAL POST,
 EAST SIDE OF PORCH
 SCALE: 1/2" = 1'

ELEVATION: 14 VERNON PLACE FORCH
 $\frac{1}{3}'' = 1'$





This is a DIGITAL RENDERING of the porch we have planned: three stairs on the west side (left side of this picture) and four on the right. Our property slopes gently downward from west to east. The west side of the porch is six inches higher than the east side (thus needs one less step).

Porch Information

Foundation system: 8" diameter concrete filled tube/concrete post 4'-0" below grade.

Columns: 4"X4" pressure treated (concrete post)

Framing members (see enclosed detail):

- 2"X8" ledger
- 5/16" X 4" lag bolt spaced every 2 feet on ledger
- Flashing: top of ledger board
- Girder size/span: 2"X8"
- Joist: 2"X8" 16" on center spacing
- Joist hangers: metal galvanized hangers
- Decking size: 5/4" X 6"

Guardrails & Handrail Details (see enclosed details):

- Guardrail height: 34"
- Baluster spacing: 2"
- Handrail height: 34"

Stair details (see enclosed details):

- Tread depth: 12"
- Riser height: 6"
- Nosing on tread: 7/8"
- Stair width: 47 7/8"

14 VERNON PL

PORCH UPKEEP & REPLACEMENT SCALE = $\frac{1}{2}'' = 1'$

A, B, C, D, & E = EXISTING 4" X 4" POSTS [DO NOT & WILL NOT NEED TO BE REPLACED] IN CONCRETE
F, G, H, I, J = NEW 4" X 4" POSTS IN CONCRETE - POSTS WILL BE PRESSURE TREATED

UPPER DECK OF PORCH WILL BE COVERED WITH 14" X 6" BOARDS: SAME AS THE TREADS OF THE STAIRS

2" X 8" BOARDS MARKED 1-7 DO NOT NEED TO BE REPLACED

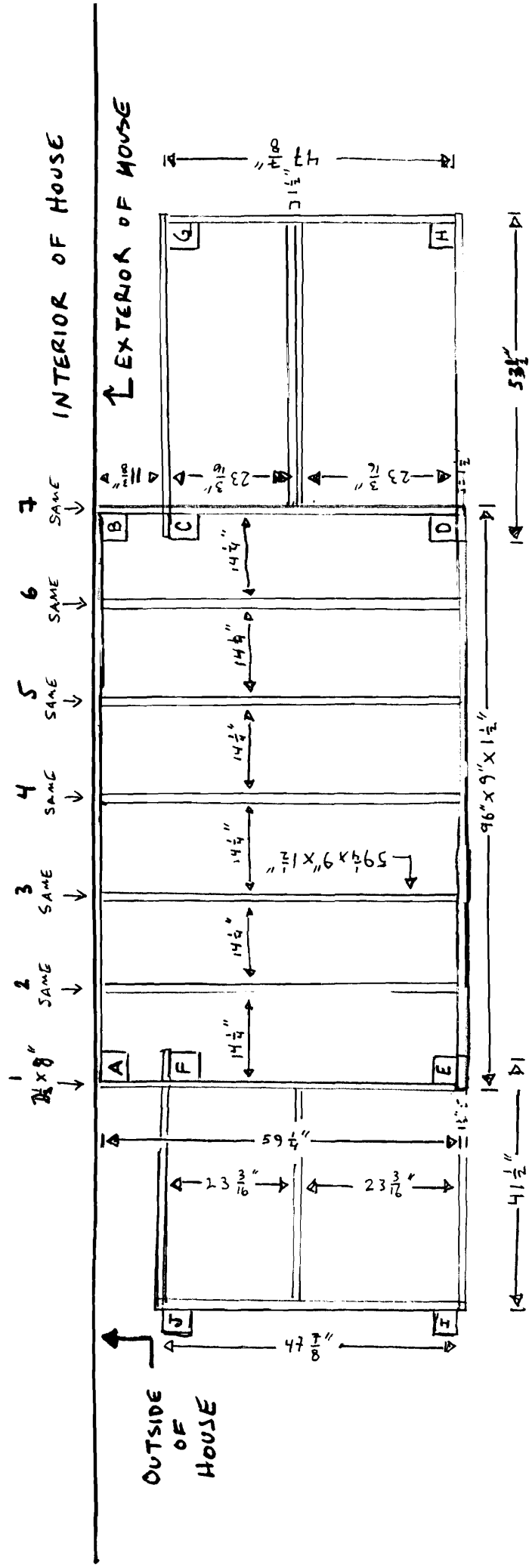
TYPE OF FOUNDATION: CONCRETE POST 8" DIAMETER 4' BELOW GRADE.

