

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

## CITY OF PORTLAND

Please Read  
Application And  
Notes, If Any,  
Attached

BUILDING DEPARTMENT  
PERMIT

PERMIT ISSUED

Permit Number: 070381

MAY 18 2007

This is to certify that SMITH STEPHEN A & ELIZABETH A SMITH ITS/TBD  
has permission to Change of use from 2 family to single family - Remove kitchen and 1/2 baths and make unit into 2 units  
AT 13 DEERING ST OREGON 97202 DISTRICT 046 B021001

CITY OF PORTLAND

provided that the person or persons from or for whom this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permit on project before this building or part thereof is leased or occupied. Closed-in areas require 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

## OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

Director: Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

# City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0381	Issue Date: 05/08/2007	CBL: 046 B021001
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Location of Construction: 13 DEERING ST	Owner Name: SMITH STEPHEN A & ELISE A S	Owner Address: 13 DEERING ST	Phone:
Business Name:	Contractor Name: TBD	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Dwellings	Zone:

Past Use: 2 unit residential	Proposed Use: Single Family Home - Change of use from 2 family to single family - Remove one kitchen and make interior renovations	Permit Fee: \$515.00	Cost of Work: \$42,000.00	CEO District: 2
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group                      Type	

Proposed Project Description: Change of use from 2 family to single family - Remove one kitchen and make interior renovations	Signature:	Signature:
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:	Date:	

Permit Taken By: Idobson	Date Applied For: 04/10/2007	<b>Zoning Approval</b>
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<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date:	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
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## CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
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RESPONSIBLE PERSON IN CHARGE OF WORK. TITLE	DATE	PHONE
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10/14/07 - Close-in inspr

Elect. O.K.

Plumbing. O.K.

5#

20#

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Framing O.K.

\* Need to add fire wall in  
attic to continue Brick  
wall.

\* Add fire blocking misc areas.  
13' span in Dining Rm.  
2/2x12 to wide.  
will add col.  
max span 8-1  
a:

12/21/07 Not quite ready for  
Occupancy - Elect. Not complete  
Appl. Not set.  
Handrails.

Temp - Possible - 12/24/07

1/12/08 - Final Inspection -  
All items addressed  
Close-out  
wow - Great Bldg.  
CNA

Close-out.

<b>Location of Construction:</b> 13 DEERING ST	<b>Owner Name:</b> SMITH STEPHEN A & ELISE A SM	<b>Owner Address:</b> 13 DEERING ST	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> TBD	<b>Contractor Address:</b>	<b>Phone</b>
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Change of Use - Dwellings	<b>Zone:</b>

**Dept:** Historic      **Status:** Approved with Conditions      **Reviewer:** Deborah Andrews      **Approval Date:** 04/17/2007

**Note:** **Ok to Issue:**

- 1) \* Work to be consistent with HP Board approval on 1/17/07 for 1) installation of skylights; 2) removal of 2 chimneys; installation of rooftop condensers

**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 04/11/2007

**Note:** There was a home occupation (beauty salon) on the first floor, but ther is no permit for it and it is being removed with the change of use to a single family home. **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) With the issuance of this permit and the certificate of occupancy, this property will be a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tammy Munson      **Approval Date:** 05/08/2007

**Note:** **Ok to Issue:**

- 1) Fire blocking must be installed at all soffits.
- 2) There must be a 2" clearance maintained between the chimney and any combustible material, with draft stopping per code at each level
- 3) The basement is NOT approved as habitable space.
- 4) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 5) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.

### CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

\_\_\_\_\_  
SIGNATURE OF APPLICAN

\_\_\_\_\_  
ADDRESS

\_\_\_\_\_  
DATE

\_\_\_\_\_  
PHO

\_\_\_\_\_  
RESPONSIBLE PERSON IN CHARGE OF WORK, TIT

\_\_\_\_\_  
DATE

\_\_\_\_\_  
PHO

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0381	Date Applied For: 04/10/2007	CBL: 046 B021001
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Location of Construction: 13 DEERING ST	Owner Name: SMITH STEPHEN A & ELISE A S	Owner Address: 13 DEERING ST	Phone:
Business Name:	Contractor Name: TBD	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Dwellings	

Proposed Use: Single Family Home - Change of use from 2 family to single family - Remove one kitchen and make interior renovations	Proposed Project Description: Change of use from 2 family to single family - Remove one kitchen and make interior renovations
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Dept: Historic      Status: Approved with Conditions      Reviewer: Deborah Andrews      Approval Date: 04/17/2007

Note: Ok to Issue:

- 1) \* Work to be consistent with HP Board approval on 1/17/07 for 1) installation of skylights; 2) removal of 2 chimneys; installation of rooftop condensers

Dept: Zoning      Status: Approved with Conditions      Reviewer: Ann Machado      Approval Date: 04/11/2007

Note: There was a home occupation (beauty salon) on the first floor, but there is no permit for it and it is being removed with the change of use to a single family home. Ok to Issue:

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- 2) With the issuance of this permit and the certificate of occupancy, this property will be a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.

Dept: Building      Status: Approved with Conditions      Reviewer: Tammy Munson      Approval Date: 05/08/2007

Note: Ok to Issue:

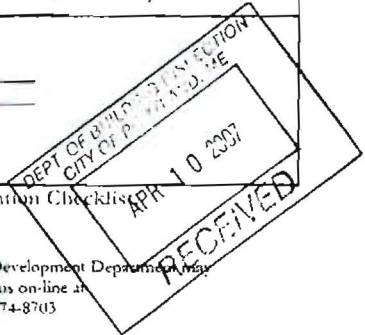
- 1) Fire blocking must be installed at all soffits.
- 2) There must be a 2" clearance maintained between the chimney and any combustible material, with draft stopping per code at each level
- 3) The basement is NOT approved as habitable space.
- 4) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process
- 5) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>12 Deering Street Portland</u>		
Total Square Footage of Proposed Structure <u>EXIST: 3788 PROPOSED: 3788</u>		Square Footage of Lot <u>5184</u>
Tax Assessor's Chart, Block & Lot Chart# <u>46</u> Block# <u>B</u> Lot# <u>21</u>	Owner: <u>Stephen &amp; Elise Smith</u>	Telephone: <u>207 332 9584</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Stephen Smith</u> <u>305 Commercial St #311</u> <u>Portland ME 04101</u>	Cost Of Work: <u>\$42,000</u> Fee: \$ _____ C of O Fee: \$ _____
Current legal use (i.e. single family) <u>2 family (+ home business space)</u> If vacant, what was the previous use? <u>2 fam + home business</u> Proposed Specific use: <u>SINGLE FAMILY</u> Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: <u>Remove: 2 kitchens &amp; 1 1/2 bath; 2 sections of struct wall,</u> <u>Install: 1 kitchen &amp; 1 1/2 bath. Misc minor non-struct partitions,</u> <u>(Misc. repair/restructure finishes, not incl in cost.)</u>		
Contractor's name, address & telephone: <u>To be determined.</u>		
Who should we contact when the permit is ready: <u>Stephen Smith</u> Mailing address: <u>305 Commercial St #311</u> Phone: <u>207, 332, 9588</u> <u>Portland ME 04101</u>		



Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>4/5/07</u>
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This is not a permit; you may not commence ANY work until the permit is issued.



## Residential Additions/Alterations Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$1000. in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at [www.portlandmaine.gov](http://www.portlandmaine.gov), in the Inspection Office, Room 315 of Portland City Hall or call (207)874-8703 to have one mailed to you.

One (1) complete set of construction drawings must include:

- Cross sections w/framing details
- Floor plans and elevations existing & proposed
- Detail removal of all partitions & any new structural beams
- Detail any new walls or permanent partitions
- Stair details including dimensions of: rise/run, head room, guards/handrails, baluster spacing - NA
- Window and door schedules
- Foundation plans w/required drainage and damp proofing (if applicable) NA
- Detail egress requirements and fire separation/sound transmission ratings (if applicable) NA
- Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IECC 2003 NA
- Deck construction including: pier layout, framing, fastenings, guards, stair dimensions NA
- Reduced plans or electronic files in pdf format are required if originals are larger than 11" x 17" NA
- Proof of ownership is required if it is inconsistent with the assessors records NA
- Site plan for reference.

Separate permits are required for internal & external plumbing, HVAC, and electrical installations.

If there are any additions to the footprint or volume of the structure, any new or rebuilt structures or, accessory detached structures a plot plan is required. A plot must include. NA

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines. Structures include decks, porches, bow windows, cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown with dimensions if not to scale.
- Location and dimensions of parking areas and driveways
- A change of use may require a site plan exemption application to be filed.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost  
This is not a Permit; you may not commence any work until the Permit is issued.





April 3, 2007

Attachments to General Building Permit Application

for

13 Deering Street  
Portland ME 04101

Elise and Stephen Smith, Owners  
306 Commercial St. #311  
Portland ME 04101  
(207) 332-9588

S-1 Site Plan

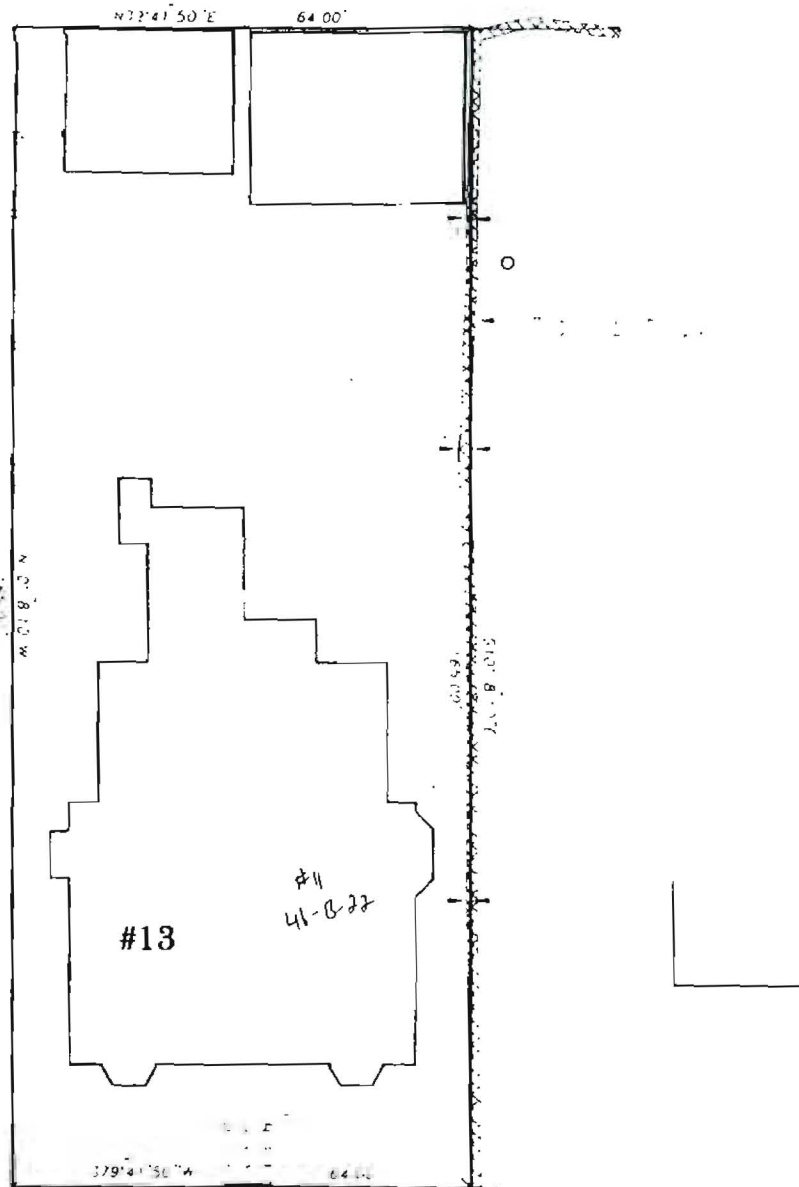
E-1 Basement South - Existing / Demo  
E-2 Basement North - Existing / Demo  
E-3 Floor 1 South - Existing / Demo  
E-4 Floor 1 North - Existing / Demo  
E-5 Floor 2 - Existing / Demo  
E-6 Floor 3 - Existing / Demo

