

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

## BUILDING INSPECTION

# PERMIT

Permit Number: 040064

Please Read Application And Notes, if Any, Attached

This is to certify that Kenneth Krause/n/a  
has permission to Interior renovations including removing walls and create doorway.  
AT 180 High St **CBL** 046 B014045

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. *[Signature]*  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name \_\_\_\_\_

*[Signature]* 2/5/04  
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0064	Issue Date: <b>PERMIT ISSUED</b> FEB 06 2004	BL: 046 B014045
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Location of Construction: 180 High St	Owner Name: Kenneth Krause	Owner Address: 180 High St # 45	Phone: 207-318-7570
Business Name: n/a	Contractor Name: n/a	Contractor Address: n/a Portland	Phone: CITY OF PORTLAND
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Alterations - Multi Family	Zone: B3

Past Use: Condominium	Proposed Use: Condominium / Interior renovations including removing walls and create doorway.	Permit Fee: \$30.00	Cost of Work: \$600.00	CEO District: 2
Proposed Project Description: Interior renovations including removing walls and create doorway.  <i>36 (Condos) D.U. only - No change of use permitted</i>		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R2 Type:	
		Signature: <i>[Signature]</i>	Signature: <i>[Signature] 2/5/04</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: gg	Date Applied For: 01/22/2004	<b>Zoning Approval</b>		
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.  2. Building permits do not include plumbing, septic or electrical work.  3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland  <input type="checkbox"/> Wetland  <input type="checkbox"/> Flood Zone  <input type="checkbox"/> Subdivision  <input type="checkbox"/> Site Plan  Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <input type="checkbox"/> Denied Date: <i>2/2/04</i>	Zoning Appeal <input type="checkbox"/> Variance  <input type="checkbox"/> Miscellaneous  <input type="checkbox"/> Conditional Use  <input type="checkbox"/> Interpretation  <input type="checkbox"/> Approved  <input type="checkbox"/> Denied Date: _____	Historic Preservation <input type="checkbox"/> Not in District or Landmark  <input type="checkbox"/> Does Not Require Review  <input type="checkbox"/> Requires Review  <input type="checkbox"/> Approved  <input type="checkbox"/> Approved w/Conditions  <input type="checkbox"/> Denied Date: <i>requires A</i> <i>separate review</i>
	Date: <i>2/2/04</i>		

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

2/11/04 okay for close in of DAY 1, return will be

back for close - 

3/29/04 close to okay for close in - will call for FINAL

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 04-0064	<b>Date Applied For:</b> 01/22/2004	<b>CBL:</b> 046 B014045
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<b>Location of Construction:</b> 180 High St	<b>Owner Name:</b> Kenneth Krause	<b>Owner Address:</b> 180 High St # 45	<b>Phone:</b> 207-318-7570
<b>Business Name:</b> n/a	<b>Contractor Name:</b> n/a	<b>Contractor Address:</b> n/a Portland	<b>Phone:</b>
<b>Lessee/Buyer's Name:</b> n/a	<b>Phone:</b> n/a	<b>Permit Type:</b> Alterations - Multi Family	

<b>Proposed Use:</b> Condominium / Interior renovations including removing walls and create doorway.	<b>Proposed Project Description:</b> Interior renovations including removing walls and create doorway.
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 02/02/2004

**Note:** **Ok to Issue:**

- 1) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within a Historic District.
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 3) This property shall remain a thirty-six (36) family dwelling. Any change of use shall require a separate permit application for review and approval.

**Dept:** Building      **Status:** Approved      **Reviewer:** Jeanine Bourke      **Approval Date:** 02/05/2004

**Note:** **Ok to Issue:**

**Dept:** Fire      **Status:** Approved      **Reviewer:** Lt. MacDougal      **Approval Date:** 02/04/2004

**Note:** **Ok to Issue:**



# Residential Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>180 High Street, Unit #45</u>		
Total Square Footage of Proposed Structure <u>850</u>	Square Footage of Lot <u>Condo Association</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>046 B 014045</u> Block# Lot# <u>Book/page = 13228/284</u>	Owner: <u>Kenneth Krause</u>	Telephone: <u>(207) 318-7570</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Kenneth Krause</u> <u>180 High Street, #45</u> <u>Portland ME 04101</u>	Cost Of Work: \$ <u>600.00</u> Fee: \$ <u>30.00</u>
Current Specific use: <u>Primary Home Dwelling</u>		
Proposed Specific use: <u>Primary Home Dwelling (no change)</u>		
Project description: A. Remove closet wall in Dining Room / Bedroom #2 B. Create doorway between Kitchen & Dining Room / Bedroom #2 C. Remove closet wall & <del>reframe</del> opening, if necessary <u>Reframe</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>Kenneth Krause</u>		
Mailing address: <u>180 High Street, Unit #45</u> <u>Portland ME 04101</u>		+x call Phone: <u>(207) 318-7570</u>

Please submit all of the information outlined in the Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.

At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.


I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.


Signature of applicant: <u>[Signature]</u>	Date: <u>23 January 2004</u>
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Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$9.00 per additional \$1000.00 cost

**This is not a Permit; you may not commence any work until the Permit is issued.**

Kenneth Krause the owner of unit 45 at 180 High Street, Portland, Maine asked me to measure and evaluate three projects he proposes. Given the very limited scope of the projects the requirements are clearcut.