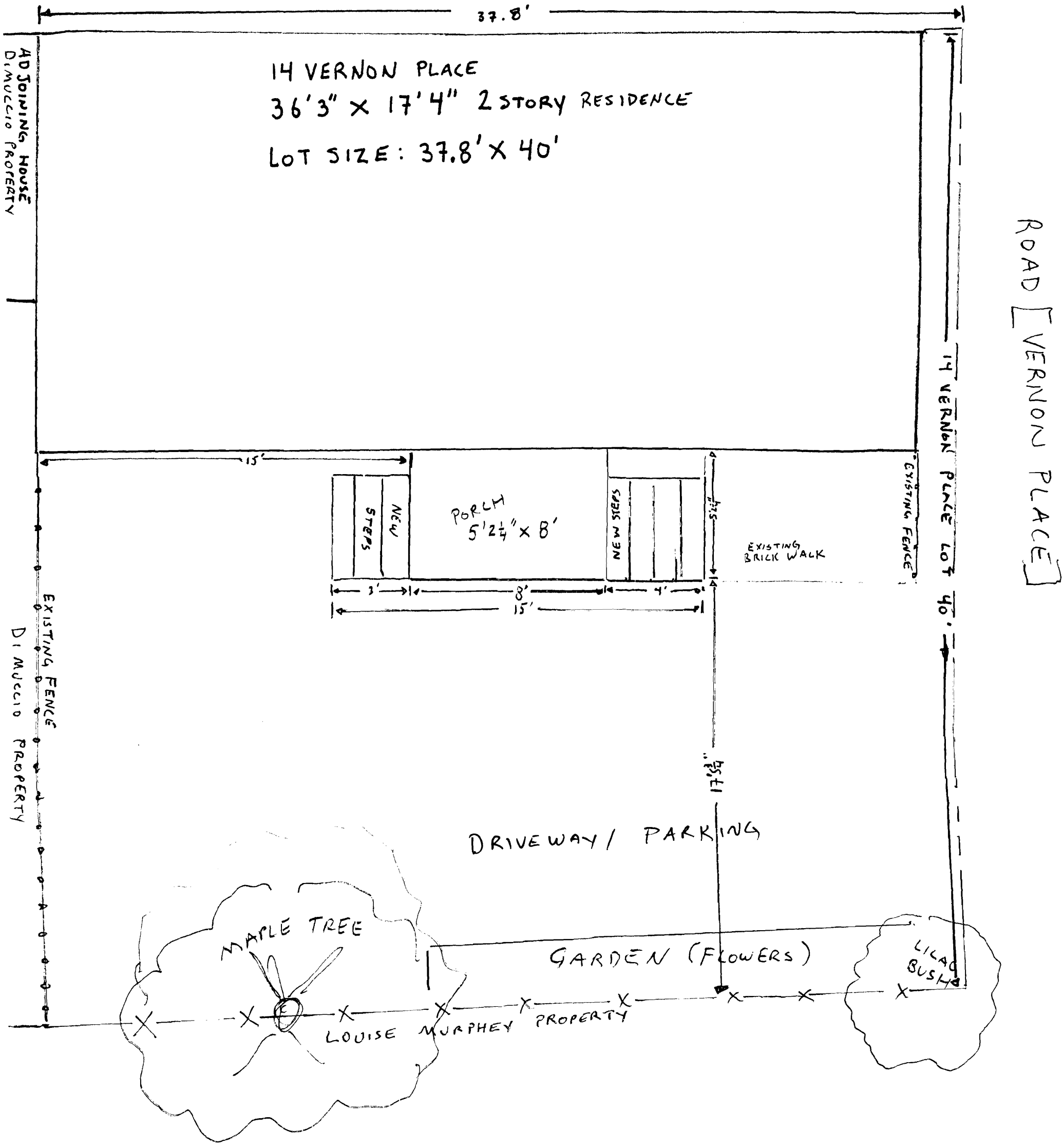
FRAMINGS: 2 X 8 ledgers attached to building. 5/16" X 4" lag bolt every two feet

Flashing: top of ledger board.

Girder span: 16" on center 2" X 8" -- with METAL GALVANIZED HANGERS

Decking: 5/4" X 6"





R-6
 1500 sq ft -
 land area per acre = 1000 (OK)
 front is 10' - existing 7/16
 * rear - 20 - 15' given (OK)
 side - 10' - 17' 1/2" given (OK)
 lot coverage 50% = 750

existing house - $36.25 \times 17.33 = 628.21$
 - porch $5.25 \times 8 = 42$
 - front steps $4 \times 4 = 16$
 - rear steps $4 \times 3 = 12$
 698.21

SITE PLAN
 14 VERNON PLACE
 PORCH REPLACEMENT

* section 14-425 50% - $4 \times 3 = 12$
 $2 \times 5.25 = 10.5$
 22.5
 cliff building - 5' 2 1/4" (OK)