D-1 Basement South - Proposed Plan  
D-2 Basement North - Proposed Plan  
D-3 Floor 1 South - Proposed Plan  
D-4 Floor 1 North - Proposed Plan  
D-5 Floor 2 - Proposed Plan  
D-6 Floor 3 - Proposed Plan

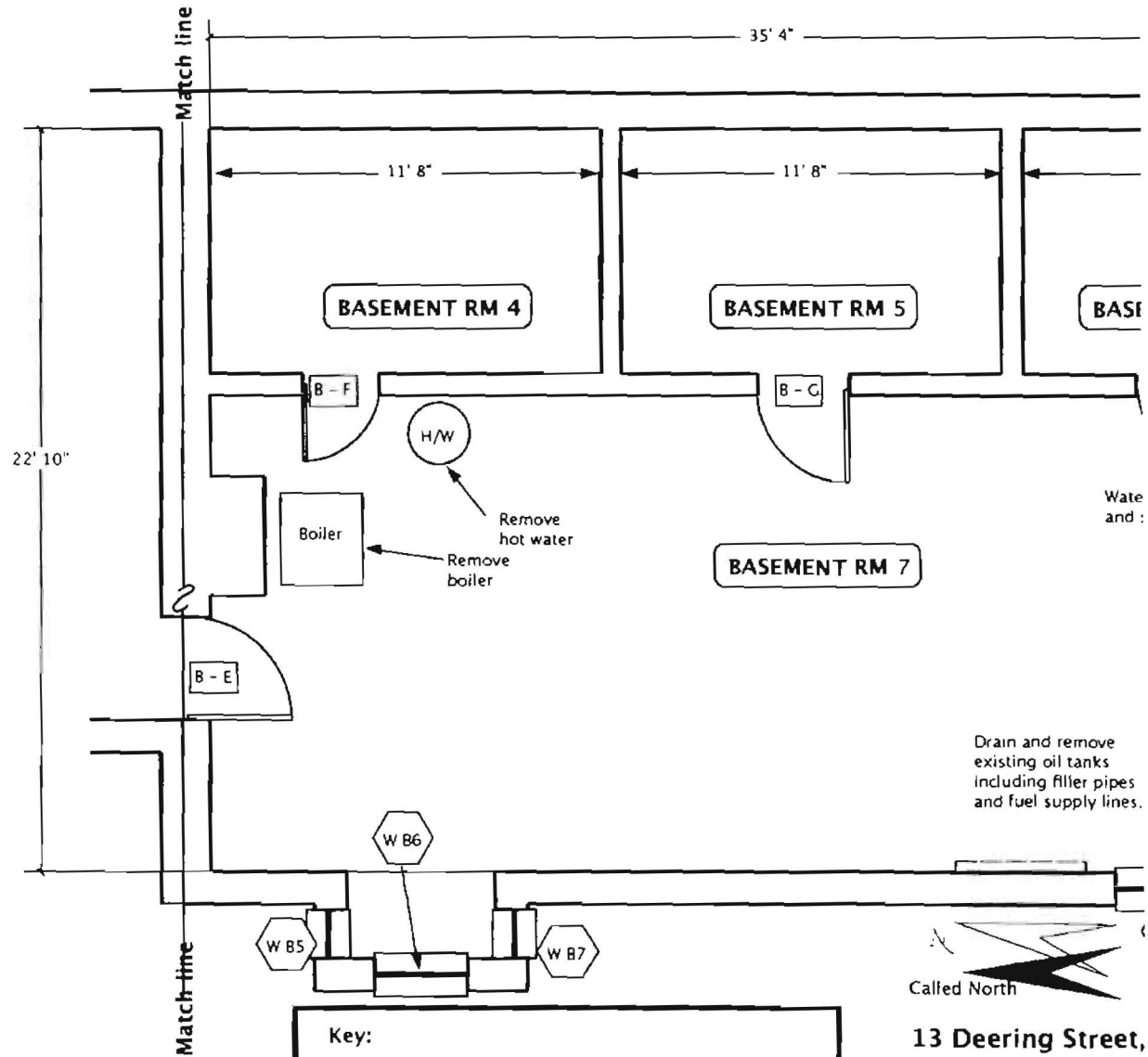
F-1 NOT USED  
F-2 Structural - Dining Room/Living Room - Opening Support  
F-3 Structural - Dining Room/Living Room - Header Installation  
F-4 Structural - Header Size & Installation - Opening in Brick Wall  
F-5 Structural - Support Beam Under Master Bath  
F-6 Structural - Support Beam Installation and Details

Window and Skylight Schedule  
Door and Wall Openings Schedule

won Place



ering Street



Owner:  
 Elise and Stephen Smith  
 305 Commercial St. #311  
 Portland ME 04101  
 (207) 332-9588

**Key:**

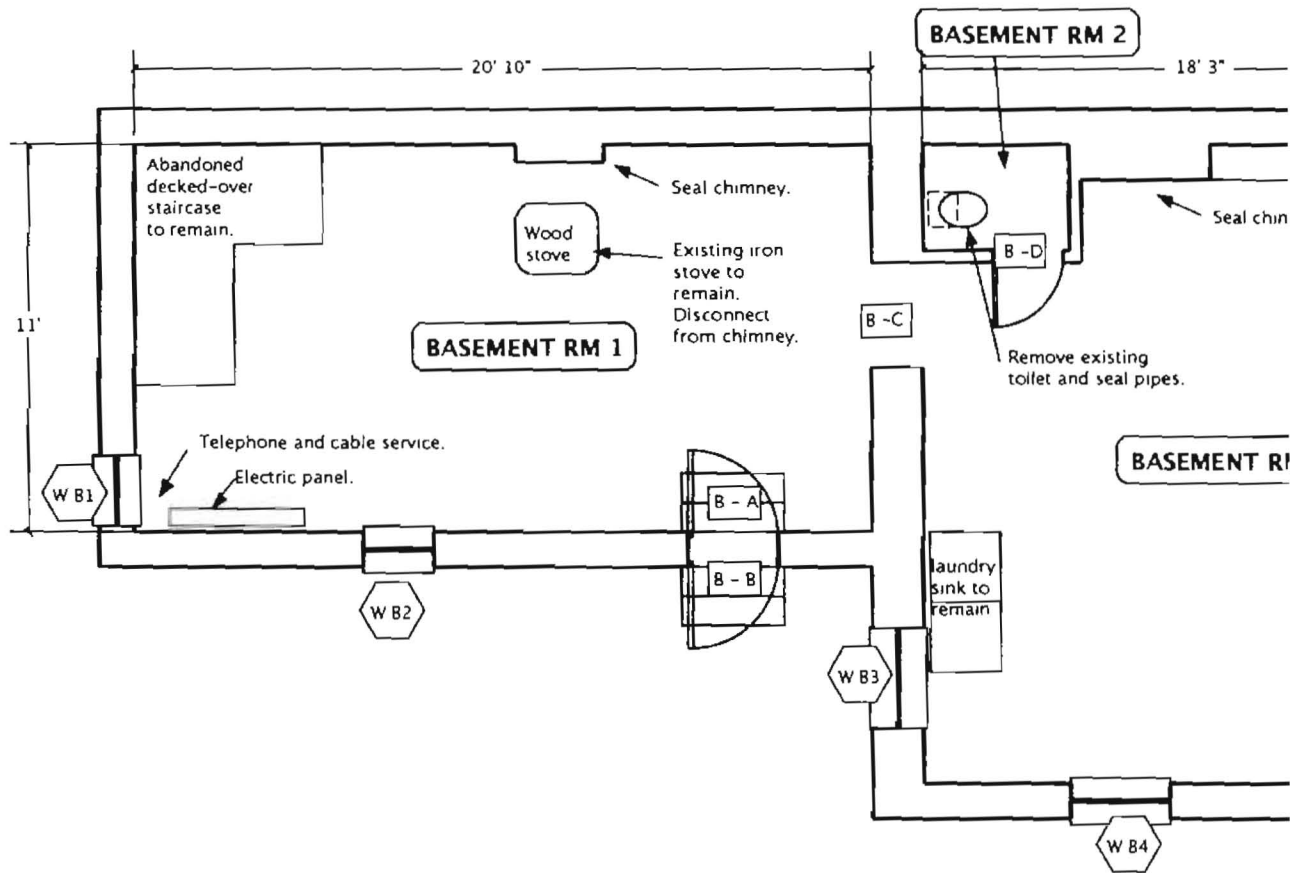
- Unit Boundary
- Non-structural wall to be removed
- Structural wall to be removed
- Fixture to be removed
- Chimney structure to be removed.



13 Deering Street,






Sheet  
 E 1

Basement South  
 Existing / Demo  
 1/4" = 1' - 0"  
 4/3/07



Owner:  
 Elise and Stephen Smith  
 305 Commercial St. #311  
 Portland ME 04101  
 (207) 332-9588

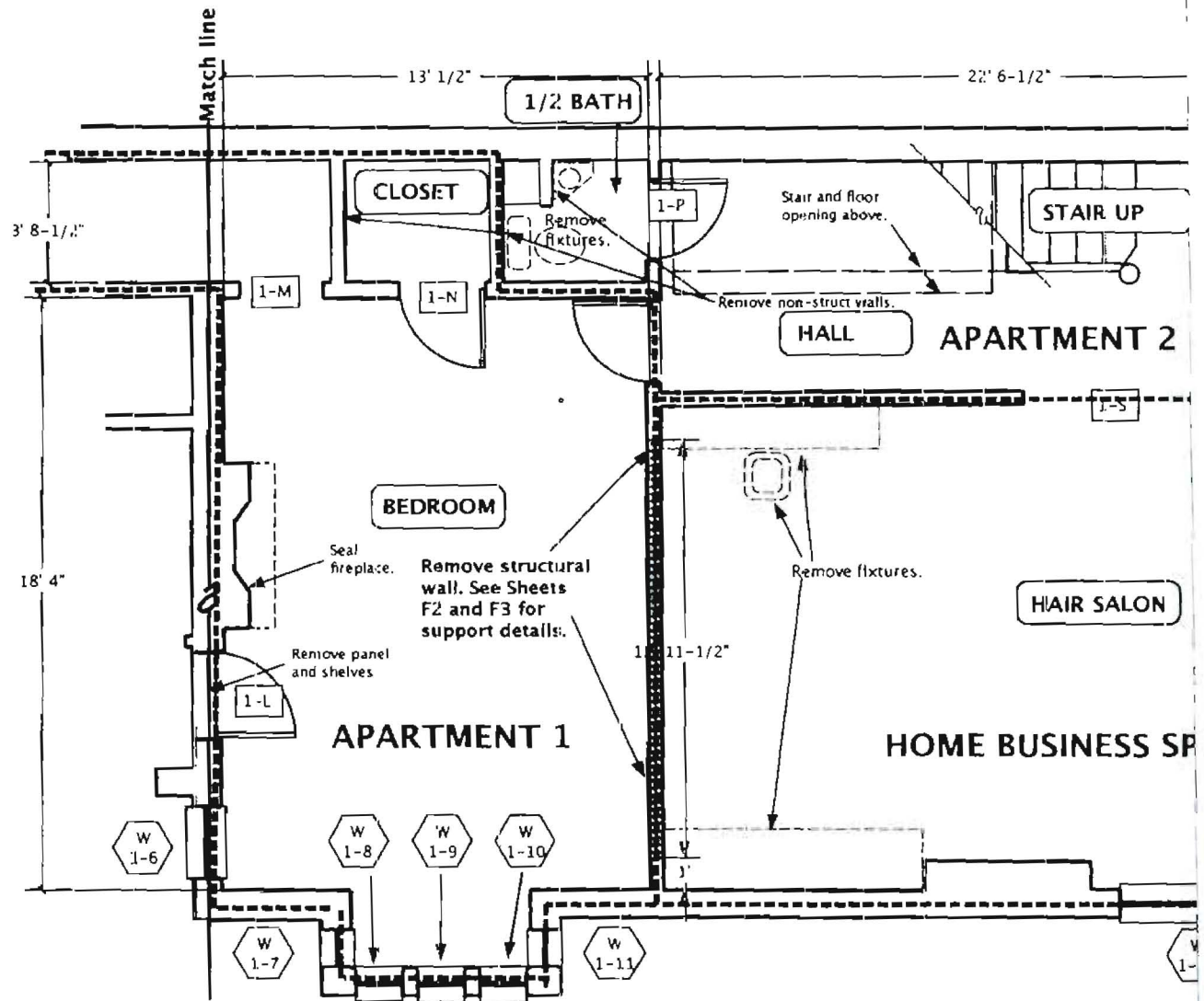
**Key:**

-  Unit Boundary
-  Non-structural wall to be removed
-  Structural wall to be removed
-  Fixture to be removed
-  Chimney structure to be removed.

