

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

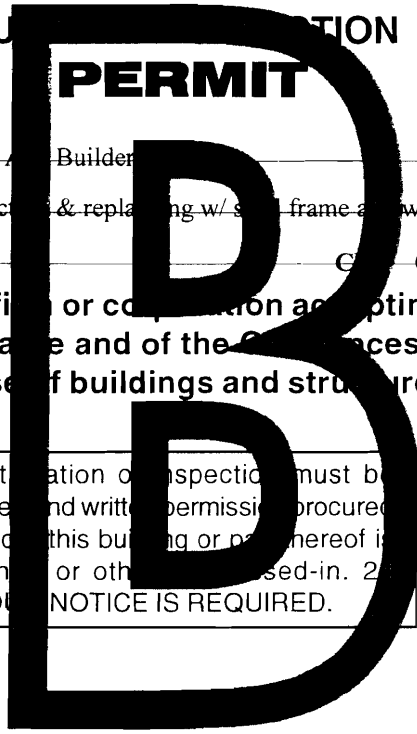
BUILDING PERMIT

Permit Number: 081434

Please Read Application And Notes, If Any, Attached

This is to certify that HAYNOR ROBERT S./New Builder
has permission to taking down old wooden structure & replacing w/ steel frame and wood stairs & rails
AT 198 HIGH ST City of Portland 046 B007001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.



Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is set-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept.	<i>[Signature]</i>
Health Dept.	
Appeal Board	
Other	
	Department Name

[Signature] 12/15/08
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1434	Issue Date: 12/5/08	CBL: 046 B007001
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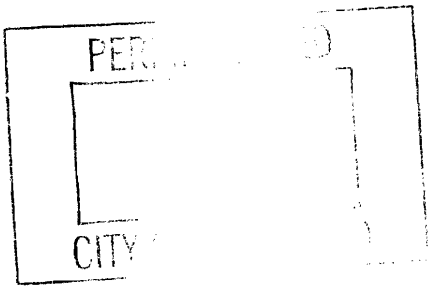
Location of Construction: 198 HIGH ST	Owner Name: HAYNOR ROBERT S	Owner Address: 23 WEST TREVOR HILL	Phone:
Business Name:	Contractor Name: New Age Builders, LLC	Contractor Address: 25 Alice St Portland	Phone 2076321124
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Multi Family	Zone: B-3

Past Use: Multi-unit condo	Proposed Use: Multi-unit condo - taking down old wooden structure & replacing w/ steel frame and wood stairs & rails <i>legal use - 12 residential condos (market)</i>	Permit Fee: \$510.00	Cost of Work: \$49,000.00	CEO District: 2
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>See Conditions</i>	INSPECTION: Use Group: R-2 Type: 5B IBC-2003	

Proposed Project Description: taking down old wooden structure & replacing w/ steel frame and wood stairs & rails	Signature: <i>Cory Cass</i>	Signature: <i>[Signature]</i> 12/5/08
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: Idobson	Date Applied For: 11/07/2008	Zoning Approval
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..



Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK w/ cond. has</i> Date: 11/12/08 <i>ABU</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation YS <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 11/19/08 <i>SEH</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1434	Date Applied For: 11/07/2008	CBL: 046 B007001
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Location of Construction: 198 HIGH ST	Owner Name: HAYNOR ROBERT S	Owner Address: 23 WEST TREVOR HILL	Phone:
Business Name:	Contractor Name: New Age Builders, LLC	Contractor Address: 25 Alice St Portland	Phone (207) 632-1124
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Multi Family	

Proposed Use: Multi-unit condo - taking down old wooden structure (fire escape) & replacing w/ steel frame and wood stairs & rails	Proposed Project Description: taking down old wooden structure (fire escape) & replacing w/ steel frame and wood stairs & rails
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Dept: Historic	Status: Approved with Conditions	Reviewer: Scott Hanson	Approval Date: 11/19/2008
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) Approval conditional on inspection upon completion to insure complinace with submitted specifications.			
Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 11/12/2008
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.			
2) This property shall remain as twelve residential condominiums. Any change of use shall require a separate permit application for review and approval.			
3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			
Dept: Building	Status: Approved with Conditions	Reviewer: Chris Hanson	Approval Date: 12/15/2008
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) This permit is approved under IBC Sec. 3403.4, Existing Structures, which allows the alteration or replacement of existing stairs to not meet new construction dimensions when the space is restricted. Guardrails and handrails must comply with new codes to the fullest extent possible			
2) Frost protection must be installed per the enclosed detail as discussed w/owner/contractor.			
3) Your guardrail system installed around your deck must meet the loading requirements of section 1607.7.1 of the IBC 2003 Building Code.			
4) ANY exterior work requires separate review and approval thru Historic Preservation			
5) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approrval prior to work.			
Dept: Fire	Status: Approved with Conditions	Reviewer: Capt Greg Cass	Approval Date: 11/20/2008
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) All means of egress to remain accessible at all times			
2) Two means of egress are required from every story. "State Law"			

Comments: 11/10/2008-amachado: Left voicemail for Jim Messer. Need sketch w/ dimensions & or picture of what is there now. Need letter from condo association that he can pull permit to do the work.

Location of Construction: 198 HIGH ST	Owner Name: HAYNOR ROBERT S	Owner Address: 23 WEST TREVOR HILL	Phone:
Business Name:	Contractor Name: New Age Builders, LLC	Contractor Address: 25 Alice St Portland	Phone (207) 632-1124
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Multi Family	

11/12/2008-amachado: Received picture & letter of permission.

11/19/2008-gg: received from historic as of 11/19/08. /gg

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X **Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**

 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

 X **Final inspection required at completion of work.**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

Signature of Applicant/Designee

Date

Signature of Inspections Official

Date

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	273 K020001
Location	RAVINA ST
Land Use	GOVERNMENTAL
 Owner Address	 CITY OF PORTLAND 389 CONGRESS ST PORTLAND ME 04101
 Book/Page	 PNP03/
Legal	273-K-20 TO 29 RAVINA ST 22418 SF

Current Assessed Valuation

Land	Building	Total
\$8,300	\$ 0.00	\$8,300

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
				0.515	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
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Sales Information

Date	Type	Price	Book/Page
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Picture and Sketch

[Picture](#) [Sketch](#) [Tax Map](#)

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

New Search!



Residential Additions/Alterations Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000. in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at www.portlandmaine.gov, in the Inspection Office, Room 315 of Portland City Hall or call (207)874-8703 to have one mailed to you.

One (1) complete set of construction drawings must include:

- Cross sections w/framing details
- Floor plans and elevations existing & proposed
- Detail removal of all partitions & any new structural beams
- Detail any new walls or permanent partitions
- Stair details including dimensions of: rise/run, head room, guards/handrails, baluster spacing
- Window and door schedules
- Foundation plans w/required drainage and damp proofing (if applicable)
- Detail egress requirements and fire separation/sound transmission ratings (if applicable)
- Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IECC 2003
- Deck construction including: pier layout, framing, fastenings, guards, stair dimensions
- Reduced plans or electronic files in pdf format are required if originals are larger than 11" x 17"
- Proof of ownership is required if it is inconsistent with the assessors records

Separate permits are required for internal & external plumbing, HVAC, and electrical installations.

If there are any additions to the footprint or volume of the structure, any new or rebuilt structures or, accessory detached structures a plot plan is required. A plot must include:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines. Structures include decks, porches; bow windows, cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown with dimensions if not to scale.
- Location and dimensions of parking areas and driveways
- A change of use may require a site plan exemption application to be filed.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost
This is not a Permit; you may not commence any work until the Permit is issued.



EBHARDT PROPERTY MANAGEMENT

www.gpmmaine.com
P.O. Box 11591
Portland, ME 04102
Office: 207-541-9468
Cell: 207-415-2276
E-mail:
info@gpmmaine.com

November 10, 2008

City Of Portland

Permit Division

Attn: Ann Machado

NOV 12 2008

To Whom It May Concern,

We are the managing agent for Pettengil Row Condominium Association.

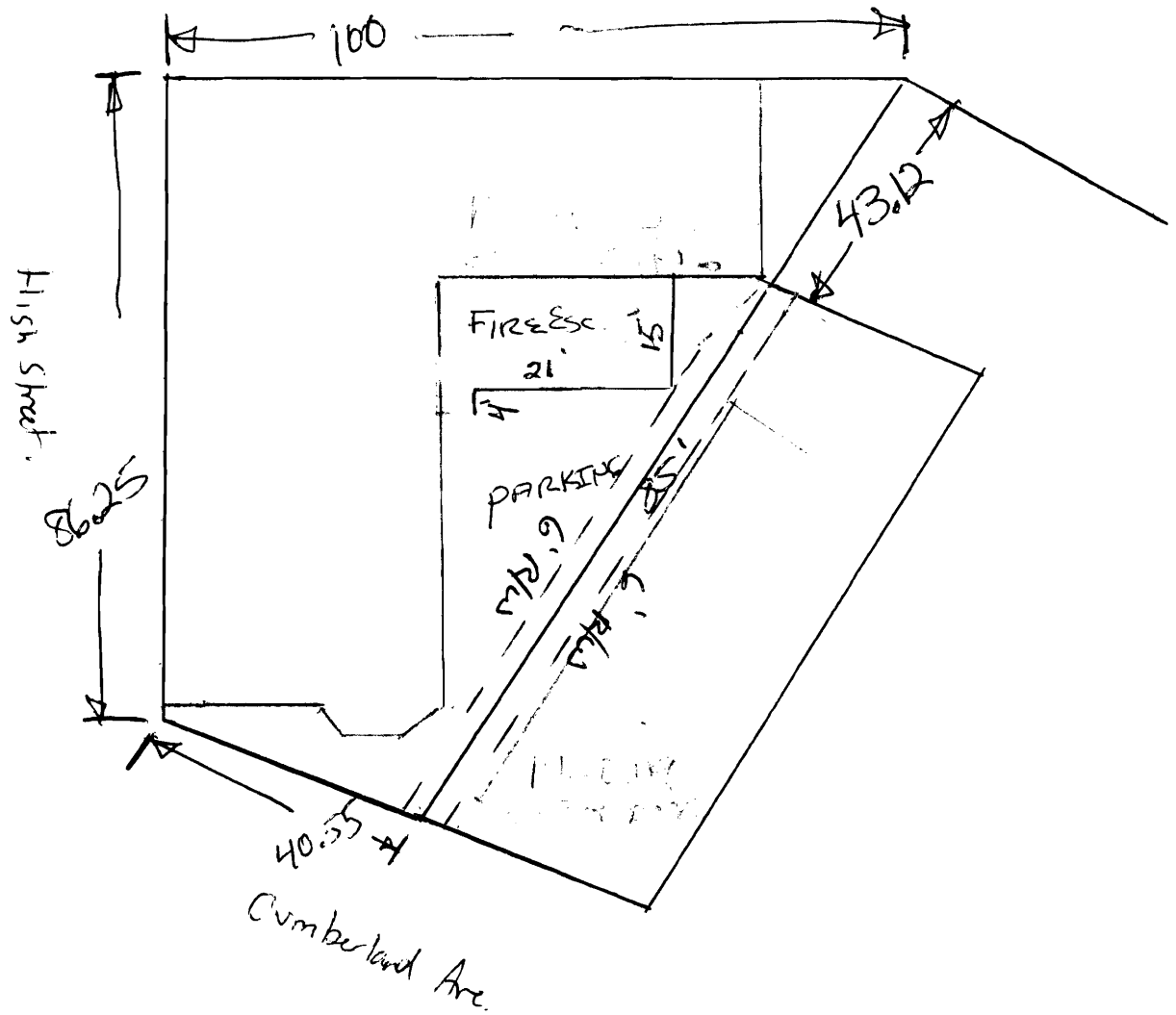
We would like to grant permission to Jim Messer of New Age Builders to obtain the necessary permits needed for the potential installation of a fire escape located at 194-198 High St. also known as Pettengil Row Condominiums. Thank you very much for your cooperation and feel free to contact us with any questions.

Sincerely,

Tim Gebhardt

Account Manager

Gebhardt Property Management, LLC



WE WILL PROBABLY GET A NEW
 TRACTOR THAT CAN FOOT PRINT

B-3 - Historic

- no minimum yard dimensions

existing lot print $15 \times 21 = 315 \text{ } \phi$

new lot print $241.2 \text{ } \phi$ less.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>194-198 High St</u>		
Total Square Footage of Proposed Structure/Area <u>316</u>	Square Footage of Lot <u>Approx 7500'</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>046</u> Block# <u>B</u> Lot# <u>7001</u>	Applicant * must be owner, Lessee or Buyer * Name <u>PETTINGILL ROW</u> Address <u>194-198 HIGH ST</u> City, State & Zip _____	Telephone: <u>BPM</u> <u>RICK</u> <u>PROPERTY</u> <u>MANAGEMENT</u> <u>239-2424</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name _____ Address _____ City, State & Zip _____	Cost Of Work: \$ <u>49,000</u> C of O Fee: \$ _____ Total Fee: \$ <u>510</u>
Current legal use (i.e. single family) <u>FIRE ESCAPE</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>FIRE ESCAPE</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>12 CONDO'S WITH COMMON FIRE ESCAPE IN REAR ALLEY/DRIVEWAY TAKING DOWN OLD WOODEN STRUCTURE + REPLACING WITH STEEL FRAME AND WOOD STAIRS + RAILS</u>		
Contractor's name: <u>NEW AGE BUILDERS</u> Address: <u>25 ALICE ST</u> City, State & Zip <u>Portland ME 04103</u> Telephone: <u>632 1124</u> Who should we contact when the permit is ready: <u>JIM MESSER</u> Telephone: <u>632 1124</u> Mailing address: <u>SLA/A</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Handwritten Signature] Date: 10/31/08

This is not a permit; you may not commence ANY work until the permit is issued

NOV 7 2008

DEPT. OF CITY ENGINEERING
NOV 5 2008
INSPECTION DIV. ME
VE-7