(A)  Project one is to remove a wall which creates a 2 ½ foot by 7 foot long closet at the northeast corner of the northwest bedroom. It is clear that the wall was added to the original structure, it provides no support whatsoever and therefore can be removed without consideration of any support to replace it.

(B)  Project two is to create a doorway between 34 and 36 inches wide between the kitchen and that same northwest bedroom approximately one foot off the north wall. A doorway of that width would carry at most two floor joists for the floor above. Two 2 / 10's laminated together or a 6 inch laminated beam at the top of the doorway would more than carry the load.

(C)  Project three involves removing approximately 6 ½ feet of a hallway wall which now creates a shallow closet and installing shelves and storage. Based on the east wall of the back stairway, the back wall of the closet is bearing so removing that amount of hallway wall would require no added support to the floor above.

*B.R. Rollins*

Brian R. Rollins  
Building Inspection Services  
January 13, 2004

**BRIAN R. ROLLINS**

90 Park Street / Portland, Maine 04101-3825 / (207) 775-0304

## Exhibit A - Deed

A certain lot or parcel of land situated in said Portland, being Unit No. 45 of the Marlborough Condominium, more particularly described as follows:

A certain lot or parcel of land located on High Street in the City of Portland, County of Cumberland and State of Maine, being Unit No. 45 together with a 2.82% undivided percent interest in the common areas and facilities of Marlborough Condominium, all as more specifically described in the Marlborough Condominium Declaration of Condominium dated July 7, 1982 which have been established in accordance with the Unit Ownership Act of Maine Chapter 10, Title 33, Section 560 et seq. of the Revised Statutes of Maine 1964 as amended and which Declaration of Condominium and amended Declaration of Condominium are recorded in the Cumberland County Registry of Deeds in Book 4549, Page 314 and Book 4990, Page 74 respectively and as shown on the survey and on the floor plans prepared by H.I. and E.C. Jordan encaptioned Marlborough Associates dated December 28, 1979 and recorded in the Cumberland County Registry of Deeds in Unit Ownership File Number 22.

Said Unit is conveyed subject to and with the benefit of all the terms, provisions, conditions, restrictions, easements, covenants, obligations, reservations and encumbrances contained in or referred to in said Marlborough Condominium Declaration of Condominium, as amended and the survey and floor plans as hereinbefore referred to, all of which are incorporated by reference herein as the same may be amended or modified from time to time by document recorded at or filed in the Cumberland County Registry of Deeds, which provisions together with any amendments or modifications thereto shall constitute conveyance running with the land and shall bind any person having at any time any interest or estate in the Condominium Unit as if those provisions were raised and set forth herein. The Grantee, by the acceptance hereof agree to be bound and to comply with all of the terms and conditions of said Marlborough Condominium Declaration of Condominium, as amended.

Reference is hereby made to a deed from Ashley Sawyer Campbell and Mary Letitia Campbell a/k/a Chen Sun, as Trustee of the Ashley Sawyer Campbell T dated July 16, 1997 to Thomas W.S. Nichols and Sheila A. Nichols and recorded in the Cumberland County Registry of Deeds in Book 13228, Page 284

BK13228PG284

042330

QUITCLAIM DEED WITH COVENANT

We, **ASHLEY SAWYER CAMPBELL** and **MARY LETITIA CAMPBELL a/k/a CHEN SUN**, as Trustees of the **ASHLEY SAWYER CAMPBELL TRUST** u/a dated **March 8, 1995** whose address is **118 Rim Road, Santa Fe, New Mexico 97501**, by the power conferred by law and every other power, for consideration paid, grant to **THOMAS W.S. NICHOLS AND SHEILA A. NICHOLS**, whose mailing address is **180 High Street, Unit 45, Portland, Maine 04101**, as joint tenants, with quitclaim covenant, a certain lot or parcel of land with the buildings thereon situated in **Portland, County of Cumberland and State of Maine** bounded and described as follows:

MAINE REAL ESTATE TAX PAID

A certain lot or parcel of land situated in said Portland, being Unit No. 45 of the Marlborough Condominium, more particularly described as follows:

A certain lot or parcel of land located on High Street in the City of Portland, County of Cumberland and State of Maine, being Unit No. 45 together with a 2.82% undivided percent interest in the common areas and facilities of Marlborough Condominium, all as more specifically described in the Marlborough Condominium Declaration of Condominium dated July 7, 1982 which have been established in accordance with the Unit Ownership Act of Maine Chapter 10, Title 33, Section 560 et seq. of the Revised Statutes of Maine 1964 as amended and which Declaration of Condominium and amended Declaration of Condominium are recorded in the Cumberland County Registry of Deeds in Book 4549, Page 314 and Book 4990, Page 74 respectively and as shown on the survey and on the floor plans prepared by H.I. and E. C. Jordan encaptioned Marlborough Associates dated December 28, 1979 and recorded in the Cumberland County Registry of Deeds in Union Ownership File Number 22.

Said Unit is conveyed subject to and with the benefit of all the terms, provisions, conditions, restrictions, easements, covenants, obligations, reservations, and encumbrances contained in or referred to in said Marlborough Condominium Declaration of Condominium, as amended, and the survey and floor plans as hereinbefore referred to, all of which are incorporated by reference herein as the same may be amended or modified from time to time by document recorded at or filed in the Cumberland County Registry of Deeds, which provisions together with any amendments or modifications thereto shall constitute conveyances running with the land and shall bind any person having at any time any interest or estate in the Condominium Unit as if those provisions were raised and set forth herein. The Grantee, by the acceptance hereof agree to be bound and to comply with all of the terms and conditions of said Marlborough Condominium Declaration of Condominium, as amended.