  
 Called North  
 13 Deering Street,

Sheet  
 E 2

Basement North  
 Existing / Demo  
 1/4" = 1' - 0"  
 4/3/07



Owner:  
 Elise and Stephen Smith  
 305 Commercial St. #311  
 Portland ME 04101  
 (207) 332-9588

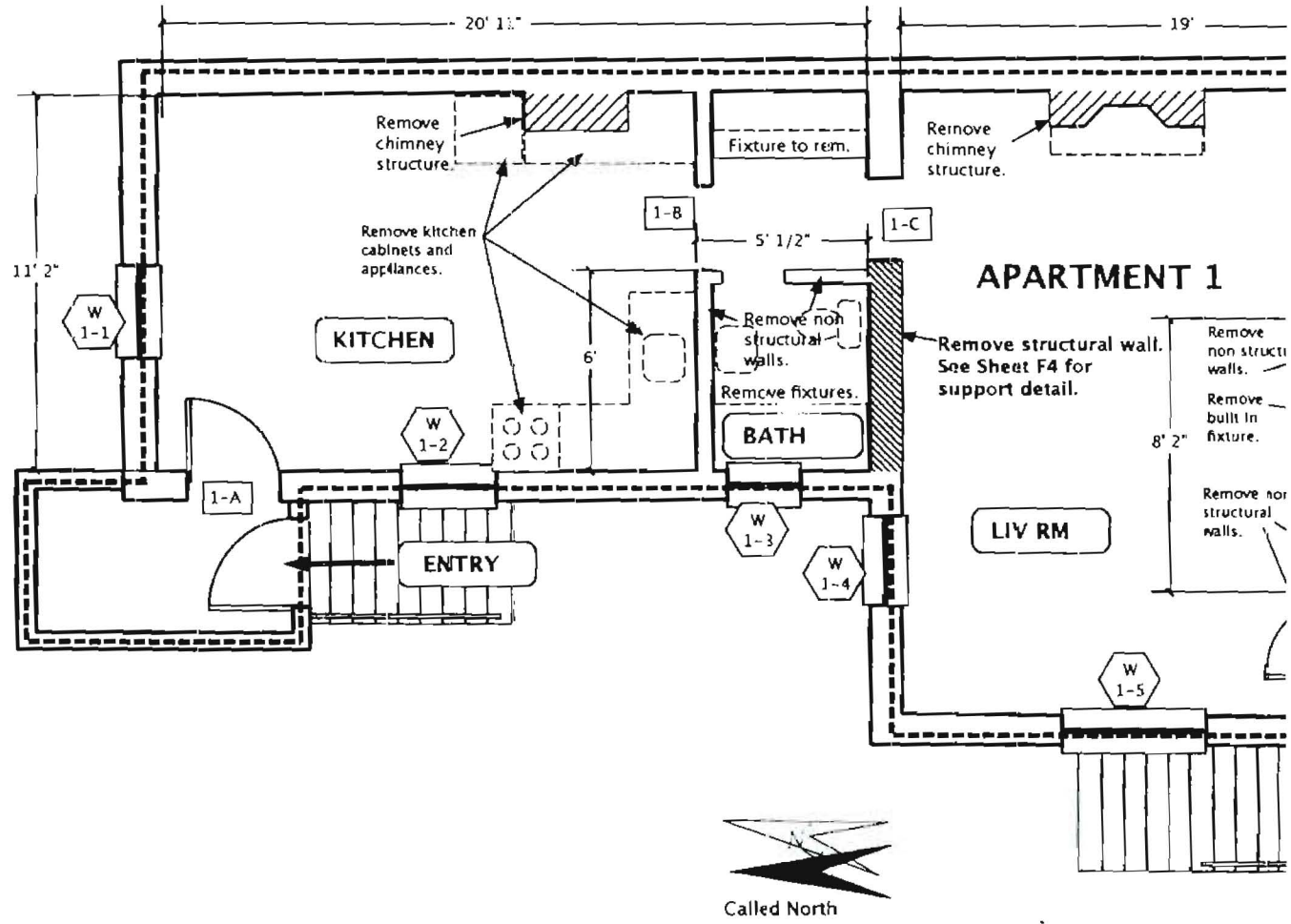
**Key:**

- Unit Boundary
- Non-structural wall to be removed
- Structural wall to be removed
- Fixture to be removed
- Chimney structure to be removed.

13 Deering Street, P

Sheet  
 E 3

Floor 1 South  
 Existing / Demo  
 1/4" = 1' - 0"  
 4/3/07



**APARTMENT 1**



**Key:**

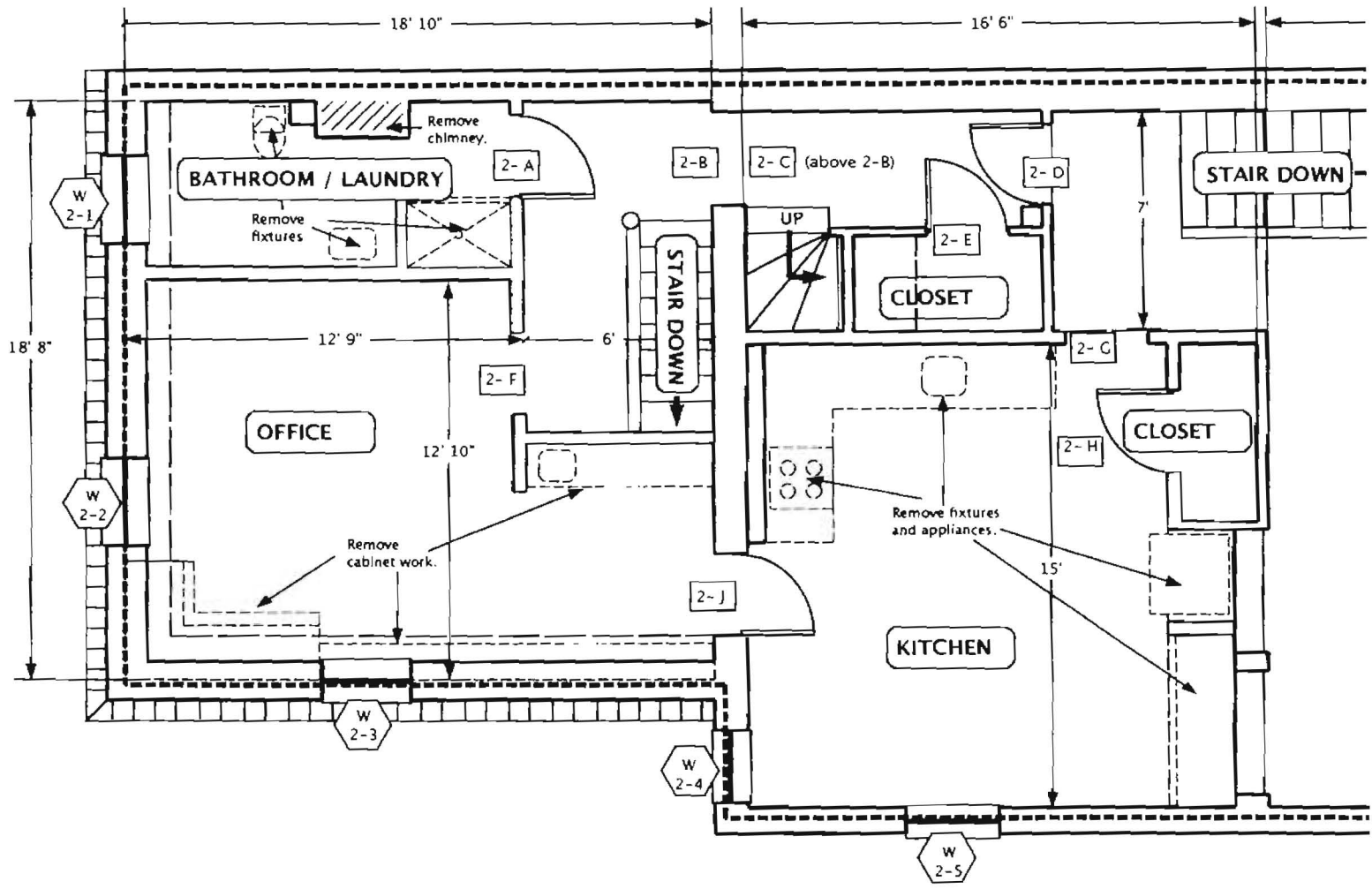
- Unit Boundary
- Non-structural wall to be removed
- Structural wall to be removed
- Fixture to be removed
- Chimney structure to be removed.

Owner:  
 Elise and Stephen Smith  
 305 Commercial St. #311  
 Portland ME 04101  
 (207) 332-9588

13 Deering Street, P

Sheet  
E 4

Floor 1 North  
 Existing / Demo  
 1/4" = 1' - 0"  
 4/3/07



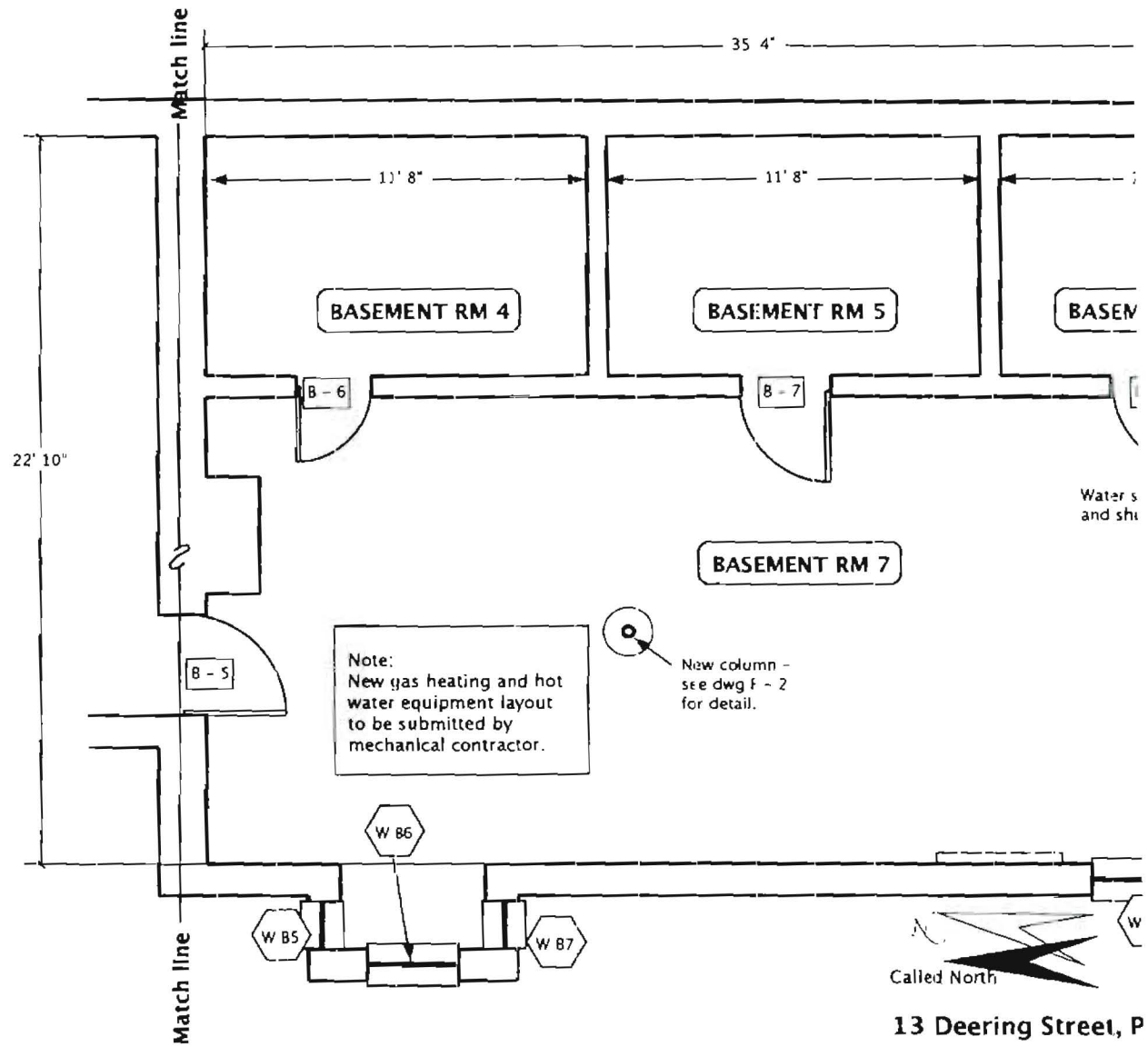
Owner:  
 Elise and Stephen Smith  
 305 Commercial St. #311  
 Portland ME 04101  
 (207) 332-9588

**Key:**

- Unit Boundary
- Non-structural wall to be removed
- ////// Structural wall to be removed
- Fixture to be removed
- ////// Chimney structure to be removed.





