

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 10-1445	<b>Issue Date:</b>	<b>CBL:</b> 046 B006005
------------------------------	--------------------	----------------------------

<b>Location of Construction:</b> 442 Cumberland Ave	<b>Owner Name:</b> KOKEMULLER, LINDA & HEIRS	<b>Owner Address:</b> 442 CUMBERLAND AVE	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Maine Roofing Inc	<b>Contractor Address:</b> 24 Bishop Ave South Portland	<b>Phone</b> 2077674243
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Amendment to Multifamily	<b>Zone:</b>

<b>Past Use:</b> Condo - unit #5	<b>Proposed Use:</b> Unit 5 Condo - replace deck on unit #5	<b>Permit Fee:</b> \$100.00	<b>Cost of Work:</b> \$8,000.00	<b>CEO District:</b> 2
<b>Proposed Project Description:</b> replace deck on unit #5		<b>FIRE DEPT:</b> <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<b>INSPECTION:</b> Use Group: Type:	
		Signature:	Signature:	
<b>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)</b>				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
		Signature:	Date:	

<b>Permit Taken By:</b> Idobson	<b>Date Applied For:</b> 11/17/2010	<b>Zoning Approval</b>		
------------------------------------	--	------------------------	--	--

<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date:	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
---	---	---	---

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

---

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
------------------------	---------	------	-------

---

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
---	------	-------

<b>Location of Construction:</b> 442 Cumberland Ave	<b>Owner Name:</b> KOKEMULLER, LINDA & HEIRS	<b>Owner Address:</b> 442 CUMBERLAND AVE	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Maine Roofing Inc	<b>Contractor Address:</b> 24 Bishop Ave South Portland	<b>Phone:</b> 2077674243
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Amendment to Multifamily	<b>Zone:</b>

**Dept:** Historic      **Status:** Approved with Conditions      **Reviewer:** Deborah Andrews      **Approval Date:** 12/13/2010

**Note:** **Ok to Issue:**

- 1) \* Railing to match railing on opposite site of roof (which was completed last year) in height and all details.
- \* Railing to be painted or opaque stained to match the color of building trim. Painting or staining to be completed by June 1, 2011.
- \*

**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 11/22/2010

**Note:** **Ok to Issue:**

- 1) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.
- 2) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 3) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 4) This property shall remain six residential condominium dwellings. Any change of use shall require a separate permit application for review and approval.
- 5) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Jeanine Bourke      **Approval Date:** 12/15/2010

**Note:** **Ok to Issue:**

- 1) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Ben Wallace Jr.      **Approval Date:** 12/14/2010

**Note:** **Ok to Issue:**

- 1) All construction shall comply with City Code Chapter 10.

**Comments:**

11/22/2010-mes: I gave back to Lannie to charge the Historic fee and to route on to Deb Andrews.

12/13/2010-gg: Applicant owes for \$50.00 for HP review, do not issue until paid. Inspection will take in the HP review fee. /gg

12/13/2010-gg: received permit from historic as of 12-13-10. /gg

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

\_\_\_\_\_  
SIGNATURE OF APPLICANT

\_\_\_\_\_  
ADDRESS

\_\_\_\_\_  
DATE

\_\_\_\_\_  
PHONE

\_\_\_\_\_  
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

\_\_\_\_\_  
DATE

\_\_\_\_\_  
PHONE



*New Application*  
**General Building Permit Application**

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>442 Cumberland Ave. #5</u>		
Total Square Footage of Proposed Structure/Area <u>208 sq ft</u>	Square Footage of Lot <u>4250</u>	Number of Stories <u>4</u>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot#	Applicant * <u>must</u> be owner, Lessee or Buyer* Name: <u>Linda Kooken Miller</u> Address: <u>442 Cumberland Ave Unit 5</u> City, State & Zip: <u>Portland ME 04103</u>	Telephone: <u>207</u> <u>650-</u> <u>6998</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>2800.00</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>Condo</u> Number of Residential Units <u>6</u> If vacant, what was the previous use? <u>/</u> Proposed Specific use: _____ Is property part of a subdivision? <u>/</u> If yes, please name _____ Project description: <u>Replacing deck on unit #5</u>		
Contractor's name: <del>_____</del> <u>Maine Roofing Inc</u> Address: <u>24 Bishop Ave</u> City, State & Zip: <u>Portland ME 04106</u> Telephone: <u>207 482 9577</u> Who should we contact when the permit is ready: <u>M. Ke 207 482 9577</u> Telephone: _____ Mailing address: <u>Same</u>		

**Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Chad Dashi      Date: 10-24-2010

**This is not a permit; you may not commence ANY work until the permit is issued**

This was the other deck done last year



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>1442 Cumberland Ave #6 Portland ME</u>		
Total Square Footage of Proposed Structure/Area <u>208 square feet</u>	Square Footage of Lot <u>4250 (50x85)</u>	Number of Stories <u>4</u>
Tax Assessor's Chart, Block & Lot Chart# <u>MAP 046</u> Block# <u>B</u> Lot# <u>006006</u>	Applicant *must be owner, Lessee or Buyer* Name <u>JONATHAN KILBOURN</u> Address <u>135 Presumpscot St #6</u> City, State & Zip <u>Portland, ME 04103</u>	Telephone: <u>207-650-6998</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>8,000</u> C of O Fee: \$ _____ Total Fee: \$ <u>100</u>
Current legal use (i.e. single family) <u>Condominium</u>	Number of Residential Units <u>6</u>	
If vacant, what was the previous use? _____		
Proposed Specific use: _____		
Is property part of a subdivision? _____	If yes, please name _____	
Project description: <u>Replacing Deck on unit #6</u>		<u>Mike - 767-4243</u>
Contractor's name: <u>Maine Renting Inc.</u>		
Address: <u>24 Bishop Ave</u>		
City, State & Zip <u>South Portland, ME 04106</u>		Telephone: <u>207 767 4243</u>
Who should we contact when the permit is ready: <u>Liz Darling</u>		Telephone: _____
Mailing address: <u>Same</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 9/16/09

This is not a permit; you may not commence ANY work until the permit is issued

RECEIVED  
NOV 1  
Dept of Building Inspections  
City of Portland Maine

## **BUILDING PERMIT INSPECTION PROCEDURES**

**Please call 874-8703 or 874-8693 (ONLY )  
or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)**

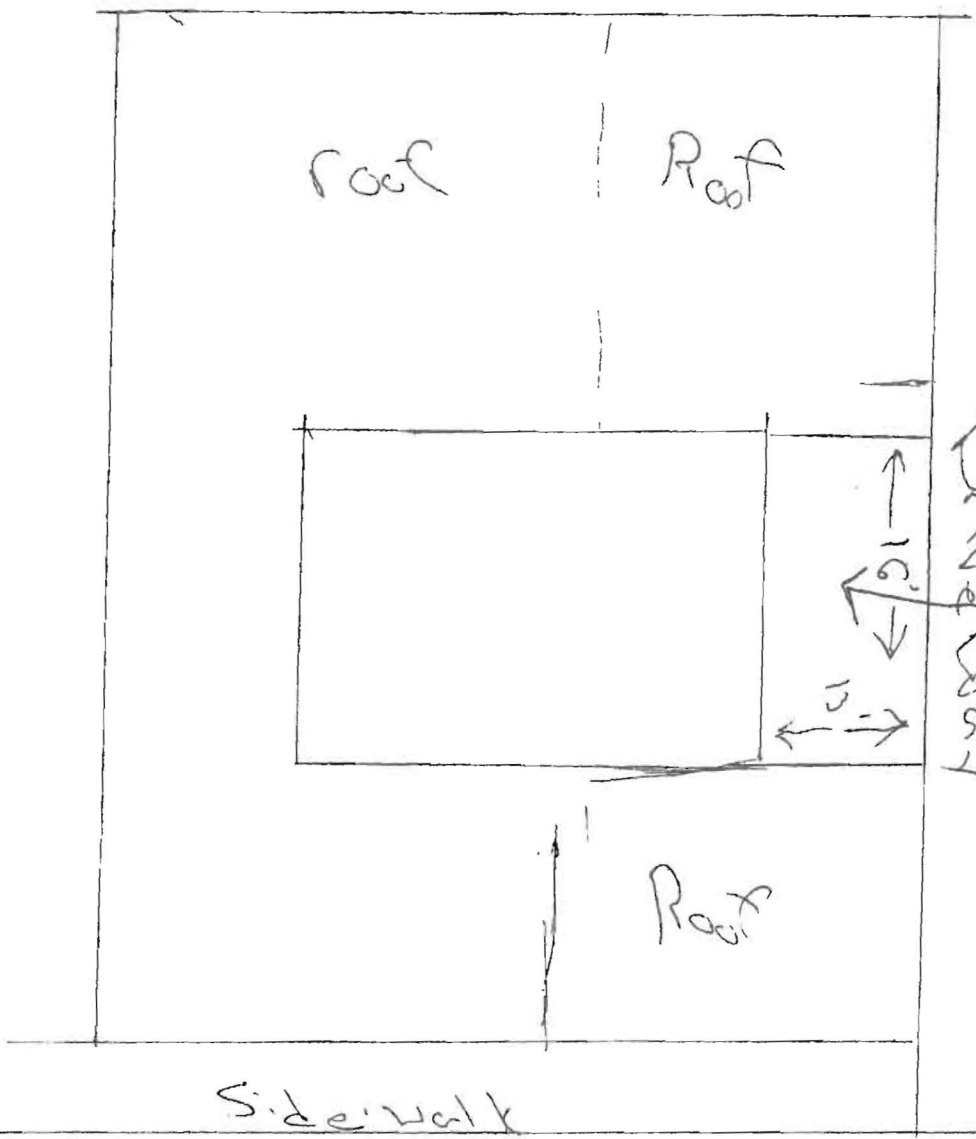
With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a “Stop Work Order” and subsequent release to continue with construction.**