TEK 12/15/03



BK 13228PG285

Meaning and intending to convey the same premises described in a Quitclaim Deed from Ashley Sawyer Campbell and Mary Letitia Campbell a/k/a CHEN SUN, Trustees of the ASHLEY SAWYER CAMPBELL TRUST dated May 24, 1995 and recorded in the Cumberland County Registry of Deeds in Book 11942, Page 277.

Witness our hands and seals this 16<sup>th</sup> day of July, 1997.

ASHLEY SAWYER CAMPBELL TRUST

Kim Dawson 6/16/97  
Witness Date

By: Ashley Sawyer Campbell  
ASHLEY SAWYER CAMPBELL, TRUSTEE

Kim Dawson 6/16/97  
Witness Date

By: Mary Letitia Campbell AKA Chen Sun  
MARY LETITIA CAMPBELL a/k/a  
CHEN SUN, TRUSTEE

STATE OF NEW MEXICO  
SANTA FE, ss

June 16, 1997

The above named Ashley Sawyer Campbell, Trustee of the Ashley Sawyer Campbell Trust personally appeared before me and acknowledged the foregoing instrument to be the free act and deed of the Ashley Sawyer Campbell Trust.

SEAL

Pamela J. Bowerman  
Notary Public/Attorney at Law

Printed Name PAMELA J. BOWERMAN  
Notary Public, Maine  
My Commission Expires August 21, 2003

STATE OF NEW MEXICO  
SANTA FE, ss

June 16, 1997

The above named Mary Letitia Campbell a/k/a Chen Sun, Trustee of the Ashley Sawyer Campbell Trust personally appeared before me and acknowledged the foregoing instrument to be the free act and deed of the Ashley Sawyer Campbell Trust.

SEAL

Pamela J. Bowerman  
Notary Public/Attorney at Law

Printed Name PAMELA J. BOWERMAN  
Notary Public, Maine  
My Commission Expires August 21, 2003

RECEIVED  
RECORDED REGISTRY OF DEEDS

1997 AUG -1 AM 10:57

CUMBERLAND COUNTY

John B O'Brien

TEC 12/15/03

# WARRANTY DEED

**Know All Men By These Presents That** We, Thomas W.S. Nichols and Sheila A. Nichols of 180 High Street, #45, Portland, County of Cumberland and State of Maine,

for consideration paid, grant to Kenneth E. Krause, Jr.

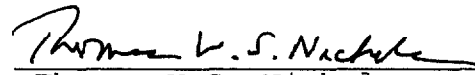
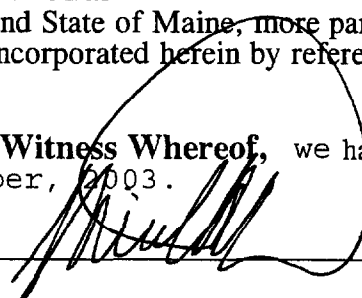
of 94-2 St. Lawrence Street, Portland, County of Cumberland and State of Maine

with **WARRANTY COVENANTS:**

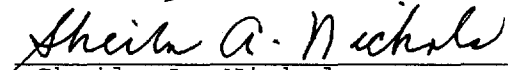
A certain lot or parcel of land together with any buildings thereon situated in Portland County of Cumberland and State of Maine, more particularly described in Exhibit A attached hereto and incorporated herein by reference.

**In Witness Whereof,** we have hereunto set our hand(s) this 15th day of December, 2003.

Witness



Thomas W.S. Nichols



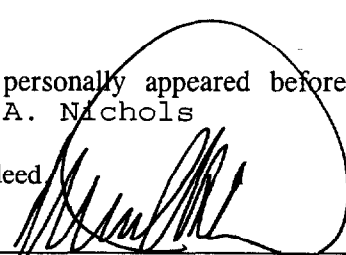
Sheila A. Nichols

**State of** Maine  
**County of** Cumberland

ss.

On this 15th day of December, 2003, personally appeared before me the above named Thomas W.S. Nichols and Sheila A. Nichols

and acknowledged the foregoing to be his/her/their free act and deed.