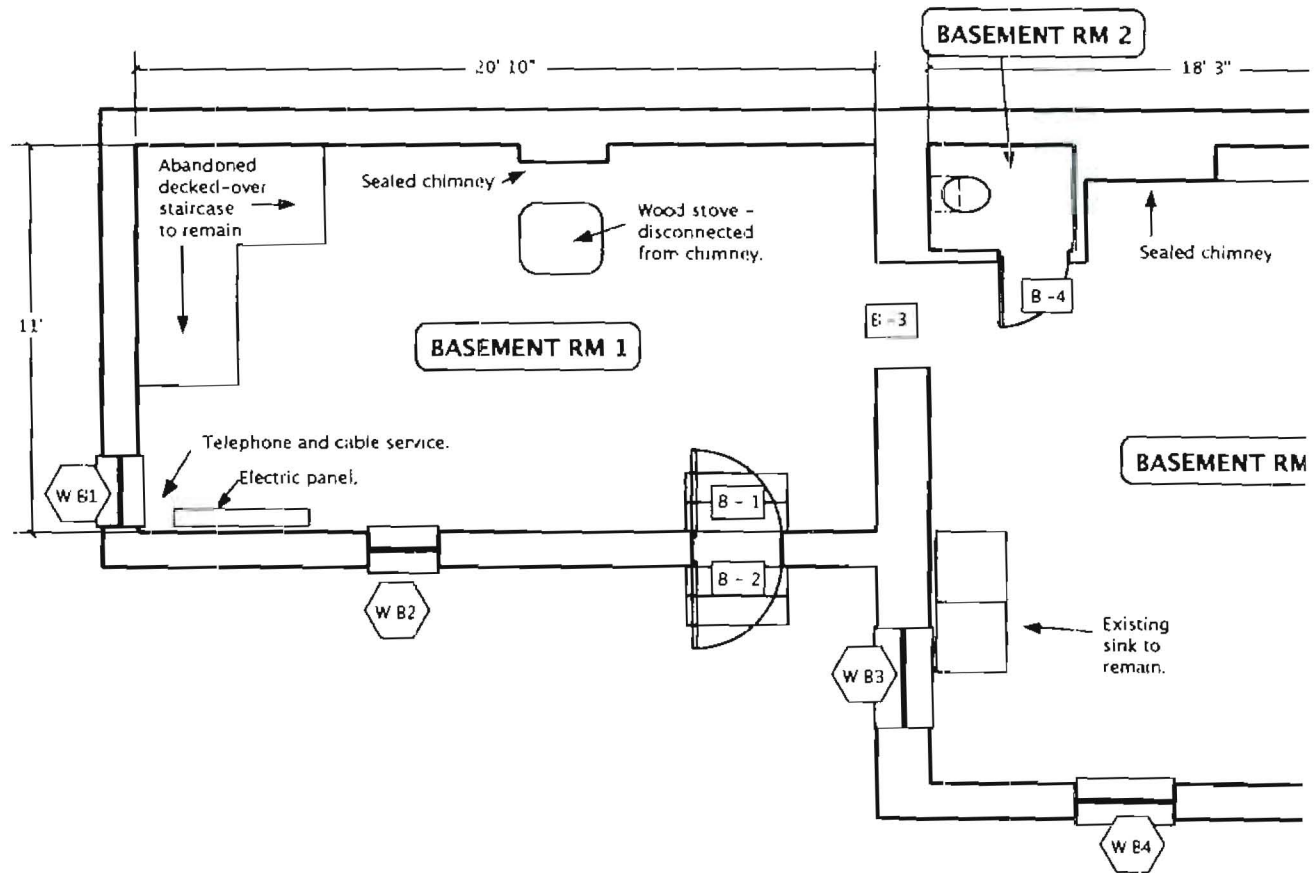


13 Deering Street, P

Sheet  
D 1

Owner:  
Elise and Stephen Smith  
305 Commercial St. #311  
Portland ME 04101  
(207) 332-9588

Basement South  
Proposed Plan  
1/4" = 1' - 0"  
4/3/07



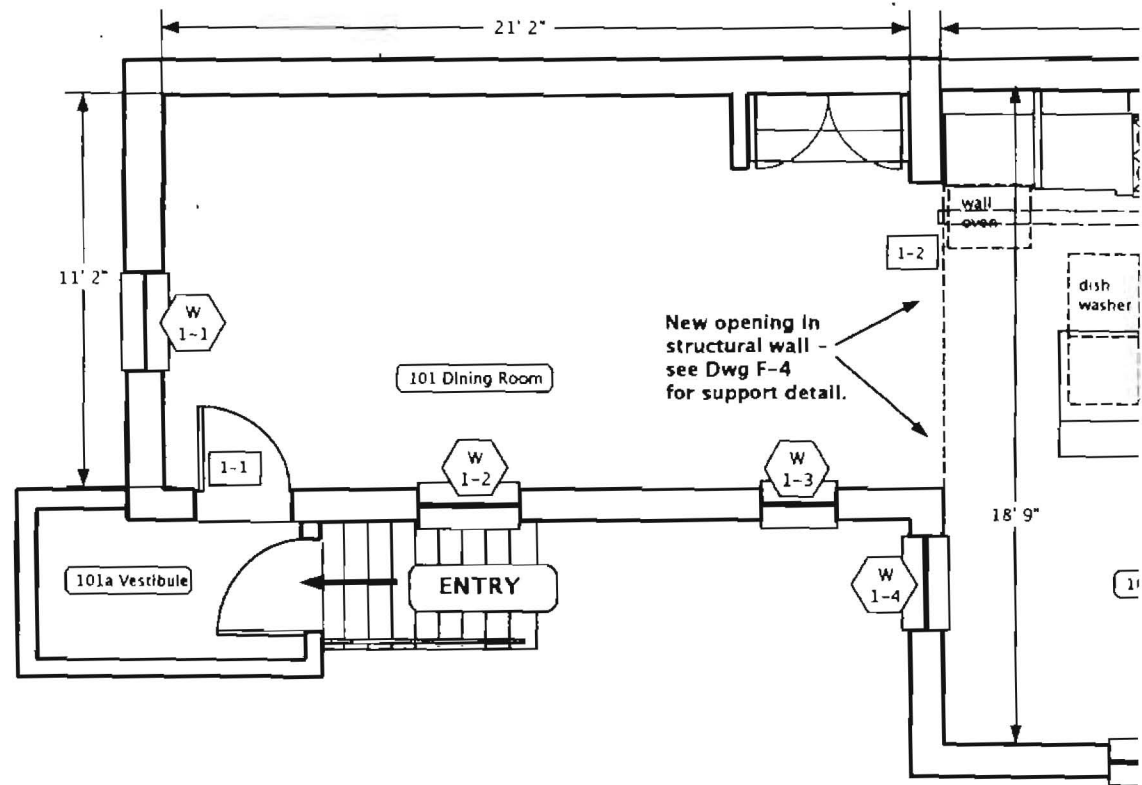
13 Deering Street, I

Sheet  
D 2

Owner:  
Elise and Stephen Smith  
305 Commercial St. #311  
Portland ME 04101  
(207) 332-9588


Basement North  
Proposed Plan  
1/4" = 1' - 0"  
4/3/07






Owner:  
 Elise and Stephen Smith  
 305 Commercial St. #311  
 Portland ME 04101  
 (207) 332-9588

**Key:**

 Existing wall to remain - thickness varies

 New non-structural interior wall

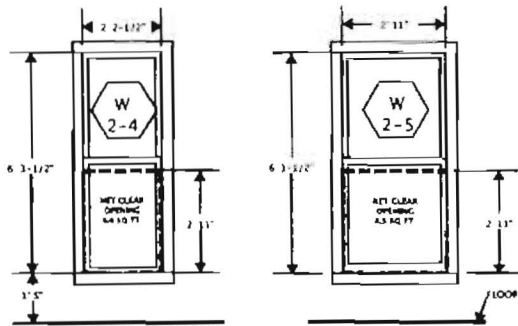
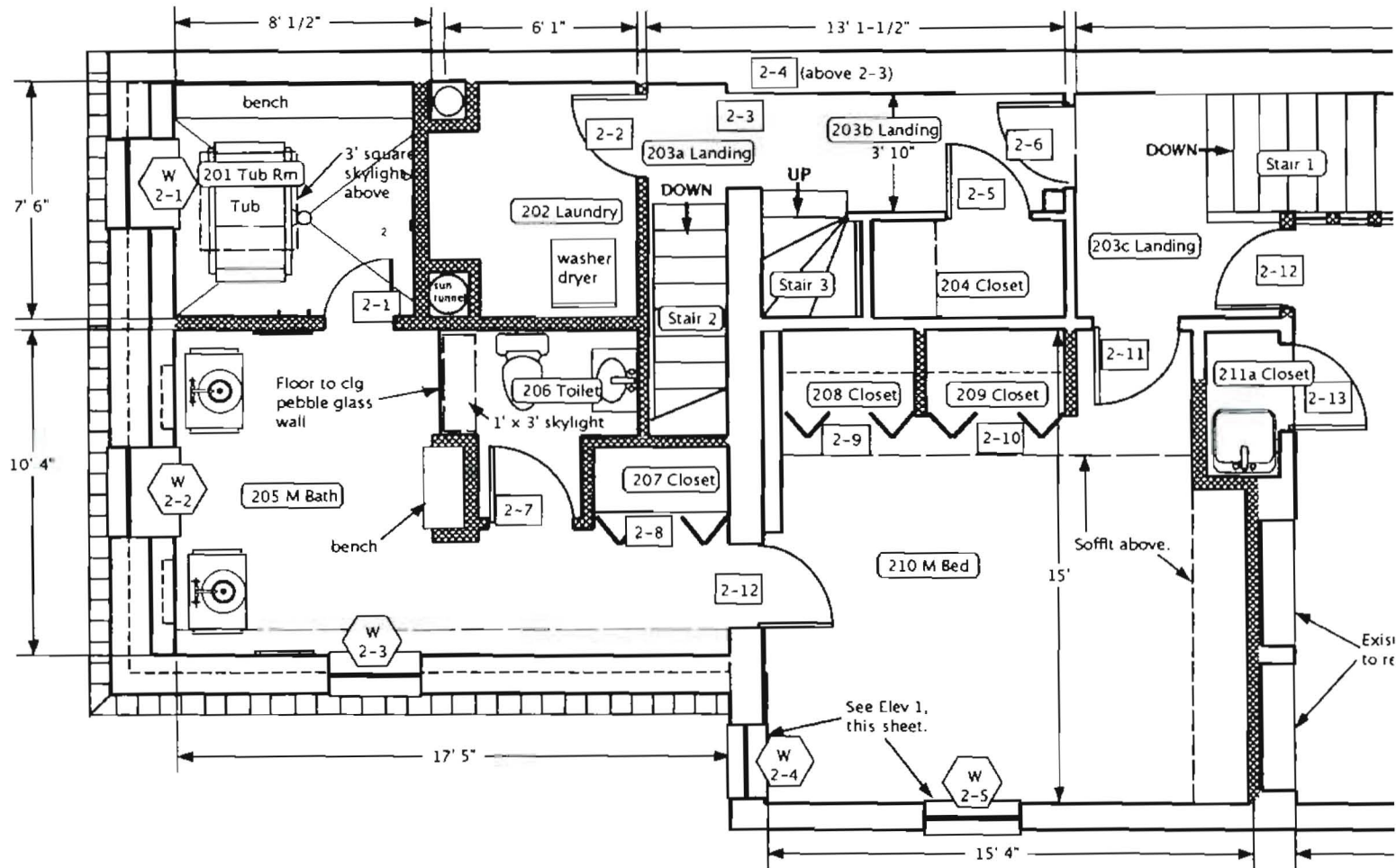


Called North

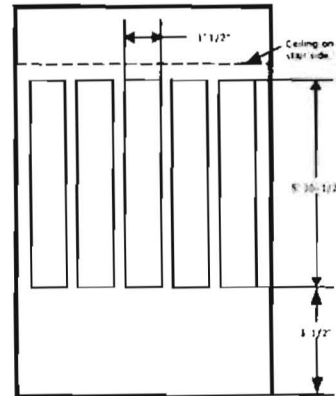
13 Dec

Sh  
 D

Floor 1  
 Propos  
 1/4" =  
 4/3/07



1 Sleeping room emergency escape and rescue openings - Room 210 M Bed. Scale: 1/4" = 1'-0"



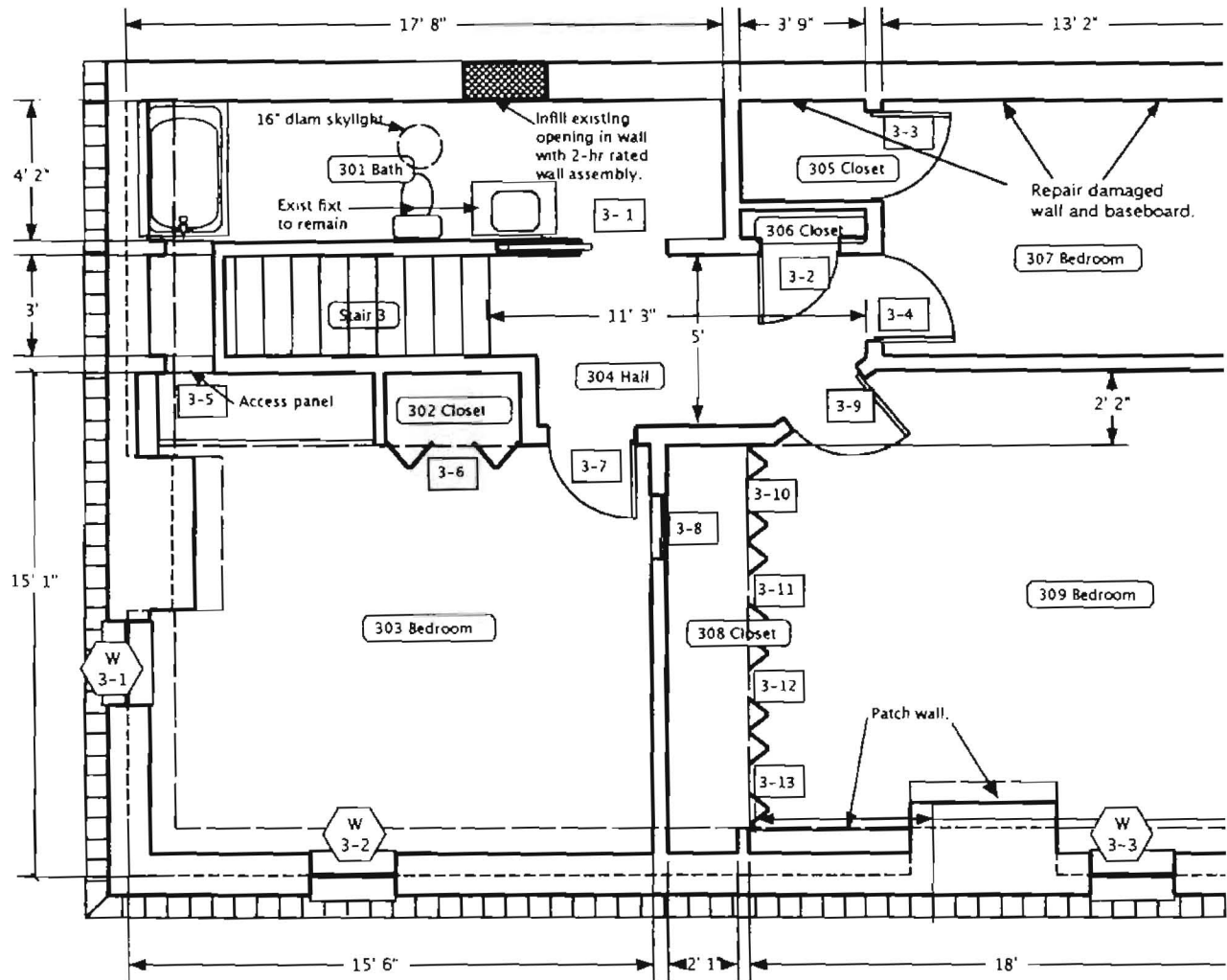
2 Window wall in Art Studio 211

13 Deering Street, Portland ME 04101

Sheet  
D 5



Floor 2  
Proposed Plan  
1/4" = 1' - 0"  
4/3/07

Owner:  
Elise and Stephen Smith  
305 Commercial St. #311  
Portland ME 04101  
(207) 332-9588

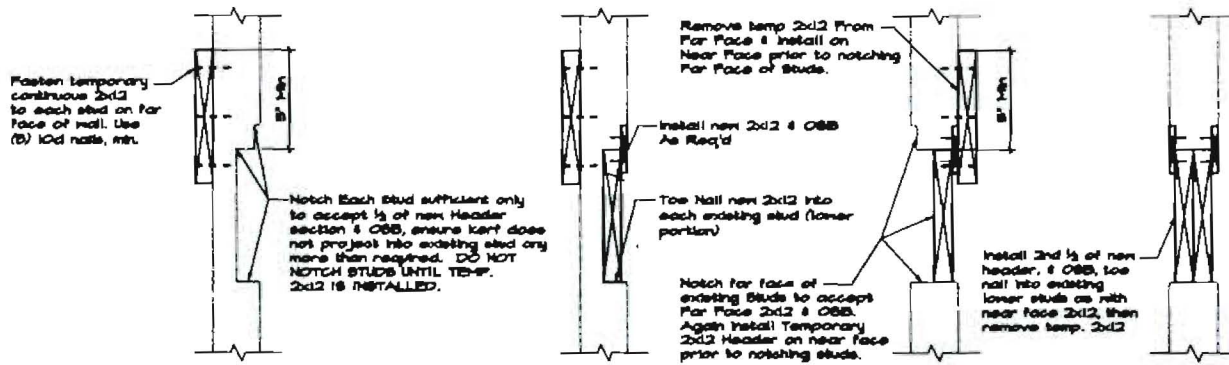


Owner:  
 Elise and Stephen Smith  
 305 Commercial St. #311  
 Portland ME 04101  
 (207) 332-9588

**Key:**

-  Existing wall to remain - thickness varie
-  New non-structural interior wall



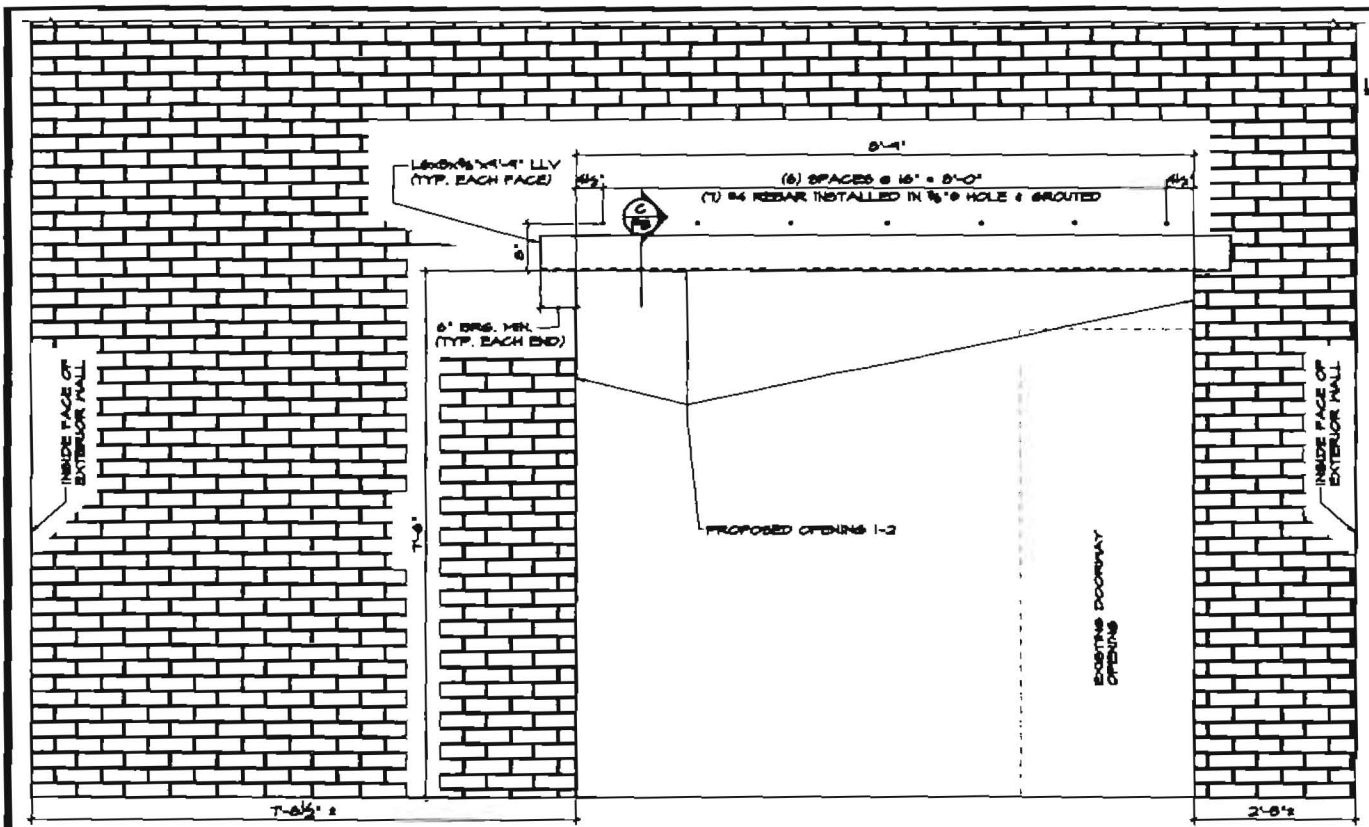


**B** HEADER INSTALLATION & PROCEDURE DETAILS  
 P2 11-1-01

**2x12 HEADER INSTALLATION PROCEDURE.**

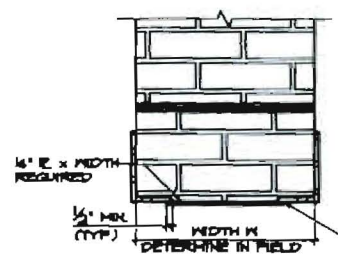
1. FOLLOW SEQUENCE SHOWN IN DETAIL B (ALTERNATE SEQUENCES MAY BE SUBMITTED FOR CONSIDERATION)
2. WITH EXISTING LOWER STUDS STILL SUPPORTING THE CENTER SECTION OF THE NEW DOUBLE 2x12 HEADER, INSTALL A TEMPORARY 4x4 STUD FROM THE SOLE PLATE TO THE BOTTOM OF THE NEW HEADER AT A LOCATION APPROXIMATELY 8'-1" FROM THE EXISTING WALL FACE ON EITHER THE LEFT OR RIGHT END OF THE WALL. REMOVE ONLY THOSE LOWER STUDS REQUIRED TO INSTALL NEW PORCH COLUMNS WITH STRUCTURAL 4x4 COLUMNS INSIDE ON THE SAME END OF THE WALL AS THE TEMPORARY 4x4 COLUMN. (DO NOT REMOVE LOWER STUD SECTIONS ON BOTH ENDS AT THE SAME TIME)
3. PLUMB STRUCTURAL COLUMNS, TOENAIL BASE ON EACH FACE & INSTALL OSB INTO HEADER SECTION AS DETAILED IN DETAIL I
4. REMOVE TEMPORARY COLUMN & INSTALL ON OPPOSITE END OF WALL. INSTALL PORCH COLUMNS WITH 4x4'S INSIDE IN THE SAME MANNER AS WAS DONE ON THE OPPOSITE END OF THE WALL.
5. WITH ALL 4 STRUCTURAL COLUMNS INSTALLED, PLUMBED AND NAILED OFF, REMOVE TEMPORARY 4x4 & REMOVE THE LOWER WALL SECTION BETWEEN THE PORCH COLUMNS.



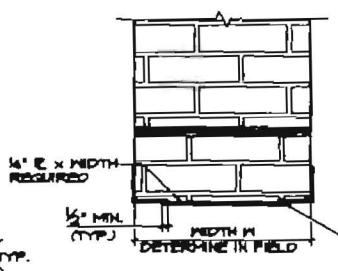


- LINTEL INST**
1. DRILL 1/2" (1 THROUGH THE )
  2. INSTALL #4 GRADE 40 (CC PAST) EPOXY ( MAY BE SUBST
  3. ONCE EPOX NOTCH IN THE I ANGLE THROU LINTEL ASSEMB INTERRUPTED A
  4. DRY FIT THE CORRECT IF NE LINTEL AND INS
  5. SUPPORT AN INSTALLED @ A IRON CORNER ALLOW MORTAR
  6. REPEAT STE ADEQUATE MOR
  7. CUT VERTIC. 6" IN FROM DO
  8. USE CAUTION MAY BE FILLED CUT DURING DE 6" BEARING ZO
  9. GROUT ANY MORTAR AS PR
  10. INSTALL NE PLATE) TO ENH BRACE WITH TIP
  11. WELD BOTTLE TO FLOORS TO

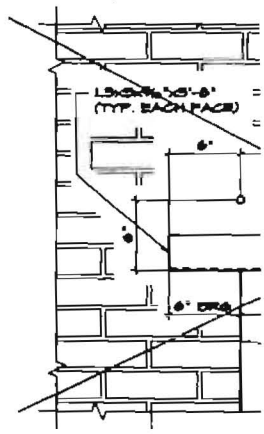
**1** ELEVATION OPENING 1-2  
 FB 1/2"=1'-0"  
 LOOKING NORTH

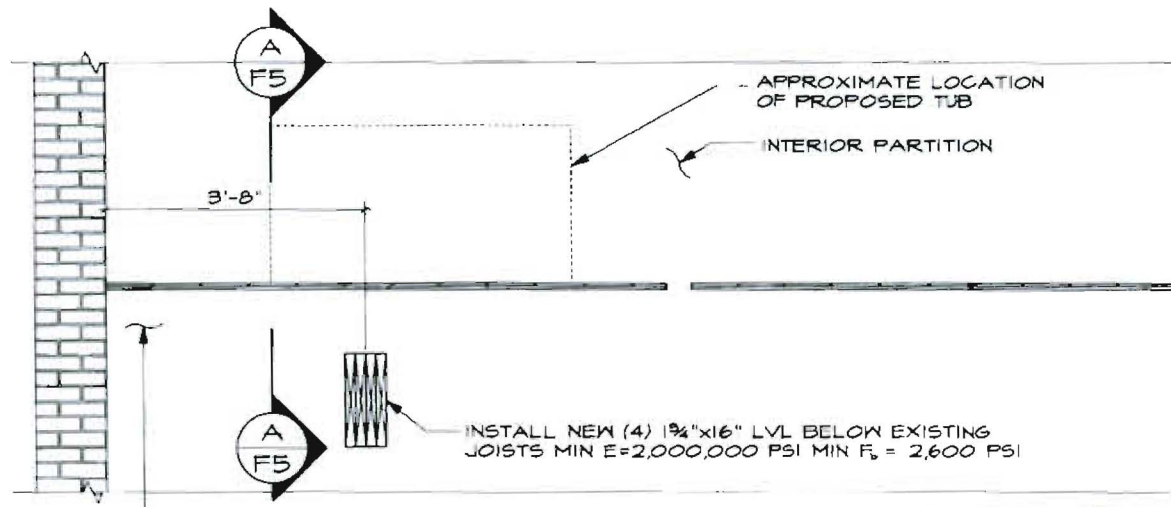


**C** SECTION THROUGH LINTEL  
 FB 1/2"=1'-0"



**D** SECTION THROUGH LINTEL  
 FB 1/2"=1'-0"

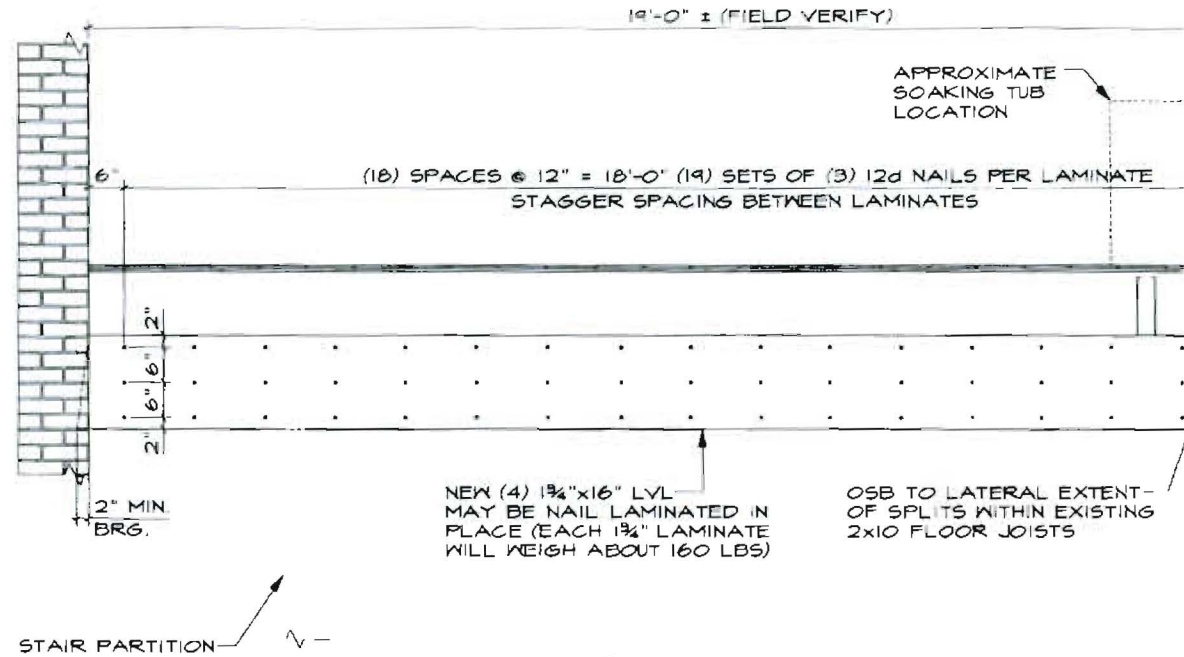




EXISTING 2X10 ACTUAL SIZE JOIST NOTCHED DEEPLY FOR OLD PLUMBING CONFIGURATION. IF EXISTING TIMBER IS SPLIT APPLY A 1/2" THICK OSB LAYER THE FULL DEPTH OF THE MEMBER FOR THE FULL LENGTH OF THE SPLIT ON EACH SIDE OF THE JOIST FASTEN W 6d NAILS @ 12" CENTERS TOP & BOTTOM, OSB MAY BE NOTCHED TO CLEAR PLUMBING AS REQUIRED.

EXISTING 2X10 FULL D LUMBER LOCATED @ 11'

1 SECTION THROUGH SHOWER & LAVATORY  
F4 1/2"=1'-0"



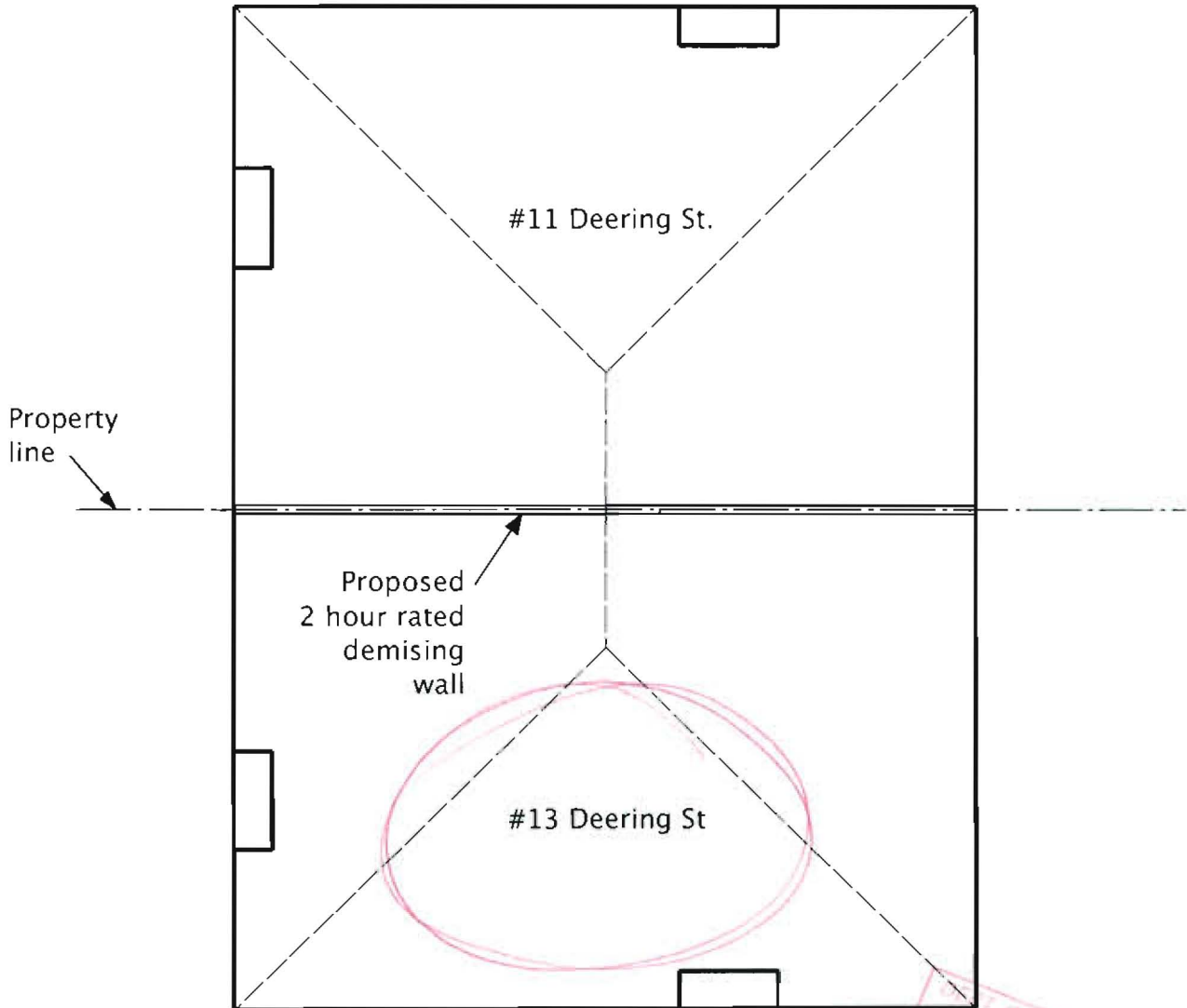
**A** TRANSVERSE SECTION  
**F5** 15'-0"

1. REMOVE (1) LAYER OF BRICK (4" MIN) TO A MINIMUM DEPTH OF 17" BELOW THE BOTTOM OF EXISTING JOISTS IN BRICK LOAD BEARING WALLS ENSURE SUFFICIENT WIDTH OF OPENING TO ACCEPT ALL (4) LVL LAMINATES, AND ALLOW ADDITIONAL ROOM FOR INSTALLATION.
2. MEASURE EXACT LENGTH REQUIRED AND CUT LVL LAMINATES AS INDICATED TO PROVIDE TAPERED BEARING.
3. CUT HOLE AS REQUIRED IN PARTITION ADJACENT TO STAIRS TO ALLOW FOR INSTALLATION.
4. INSTALL ONE LVL LAMINATE AT BEARING WALL ADJACENT TO STAIR PARTITION FIRST, ROTATE LVL INTO PLACE AT OPPOSITE BEARING WALL AND CENTER LAMINATE TO PROVIDE 2" OF BEARING AT EACH END.
5. INSTALL SUBSEQUENT LAMINATES IN A SIMILAR MANNER AS THE FIRST, NAIL EACH LAMINATE TO THE PREVIOUS.
6. ONCE ALL LAMINATES ARE INSTALLED AND POSITIONED Laterally, INSURE POST AT EACH END, AND JACK THE BUILT UP LVL BEAM UNTIL EACH END IS THE EXISTING 2x10 JOISTS ABOVE.
7. INSTALL BRICK AND MORTAR AS REQUIRED BELOW AND TO EACH SIDE OF EXERCISE CAUTION NOT TO ALLOW EXCESS MORTAR BEHIND TAPERED END OF AS TAPER SHOULD ALLOW FOR ROTATION OF BEAM UNDER LOAD WITHOUT CRACKING BRICK WALL.