  **X**   **Final inspection required at completion of work.**

**The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.**



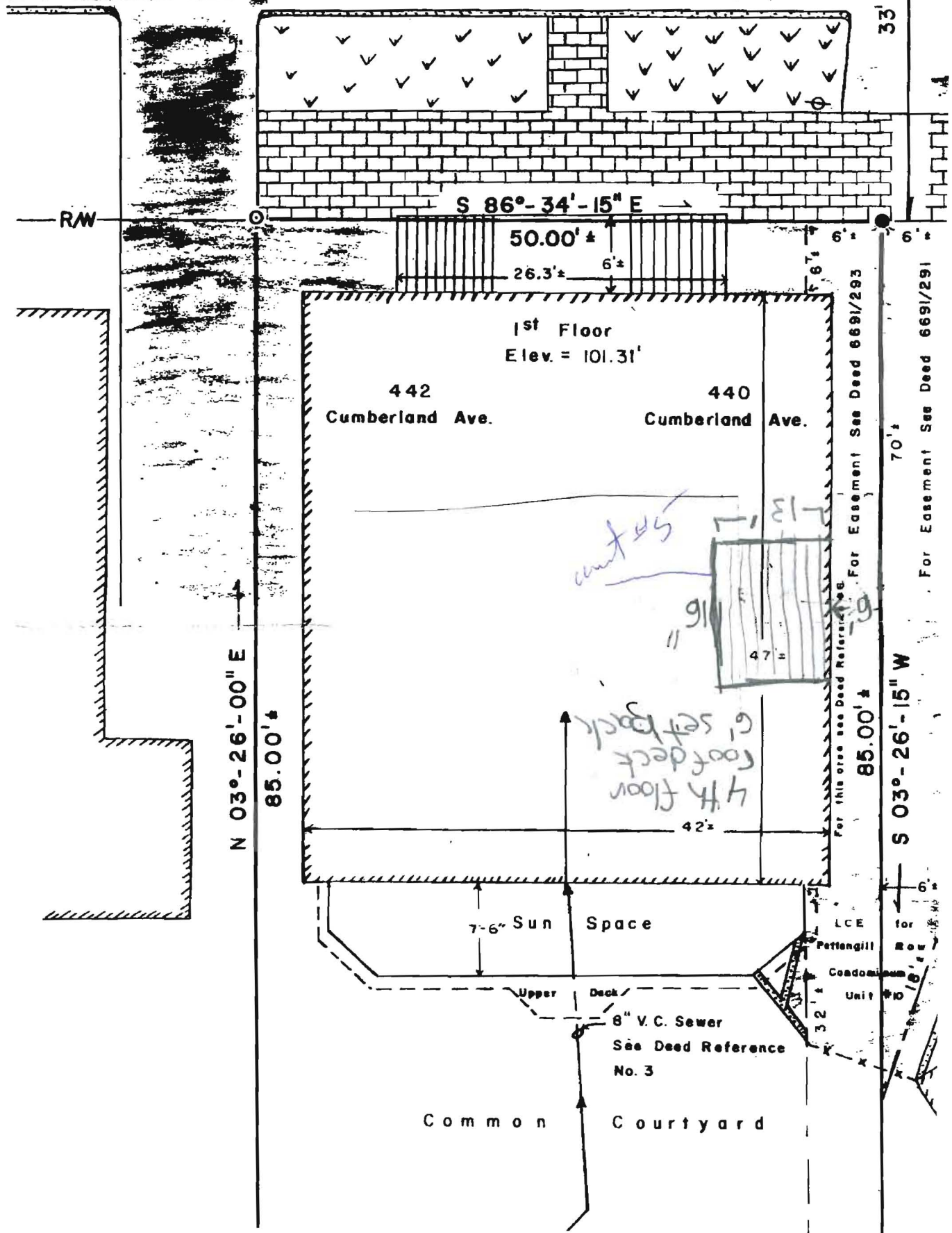
Previous 2009  
Application  
for unit #6