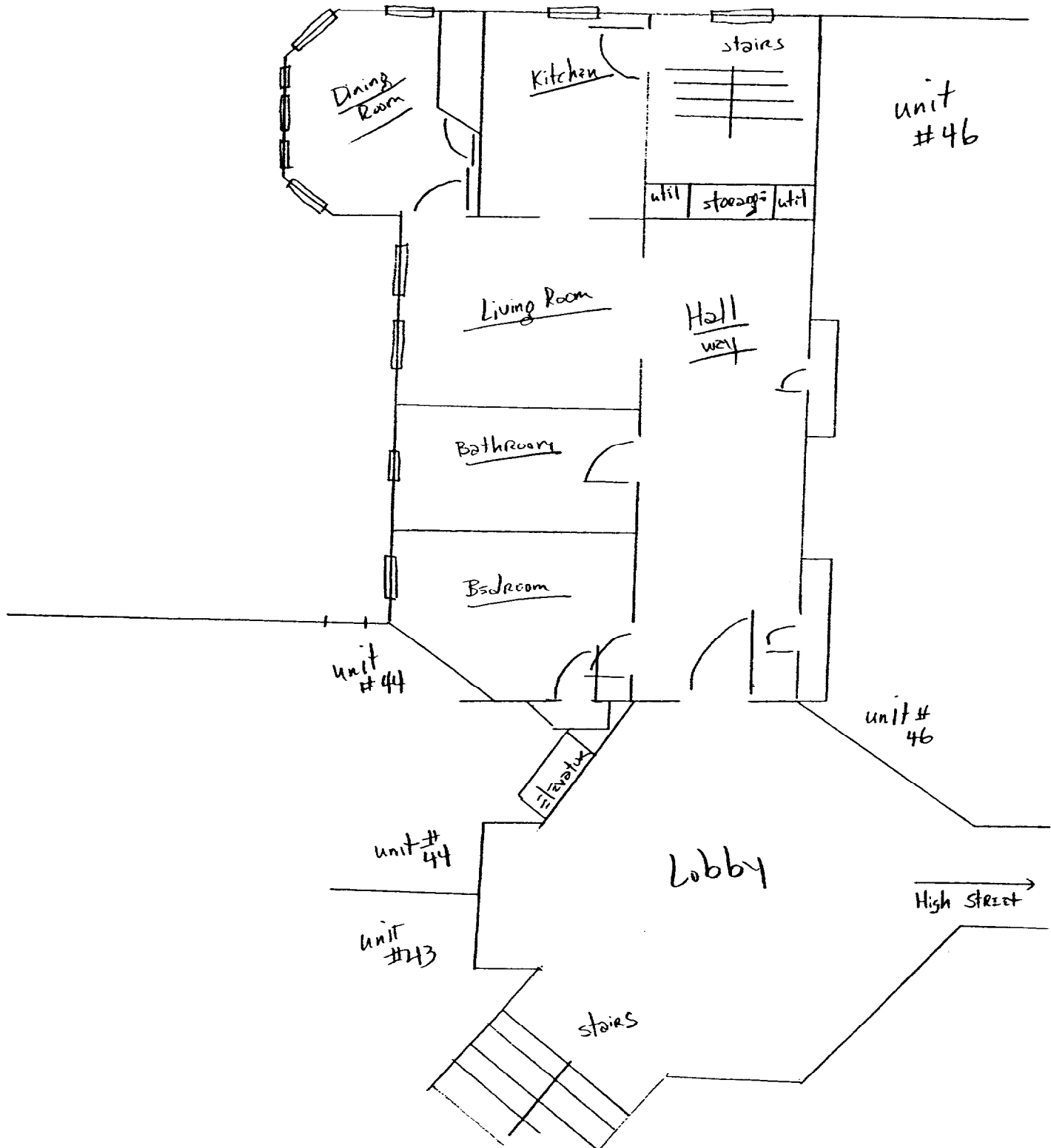
  
Notary Public, Attorney at Law

Return to: Kenneth E. Krause, Jr.