Window	Room	Finished Opening		Sill Height AFF	Type	Glazing	Orientation	Storm	Screen	F
		W	H							
B-1	B 01	2' 10"	2' 11-1/2"	4' 3"	DH	Single clear	N	N	N	E
B-2	B 01	2' 0"	2' 11-1/2"	4' 1-1/2"	DH	Single clear	W	N	N	
B-3	B 03	2' 10"	2' 11"	4' 4"	DH	Single clear	N	N	N	
B-4	B 03	2' 10"	2' 11"	4' 4"	DH	Single clear	W	N	N	
B-5	B 06	1' 6"	2' 10"	4' 1"	DH	Single clear	N	N	N	
B-6	B 06	2' 9-1/2"	2' 10"	4' 1"	DH	Single clear	W	N	N	
B-7	B 06	1' 6"	2' 10"	4' 1"	DH	Single clear	S	N	N	
B-8	B 06	2' 9"	3' 1"	4' 0"	DHE	Single clear	W	N	N	
1-1	101 Family	2' 9-3/4"	5' 4"	2' 4"	DH	Single clear	N	Y	Y	
1-2	101 Family	2' 10"	5' 3-1/2"	2' 4"	DH	Single clear	W	Y	Y	
1-3	101 Family	2' 2-3/4"	4' 3-1/2"	3' 5-1/2"	DH	Single clear	W	Y	Y	
1-4	102 Kitchen	2' 8-1/2"	5' 7-3/4"	2' 5-1/2"	DH	Single clear	N	Y	Y	
1-5	102 Kitchen	4' 1-1/2"	5' 7-3/4"	2' 5"	Fixed	Single clear	W	Y	N	
1-6	105 Dining	2' 2-1/2"	6' 7"	1' 7"	DH	Single clear	N	Y	Y	
1-7	105 Dining	1' 1-1/2"	6' 8"	1' 1-1/2"	DH	Single clear	N	Y	Y	
1-8	105 Dining	1' 5-1/2"	6' 8"	1' 1-1/2"	DH	Single pebble	W	Y	Y	
1-9	105 Dining	1' 5-1/2"	6' 8"	1' 1-1/2"	DH	Single pebble	W	Y	Y	
1-10	105 Dining	1' 5-1/2"	6' 8"	1' 1-1/2"	DH	Single pebble	W	Y	Y	
1-11	105 Dining	1' 1-1/2"	6' 8"	1' 1-1/2"	DH	Single clear	S	Y	Y	
1-12	109 Living	2' 11-3/4"	6' 7-1/2"	1' 6-1/2"	DH	Single clear	W	Y	Y	
1-13	109 Living	1' 5-7/8"	6' 7-1/2"	1' 0-1/2"	DH	Single clear	SW	Y	Y	
1-14	109 Living	3' 7"	6' 7-1/2"	1' 0-1/2"	DH	Single clear	S	Y	Y	
1-15	109 Living	1' 5-7/8"	6' 7-1/2"	1' 0-1/2"	DH	Single clear	SE	Y	Y	
2-1	201 Tub	2' 7-1/2"	4' 7-1/4"	1' 5-1/2"	DH	Single clear	N	Y	Y	
2-2	205 M Bath	2' 7-1/2"	4' 7-1/4"	1' 5-1/2"	DH	Single clear	N	Y	Y	
2-3	205 M Bath	2' 7-1/2"	4' 7-1/4"	1' 5-1/2"	DH	Single clear	W	Y	Y	
2-4	210 M Bed	2' 2-3/4"	6' 3-1/2"	1' 5"	DH	Single clear	N	Y	Y	
2-5	210 M Bed	2' 11"	6' 3-1/2"	1' 5"	DH	Single clear	W	Y	Y	
2-6	211 Game	3' 0"	6' 3-1/2"	1' 5-1/2"	DH	Single clear	W	Y	Y	
2-7	211 Game	3' 0"	6' 3-1/2"	1' 5-1/2"	DH	Single clear	S	Y	Y	
2-8	211 Game	3' 0"	6' 3-1/2"	1' 5-1/2"	DH	Single clear	S	Y	Y	
3-1	303 Bedroom	2' 7-1/2"	4' 3"	1' 6-1/2"	DH	Single clear	N	Y	Y	
3-2	303 Bedroom	2' 7-1/2"	4' 3"	1' 6-1/2"	DH	Single clear	W	Y	Y	
3-3	309 Bedroom	2' 7-1/2"	4' 3"	1' 6-1/2"	DH	Single clear	W	Y	Y	
3-4	309 Bedroom	2' 6-1/2"	4' 7-1/4"	1' 6-1/2"	DH	Single clear	S	Y	Y	
3-5	307 Bedroom	2' 6-1/2"	4' 7-1/4"	1' 6-1/2"	DH	Single clear	S	Y	Y	
<b>Skylights</b>										
SL-2	201 Tub	3' 0"	3' 0"	--	Fixed	Double clear	Slope to N	--	--	V
SL-3	206 Toilet	1' 0"	3' 0"	--	Fixed	Double clear	Slope to W	--	--	V
SL-4	301 Bath	1' 4"	1' 4"	--	Fixed	Double clear	Slope to N	--	--	V

13 Deering Street - Door and Wall Openings Schedule Date 4.3.07 -- Note. Except as noted, all doors and frames are existing - relocated as shown if necessary. D their locations in the finished project as shown in the D drawings. Pre-construction locations are shown on E drawings and coded B-A, B-B, B-C, ..., 1-A, 1-B, 1-C, ..., etc. 1

Door	Finished Opening		Type	From	To	Relocated From		Hand	Swing	Remarks
	W	H				Door	Frame			
1-1	2' 8"	6' 7"	Panel - ext	Ext.	101 Dining	--	--	L	Out	Existing to remain.
1-2	8' 6"	9' 0"	Archway	102 Kitchen	101 Dining	--	--	--	--	New opening in struct
1-3	2' 5"	6' 10-1/2"	Archway	102 Kitchen	passage	--	--	--	--	Remove door. Patch fr
1-4	2' 5"	6' 10"	Archway	102 Kitchen	104 Pantry					Frame only.
1-5	2'-5"	6' 6"	Panel	Stair B	102 Kitchen	1-E	1-E	R	Out	Frameless
1-7	2' 6"	7' 6"	Panel	107 Coat Cl	106 Toilet	--	--	R	In	Existing to remain.
1-8	2' 6"	7' 6"	Panel	108 Hall	105 Liv Rm	--	--	L	In	Existing to remain.
1-9	8' 8"	7' 7-1/2"	Pr glazed	110 Foyer	108 Hall	--	--	L/R	Out	Existing to remain. Rel
1-10	8' 8"	7' 7-1/2"	Pr glazed	Ext	110 Foyer	--	--	L/R	Out	Existing to remain. Rel
1-12	2' 5-3/4"	7' 1-1/2"	Panel	102 Kitchen	Stair 2	--	--	--	--	Remove door for reuse
1-13	2' 7"	6' 8"	Panel - ext	Ext	102 Kitchen	--	--	R	Out	Existing to remain.
1-14	2' 7"	6' 8"	Storm - ext	Ext	102 Kitchen	--	--	R	In	Existing to remain.
1-15	2' 8"	7' 7"	Panel	105 Liv Rm	102 Kitchen	--	--	--	--	Remove door.
1-16	10' 0"	8' 0"	Archway	109 Living	108 Liv Rm	--	--	--	--	New archway. See F2,
1-17	5' 2-1/2"	7' 0"	Archway	108 Hall	109 Living	--	--	--	--	Remove infill panel at 1
2-1	2' 6"	7' 0"	Frameless glass	205 M Bath	201 Tub	--	--	R	Out	New door and frame.
2-2	2' 6"	7' 0"	Panel	203a Land'g	202 Laund	2-A	2-A	R	Out	Reverse swing.
2-3	2' 9"	7' 1"	Archway	203a Land'g	203b Land'g	--	--	--	--	Existing to remain.
2-4	1' 8"	2' 0"	Access hatch	203a Land'g	Attic	--	--			Existing to remain.
2-5	2' 8"	6' 7-1/2"	Panel	204 Toilet	203b Land'g	--	--	L	Out	Existing to remain.
2-6	2' 7-1/2"	6' 11-1/2"	Panel	211 Studio	203b Land'g	--	--	R	Out	Existing to remain.
2-7	2' 8"	6' 8"	Panel	205 M Bath	206 Toilet	1-F	1-F	L	Out	Door head to be same
2-8	4' 0"	6' 8"	Pr bifold panel	205 M Bath	207 Closet	--	--	--	--	Door and frame to clos
2-9	3' 10"	8' 0"	Pr bifold panel	210 M Bed	208 Closet	--	--	--	--	Door and frame to clos
2-10	3' 10"	8' 0"	Pr bifold panel	210 M Bed	209 Closet	--	--	--	--	Door and frame to clos
2-11	2' 8"	7' 0"	Panel	210 M Bed	211 Studio	2-H	--	L	In	Relocated door in exist
2-12	2' 8"	7' 0"	Panel	211 Studio	203c Lndng			L	Out	Relocated door and fra
2-13	2' 8"	7' 0"	Panel	211a Closet	211 Studio			R	Out	Relocated door and fra
3-1	2' 6"	6' 7"	Pocket	304 Hall	301 Bath	--	--	--	--	Existing to remain. Sup
3-2	2' 4"	6' 10"	Panel	304 Hall	306 Closet	--	--	L	Out	Existing to remain.
3-3	2' 8"	6' 10-1/2"	Panel	307 Bed	305 Closet	--	--	R	In	Existing to remain.
3-4	2' 6"	6' 7"	Panel	307 Bed	304 Hall	--	--	L	In	Existing to remain.
3-5	1' 8"	2' 2"	Access panel	303 Bed	mech space	--	--	--	--	New access panel to fr
3-6	4' 0"	6' 2"	Pr. bifold	303 Bed	302 Closet	--	--	--	--	Existing to remain
3-7	2' 7-1/2"	6' 8"	Panel	303 Bed	304 Hall	--	--	R	In	Existing to remain.
3-8	2' 9"	6' 8-1/2"	In-filled frame.	303 Bed	308 Closet	--	--	--	--	Replace infill with shel
3-9	2' 8"	6' 7-1/2"	Panel	309 Bed	304 Hall	--	--	R	In	Existing to remain.
3-10	2' 2"	7' 10"	Pr. bifold	309 Bed	308 Closet	--	--	--	--	Existing to remain.
3-11	2' 2"	7' 10"	Pr. bifold	309 Bed	308 Closet	--	--	--	--	Existing to remain.
3-12	2' 2"	7' 10"	Pr. bifold	309 Bed	308 Closet	--	--	--	--	Existing to remain.
3-13	2' 2"	7' 10"	Pr. bifold	309 Bed	308 Closet	--	--	--	--	Existing to remain.



ATTIC PLAN



SK-19a  
11-13 Deering Street  
Portland ME 04101

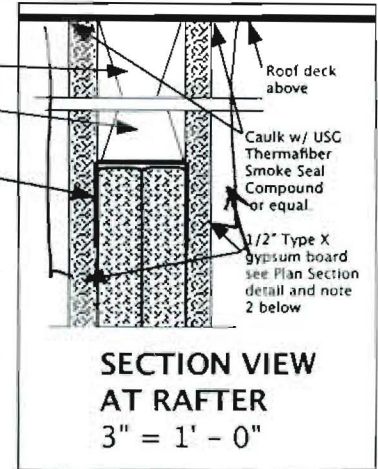
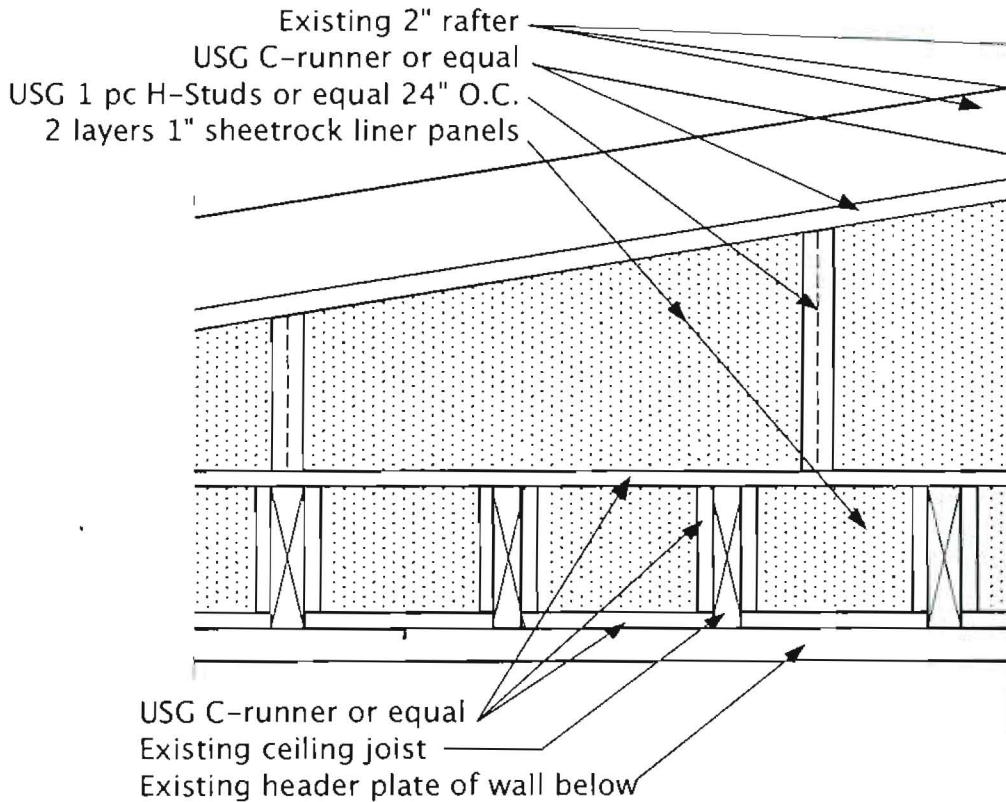
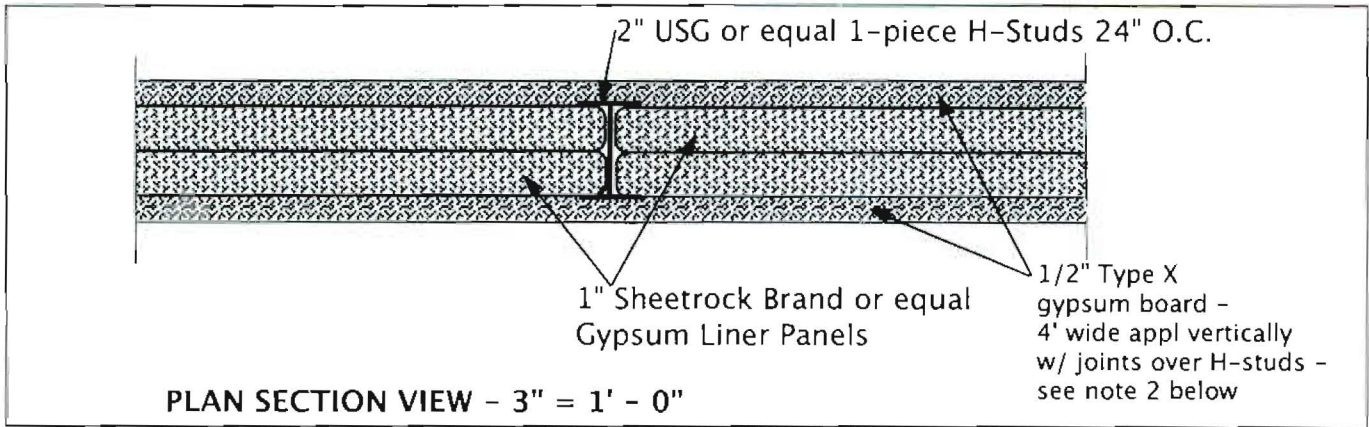
**Proposed 2-hour Rated  
Demising Wall in Attic**

12.06.07  
Scale: 1/8" = 1' - 0"

Owner, #11:  
James Harnar and Kathleen McKeen  
207.8076646

Owner, #13:  
Elise and Stephen Smith  
207.332.9588  
stephen@donnersmith.com

Contractor: Papi & Romano Builders, Inc.



- Notes:
1. Assembly Test Number UL-Des.V411
  2. Secure 1/2" overlay gypsum board to H-studs and perimeter steel track with 1" long Type S bugle head steel screws spaced 12" OC, staggered 6" at vert. joints.
  3. No joint treatment req'd

**TYPICAL ELEVATION VIEW of track and 1" panels - 1/2" overlay panel not shown**

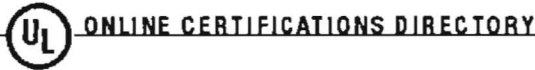
SK-19  
11-13 Deering Street  
Portland ME 04101

**Proposed 2-hour Rated Demising Wall in Attic**

12.06.07  
Scale as noted

Owner, #11:  
James Harnar and Kathleen McKeen  
207.8076646  
Owner, #13:  
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Contractor: Papi & Romano Builders, Inc.



## BXUV.V411 Fire Resistance Ratings - ANSI/UL 263

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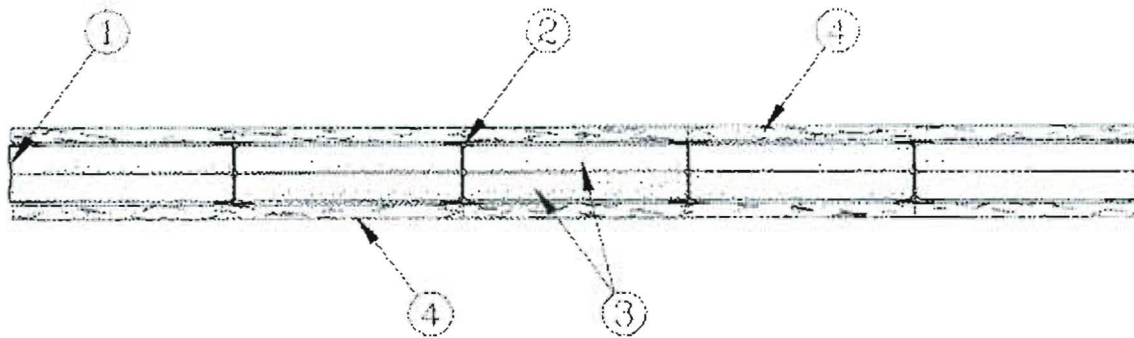
### Fire Resistance Ratings - ANSI/UL 263

[See General Information for Fire Resistance Ratings - ANSI/UL 263](#)

Design No. V411

October 07, 2004

Nonbearing Wall Rating — 2 Hr



1. **Steel Track** — Floor, sidewall, or top wall track. Nom 2 in. wide channel shaped with nom 1 in. long legs, formed from No. 25 MSG galv steel, secured with suitable fasteners spaced 24 in. OC.
2. **Steel Studs** — "H" — shaped studs formed from No. 25 MSG galv steel, nominally 2 in. deep by 1-3/8 in. wide. Length of studs to be 3/8 in. less than assembly height.
3. **Gypsum Board\*** — Two layers of 1 in. thick gypsum wallboard liner panels, supplied in nom 24 in. widths. Vertical edges of panels friction fitted into "H" -studs (Item 2).

**CANADIAN GYPSUM COMPANY** — Type SLX

**UNITED STATES GYPSUM CO** — Type SLX

**USG MEXICO S A DE C V** — Type SLX.

4. **Gypsum Board\*** — 1/2 in. or 5/8 in. thick, 4 ft wide, applied vertically with joints located over "H" -studs (Item 2). Secured to "H" -studs (Item 2) and perimeter steel track (Item 1) with 1 in. long Type S bugle head steel screws spaced 12 in. OC, staggered 6 in. at the vertical joints. Joint treatment not required.

**CANADIAN GYPSUM COMPANY** — 1/2 in. thick, Types C, IP-X2, WRC or 5/8 in. thick, Types IP-X1, SCX or SHX.

**UNITED STATES GYPSUM CO** — 1/2 in. thick, Types C, IP-X2, WRC or 5/8 in. thick, Types FRX-G, IP-X1, SCX or SHX.

**USG MEXICO S A DE C V** — 1/2 in. thick Types C, IP-X2 or WRC; 5/8 in. thick, Types IP-X1, SCX or SHX.

\*Bearing the UL Classification Mark

[Last Updated](#) on 2004-10-07

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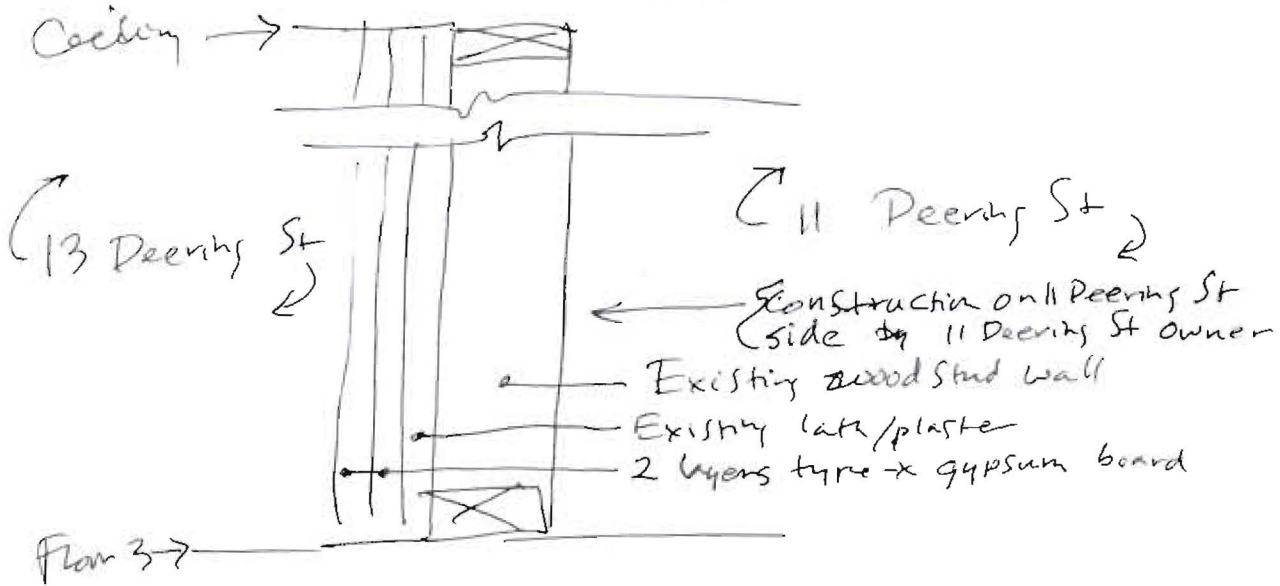
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An independent organization working for a safer world with integrity, precision and knowledge



Third floor party wall