Deck to be  
rebuilt  
(see photos on  
reverse side)

Sidewalk

(447) Congress Ave.

N / F  
P. Skolfield  
7/280)



$N 03^{\circ}-26'-00'' E$   
 $85.00' \pm$

$S 86^{\circ}-34'-15'' E$   
 $50.00' \pm$   
 $26.3' \pm$   
 $6' \pm$

1st Floor  
Elev. = 101.31'

442  
Cumberland Ave.

440  
Cumberland Ave.

*4th floor rooftop deck*  
*6" set back*  
 $42' \pm$   
 $47' \pm$   
 $6' \pm$

7-6" Sun Space

Upper Deck  
8" V.C. Sewer  
See Deed Reference No. 3

Common Courtyard

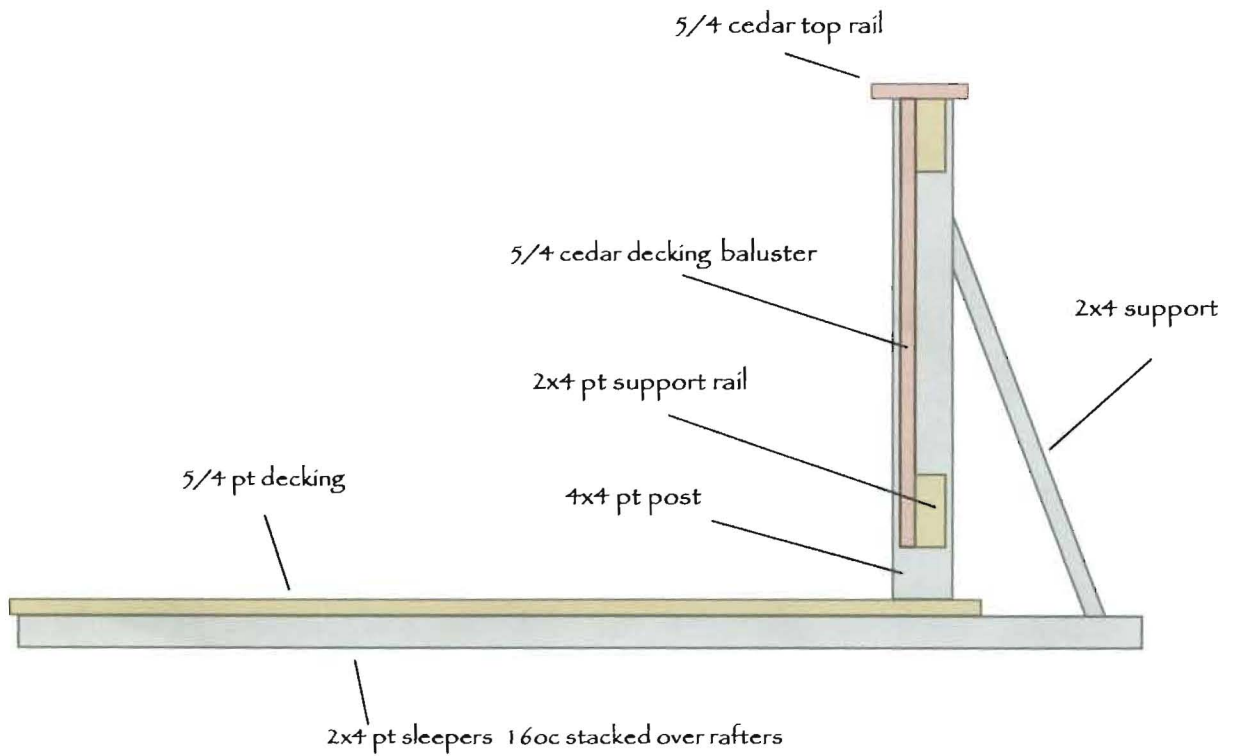
For Easement See Deed 669/293  
 $85.00' \pm$   
For this area see Deed Reference No. 3