**WILLIAM R. DUNN**  
**ATTORNEY AT LAW**

# Unit #45 Layout

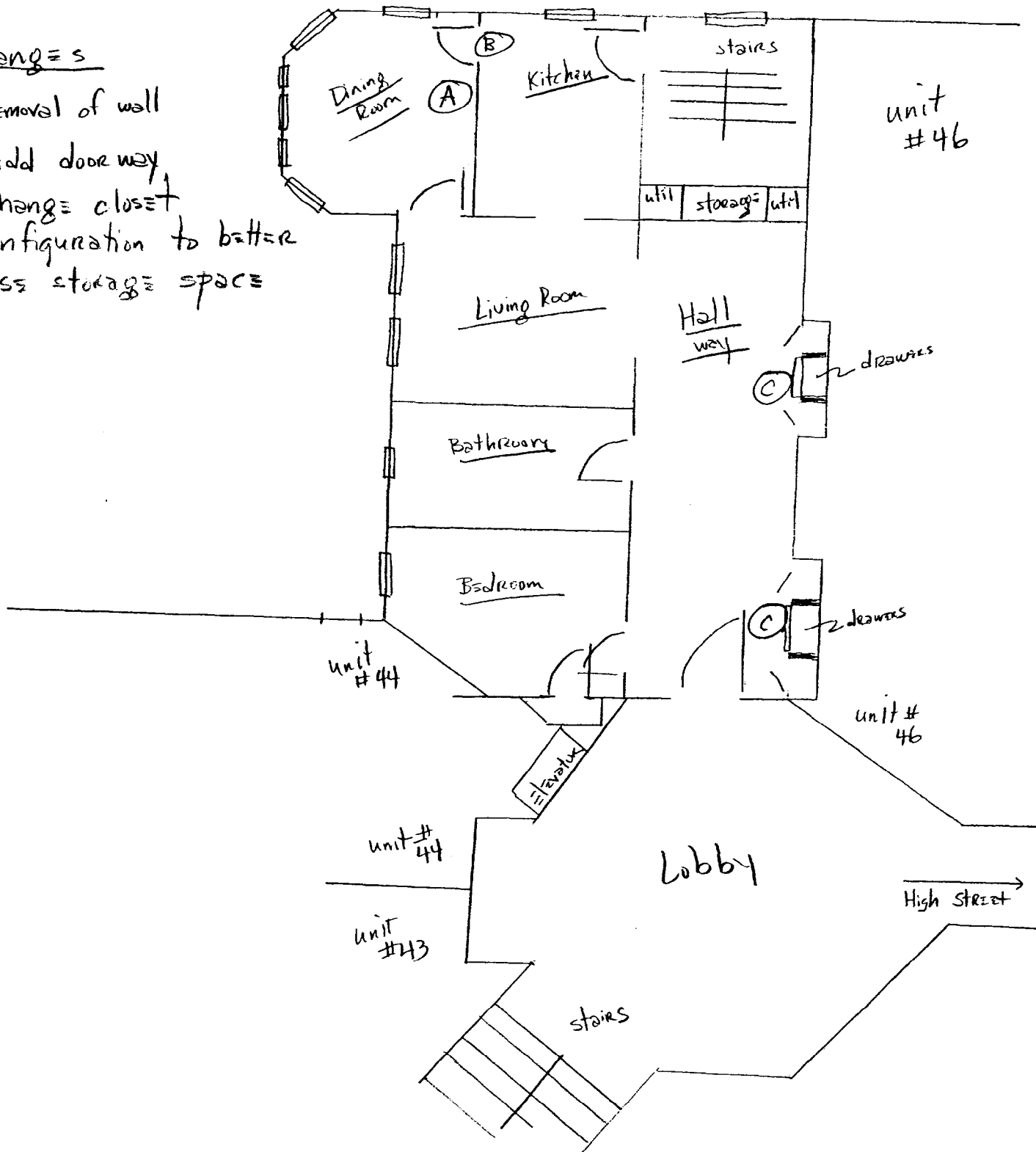
BEFORE



# Unit #45 Layout

AFTER

- Changes
- A. Removal of wall
  - B. Add doorway
  - C. Change closet configuration to better use storage space



# Ⓐ Wall Removal

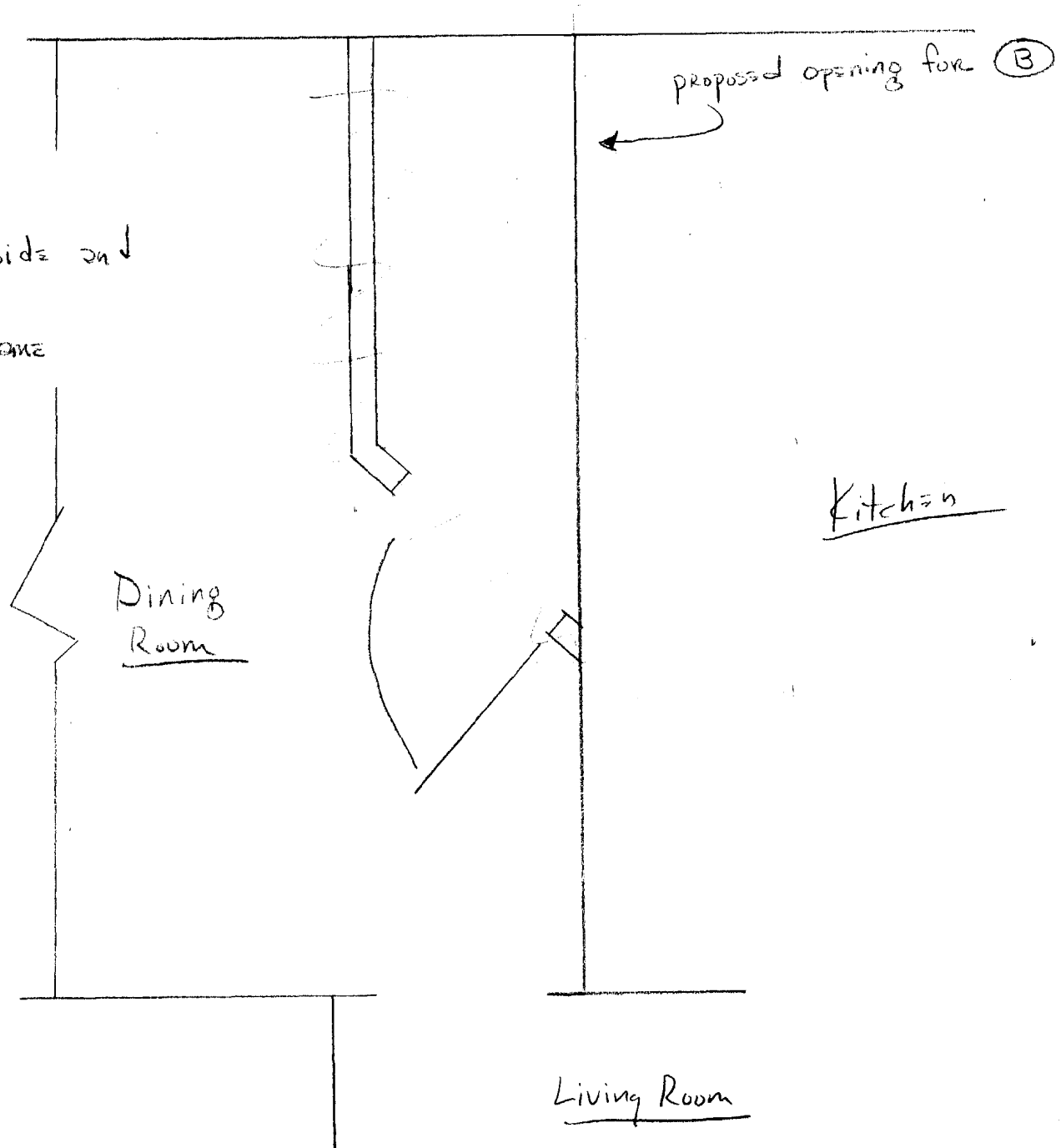
1/2" = 1'-0"

## Actions:

1. Remove trim, door
2. Remove dry wall inside and outside of closet
3. Remove 2x4 wood frame

## Notes:

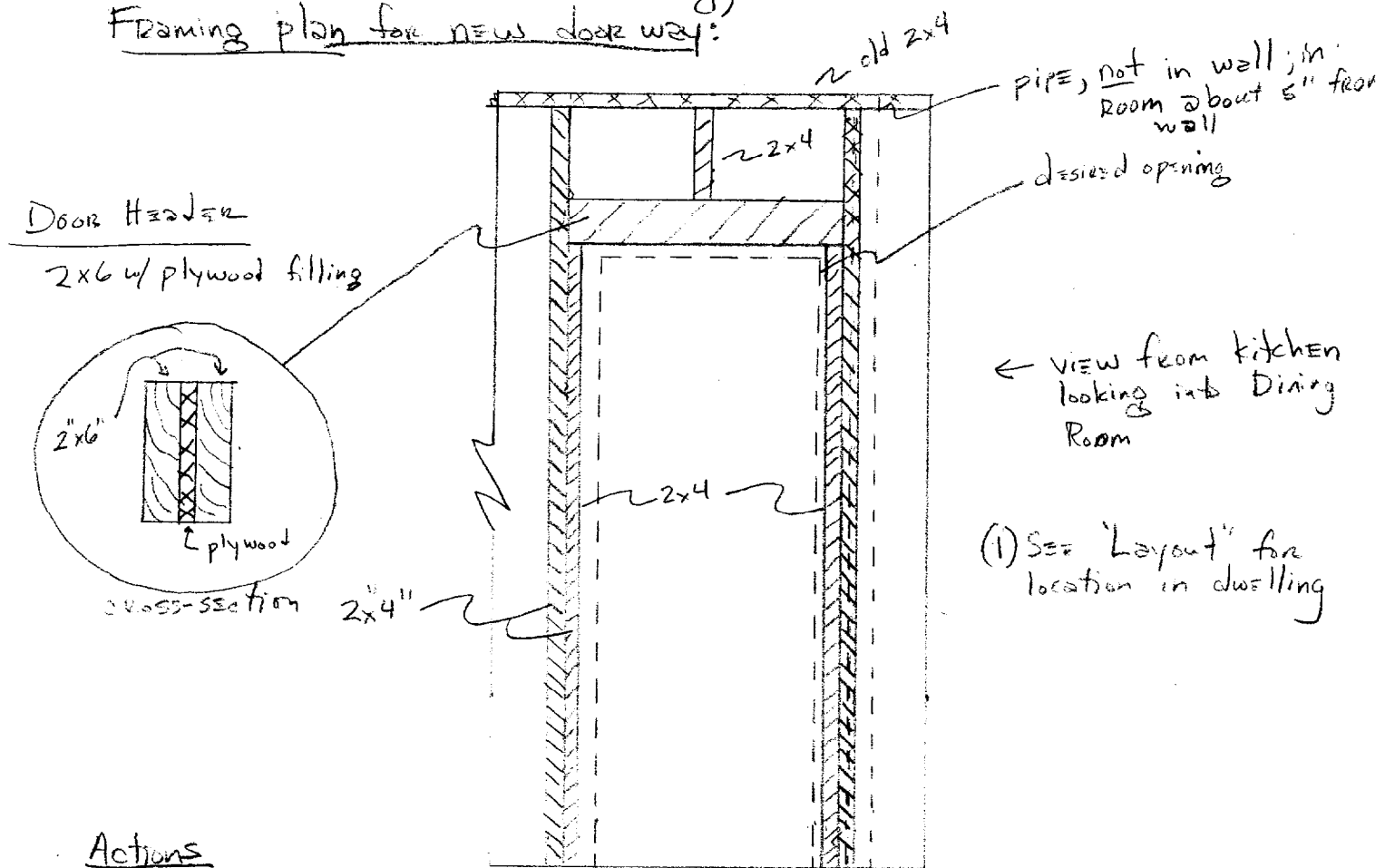
- a) Not a load bearing wall; added in last 30 years
- b) No utilities in wall
- c) Building Inspectors report attached.



# (B) Kitchen to Dining

Scale:  
1/2" = 1'-0"

## Framing plan for new door way: (1)



## Actions

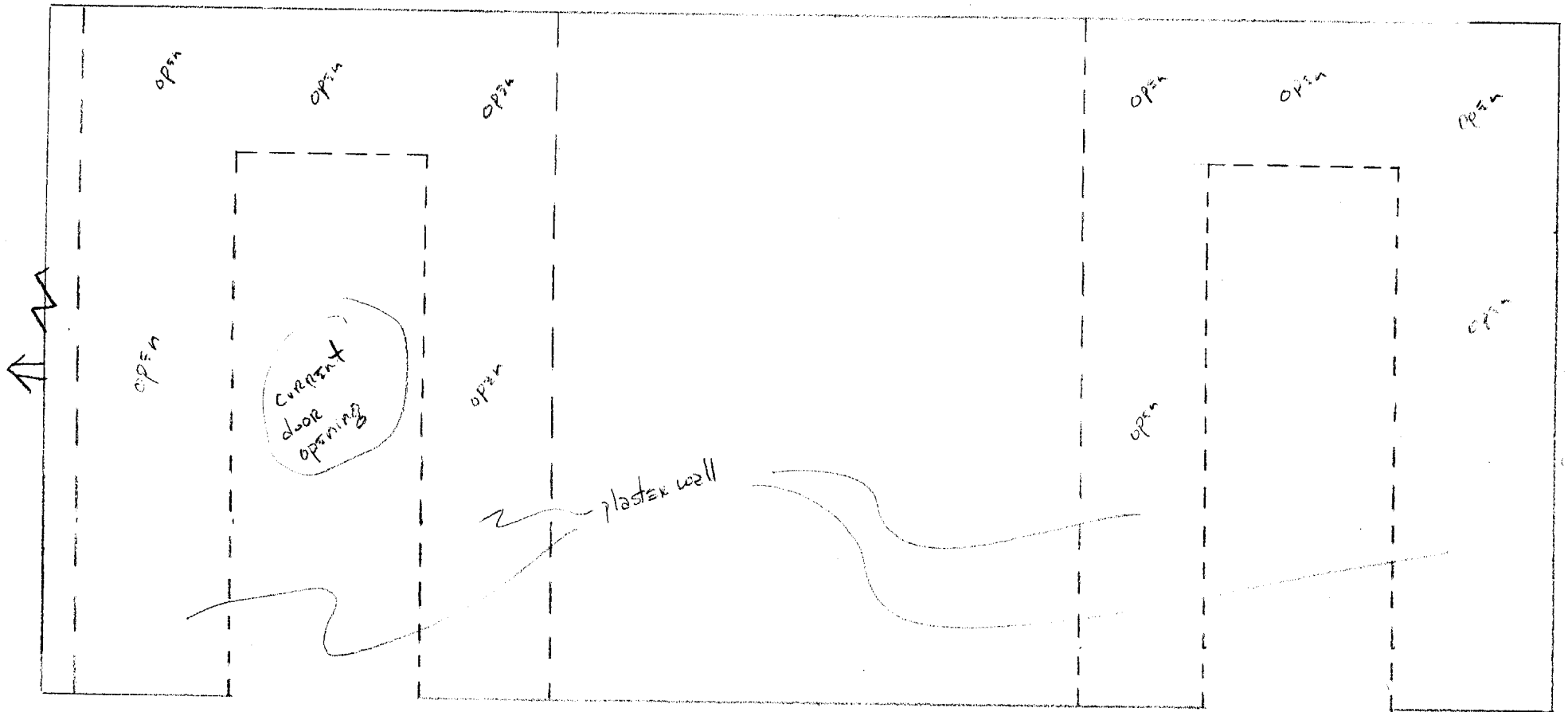
1. Remove trim from 40" wall section where door will go; mark opening
2. Remove plaster & horizontal wood slats that held the plaster
3. Add a loose 6' 2"x6" piece of wood to ceiling & support jacks under wood to carry load for when studs are removed.
4. Remove wood studs that block the desired door opening, keep ceiling header (At most, this would be 2 studs)
5. Add new frame as detailed above using 2"x4" (solid) piece from floor to ceiling; use two 2"x6" w/ plywood in middle as the door header; see cross-section.
6. Add door frame and moulding
7. Add threshold

② Hall way  
North wall (1)

1/2" = 1'-0"

(1) S ≡ "layout" for location in dwelling

("25-15"; current)



\* Remove plaster from "open" labeled areas; keep studs and build new fronts.

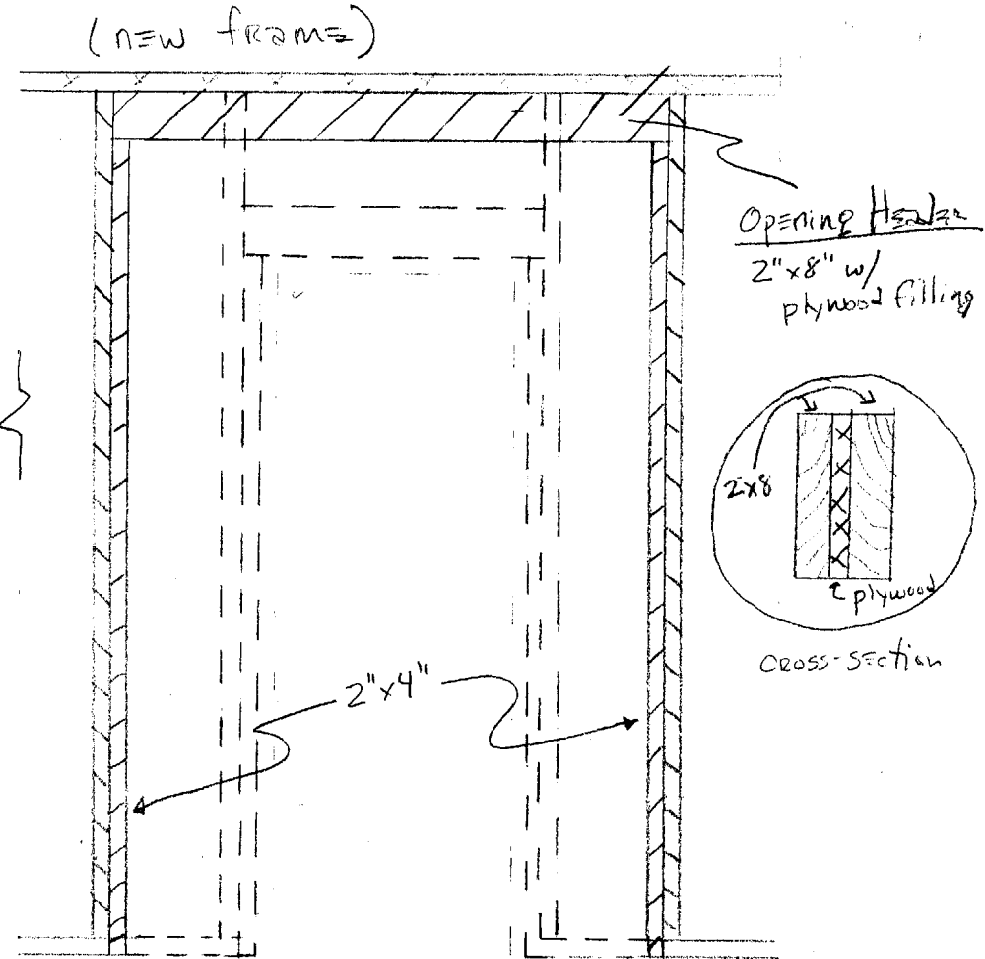
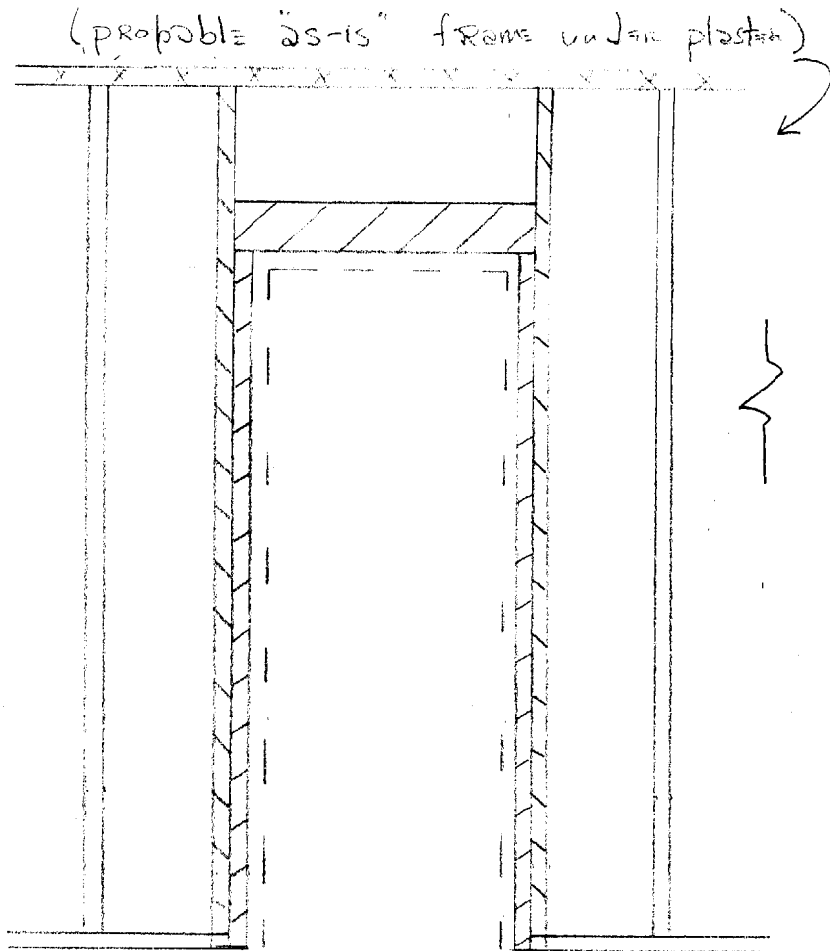
# (C) Hallway

1/2" = 1'-0"

\* plan for both door ways in hall

## Notes

a) Not a load bearing wall  
(see attached report)



## Actions:

1. Remove trim from door openings
2. Remove plaster & horizontal plaster wood slats
3. Add a loose 8' 2"x6" piece of wood to ceiling & support jacks under wood to carry any possible load for when studs are removed

## Actions (cont):

4. Remove door frame & any vertical wood studs that block the desired opening; keep ceiling header
5. Add new frame as detailed above using 2"x4" (solid piece floor to ceiling); use 2"x8" w/ plywood as opening header; see x-section.





# CITY OF PORTLAND, MAINE

## Department of Building Inspections

Jan 22 2004

Received from Kenneth K...

Location of Work 130 Kight St

Cost of Construction \$ \_\_\_\_\_

Permit Fee \$ 20.00

Building (IL)  Plumbing (IS) \_\_\_\_\_ Electrical (I2) \_\_\_\_\_ Site Plan (U2) \_\_\_\_\_

Other \_\_\_\_\_

CBL: 046 B 014 045

Check #: 1985

Total Collected \$ 20.00

# THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy

*Handwritten signature/initials*