$S 03^{\circ}-26'-15'' W$   
 $70' \pm$   
For Easement See Deed 669/291

LCE for Pettengill Condominium Unit

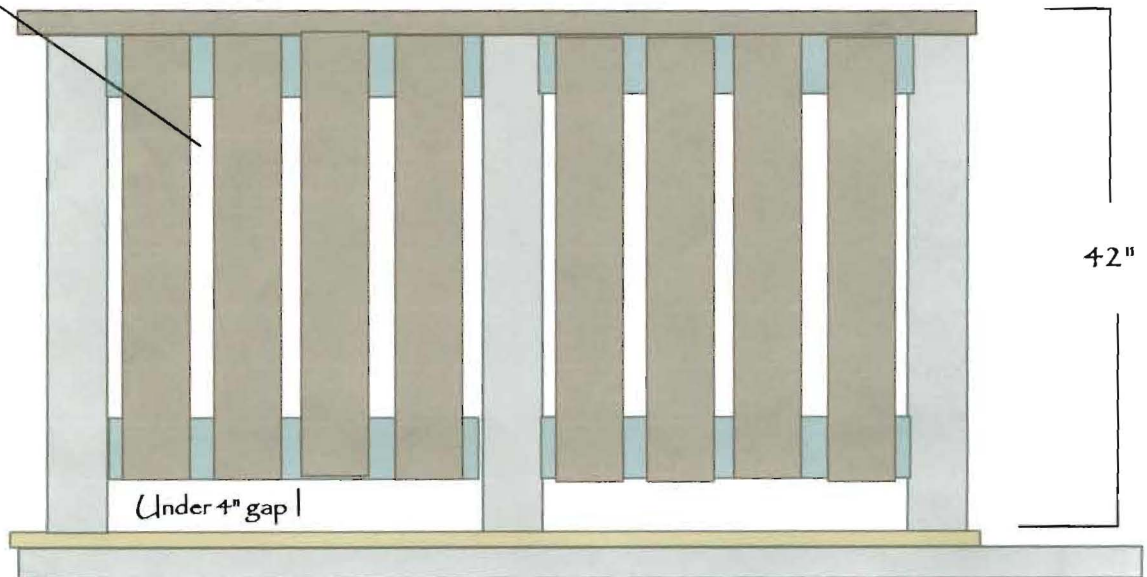
442 Cumberland Ave unit 5 kokemuller

~~Reggy Bensinger~~



Under 2" gap

Side view











# CITY OF PORTLAND, MAINE

Department of Building Inspections

## Original Receipt

\_\_\_\_\_ 11/17 2010 \_\_\_\_\_

Received from Merrill Realty -

Location of Work 412 Commercial

Cost of Construction \$ \_\_\_\_\_ Building Fee: \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_ Site Fee: \_\_\_\_\_

Certificate of Occupancy Fee: \_\_\_\_\_

Total: 100

Building (1L) \_\_\_\_\_ Plumbing (15) \_\_\_\_\_ Electrical (12) \_\_\_\_\_ Site Plan (U2) \_\_\_\_\_

Other \_\_\_\_\_

CBL: 46-3-61000

Check #: 6366 Total Collected \$ 100

**No work is to be started until permit issued.  
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy