

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 031434

Please Read Application And Notes, If Any, Attached

This is to certify that Stephens Clark B /Owner

has permission to Replace Sill Beams/G

AT 198 Spring St

No EX
045 F026001

PERMIT ISSUED
MAY 22 2004
CITY OF PORTLAND

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or closed-in. HEAVY NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. [Signature]

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

7/6/04 visited w/ Clark - reminded him about Simon
bus panel, windows okay thru - H.P. Intency work within
~~the~~ scope approved. Deck that was complained about - is
not so, is a roof that tenants are using as deck,
explained that had to stop stru submitted to HP and
Inspections -

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-1434	Date Applied For: 11/17/2003	CBL: 045 F026001
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Location of Construction: 198 Spring St	Owner Name: Stephens Clark B	Owner Address: 200 Spring St	Phone: () 772-0440
Business Name:	Contractor Name: Owner	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use: Multi Family/4 Units-	Proposed Project Description: Replace Sill Beams/Cellar Windows/Front Entrance Door/Siding
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Dept: Historical **Status:** Pending **Reviewer:** Deborah Andrews **Approval Date:**

Note: **Ok to Issue:**

- 1) NO EXTERIOR WORK ALLOWED BY THIS PERMIT

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 12/31/2003

Note: 12/3/03 - Marland personally spoke with Clark Stephens - 1989 letter from B.G states that there should only be four D.U. in this bldg. The current owner knew that when he bought it. I spoke to him on the phone and reiterated that one illegal unit will need to be removed before the issuance of this permit. He will get me the required floor plans - He's thinking of eliminating the "attic" area & perhaps either combining with the 2nd floor or making it a storage area only **Ok to Issue:**

12/30/03 owner finally applied for a permit #03-1544 to make attic/3rd floor area storage ONLY - the owner kept going back and forth as to whether he was going to keep this unit and appeal or remove it. After talking with his lawyer, John Branson, he decided to remove the unit.

- 1) ANY exterior work requires a separate review and approval thru Historic Preservation
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 3) This property shall remain a four (4) family dwelling. Any change of use shall require a separate permit application for review and approval. The third floor attic area is to be used for storage only. It is not a living space.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Mike Nugent **Approval Date:** 05/10/2004

Note: **Ok to Issue:**

- 1) This permit is limited to interior work as designed by Jim Thibodeau P.RE. ONLY and interior cosmetic work that would otherwise not require a permit. NO EXTERIOR WORK IS AUTHORIZED>

Dept: Fire **Status:** Approved **Reviewer:** Lt. MacDougal **Approval Date:** 05/06/2004

Note: **Ok to Issue:**

03-1434

2457026001
Commercial


All Purpose Building Permit Application

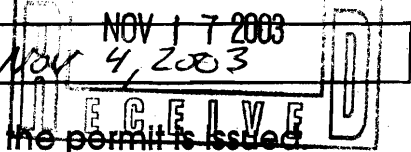
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: ¹⁹⁸⁻ 200 Spring St.		
Total Square Footage of Proposed Structure EXISTING	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# 045 Block# F Lot# 16021 P6270 026	Owner: CLARK STEPHENS	Telephone: 772-0440
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: 772-0440 SAME ABOVE PO Box 4818 Portland 04112	Cost Of Work: \$ 30,000 Fee: \$ 291.00 ^{+perm}
Current use: APARTMENT RENTAL BUILDING - 5 UNITS 200.00 sq ft		
If the location is currently vacant, what was prior use: ST OP WORK \$ 491.00		
Approximately how long has it been vacant: _____		
Proposed use: SILL BEAM REPLACEMENT, CEILING LININGS REPLACEMENT, Project description: FRONT ENTRANCE DOOR REPLACEMENT, SIDING REPLACEMENT		
Contractor's name, address & telephone: CLARK STEPHENS		
Who should we contact when the permit is ready: SAME AS ABOVE		
Mailing address:		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 772-0440		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: NOV 4, 2003
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

50

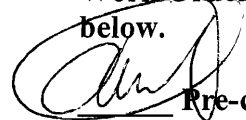
BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.



Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

- Footing/Building Location Inspection:** Prior to pouring concrete
- Re-Bar Schedule Inspection:** Prior to pouring concrete
- Foundation Inspection:** Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling
- Final Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Signature of Applicant/Designee

Date

Signature of Inspections Official

Date

CBL: 045 F026 Building Permit #:

5/13/04
031434

GAGNE & SON GAGNE PRECAST

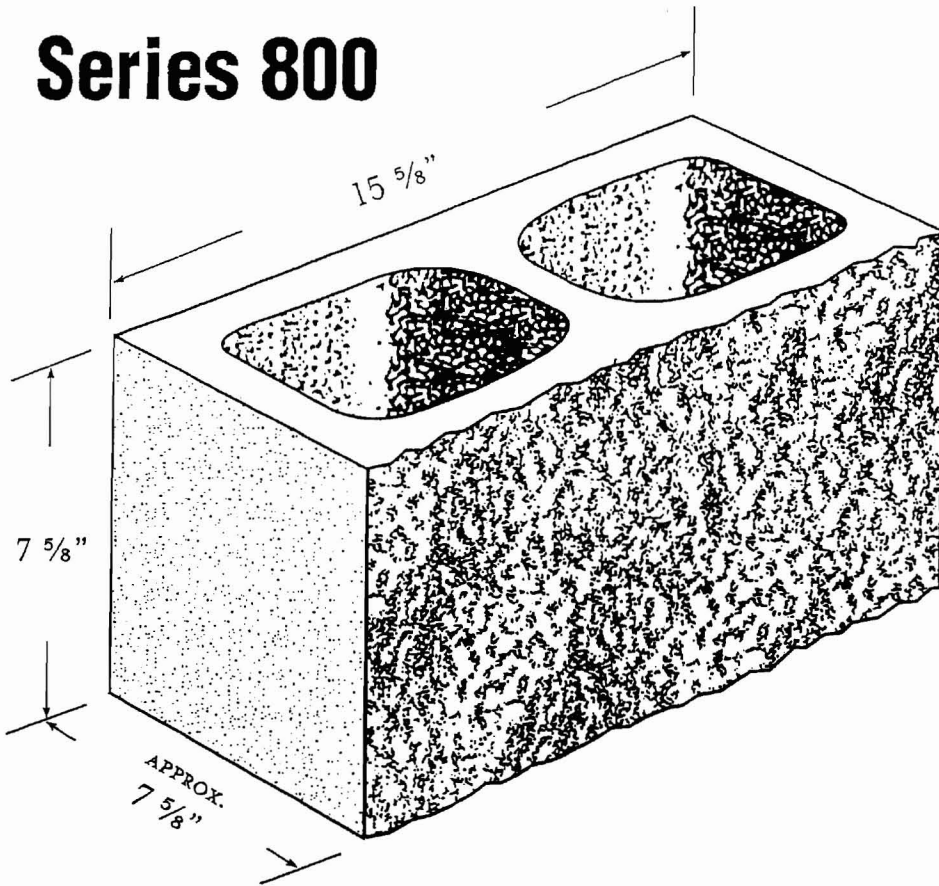
concrete blocks • construction supplies • precast products



Email: gagneblock@aol.com

Website: gagneandson.com

Series 800

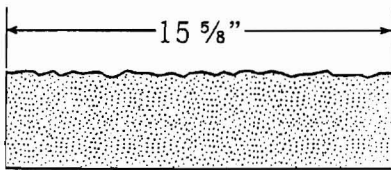


G&S
2C-S
Split Face

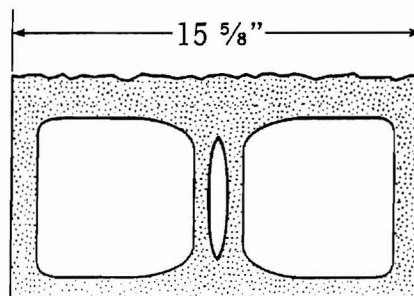
MEETS

- ASTM C90-00 for concrete
- ASTM C-331 for lightweight

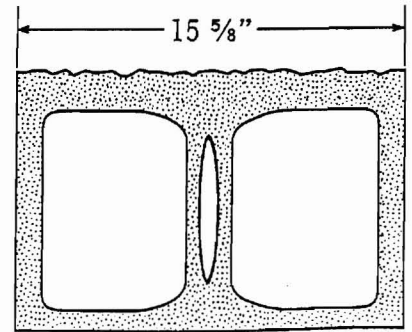
8" Split Face Corners Available



4" x 8" x 16"



10" x 8" x 16" - Splittable



12" x 8" x 16" - Splittable
Halves Available

7/2001

APPROVALS:

COMMENTS:

270 RIVERSIDE DRIVE, AUBURN, ME 04210 • 1-800-339-1132
 RT. 27, BELGRADE, ME 04917 • 1-800-339-3313
 1506 STATE STREET, VEAZIE, ME 04401 • 1-800-649-7393
 70 WARREN AVENUE, WESTBROOK, ME 04902 • 1-800-339-9184



SUMMIT LABS

197 U.S. Route 1
Scarborough, Maine 04070-6826
tel: (207) 885-0004

Construction Materials
Quality Control Testing Services
Soils, Concrete, Masonry, Steel, Asphalt, Geotechnical Engineering

7 Charlton Street
Everett, Massachusetts 02149
tel: (617) 389-3700

CONCRETE MASONRY UNITS ASTM C-140

PROJECT NO: 13013 PROJECT NAME: Gagne
CLIENT: Gagne & Son DATE TEST COMPLETED: 07/10/01
BLOCK DESCRIPTION: 8" 2-Cell split face blocks.
AGE: Unknown DATE MADE: Unknown DATE RECEIVED: 07/02/01

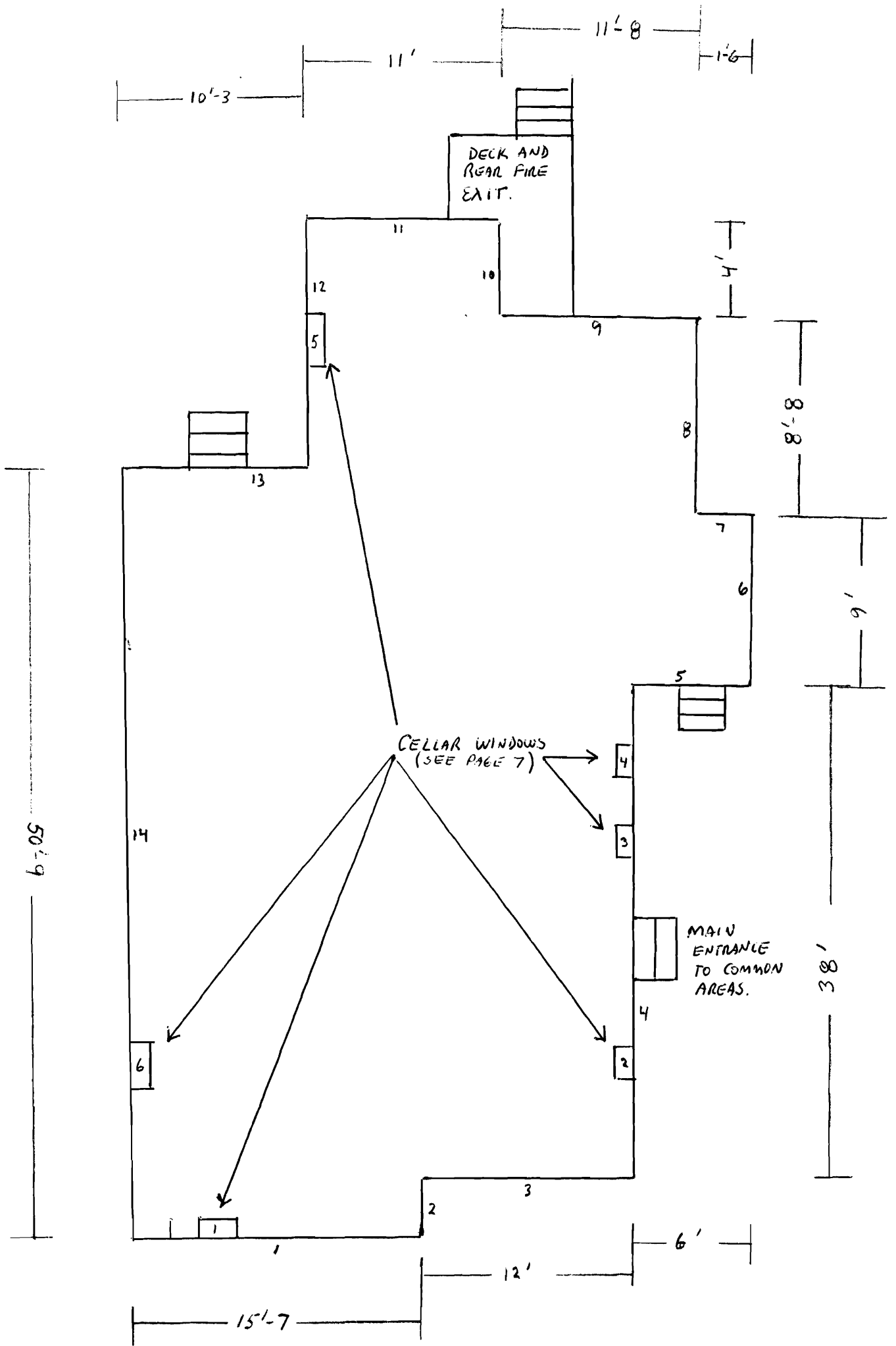
STRENGTH				
SPECIMEN NO.	NET AREA (square inches)	LOAD (kips)	COMPRESSIVE STRENGTH (psi)	ASTM C90 REQUIREMENTS (minimum psi)
13A	67.20	335.0	4,980	1,700 (individual)
13B	67.20	300.0	4,460	
13C	67.20	298.0	4,430	
AVERAGE:			4,620	1,900 (average of 3)

ABSORPTION/DRY UNIT WEIGHT		
TEST DESCRIPTION	TEST RESULTS	ASTM C90 REQUIREMENTS Average of 3 Units (maximum)
AVERAGE ABSORPTION	6.6	13%
AVERAGE MOISTURE CONTENT (percent of total absorption)	35.7	40%
DRY UNIT WEIGHT	136.8	-

MEASUREMENT OF DIMENSIONS					
SPECIMEN NO.	LENGTH (inches)	WIDTH (inches)	HEIGHT (inches)		
13A	15.62	7.75	7.62	AVERAGE (inches)	
13B	15.62	7.75	7.62		
13C	15.62	7.75	7.62		
				ASTM C90 REQUIREMENTS (minimum, inches)	
FACE SHELL THICKNESS (minimum)				1.29	1.25
WEB THICKNESS (minimum)				1.12	1.00
EQUIVALENT WEB THICKNESS (per linear foot)				2.95	2.25
FIRE RESISTANCE RATING (hours) (NCMA TEK 7-1, 1995)				2.1	-

COMMENTS: *g.b.*

SIGNED:
Michael A. Smith
Laboratory Manager



SPRING ST #200

SILL BEAMS AND CELLAR WINDOW PLAN

SILL #	WIDTH (INCHES)	LENGTH	STATUS
1	6x5	14'-10 1/2"	TBR
2	2x6 SHIMMING	4'	TBR
3	7x 8 7/8	27'-6"	E
* 4	8x8	16' / 21'-3"	R
5	8x8	6'-8"	R
6	6x12	9'	R
7	6 7/8 x 6 7/8	1'-6 7/8"	E
8	5 3/4 x 6 7/8	14'	E
9	8x8	11'-8"	R
10	5x5	5'	R
11	6x6	11'-6"	E
12	8x8	23'	R
13	6x6	10'-11"	E
* 14	5 1/2 x 7 3/4	41.9" / 19'	E/R

NOTES

ABBR.:

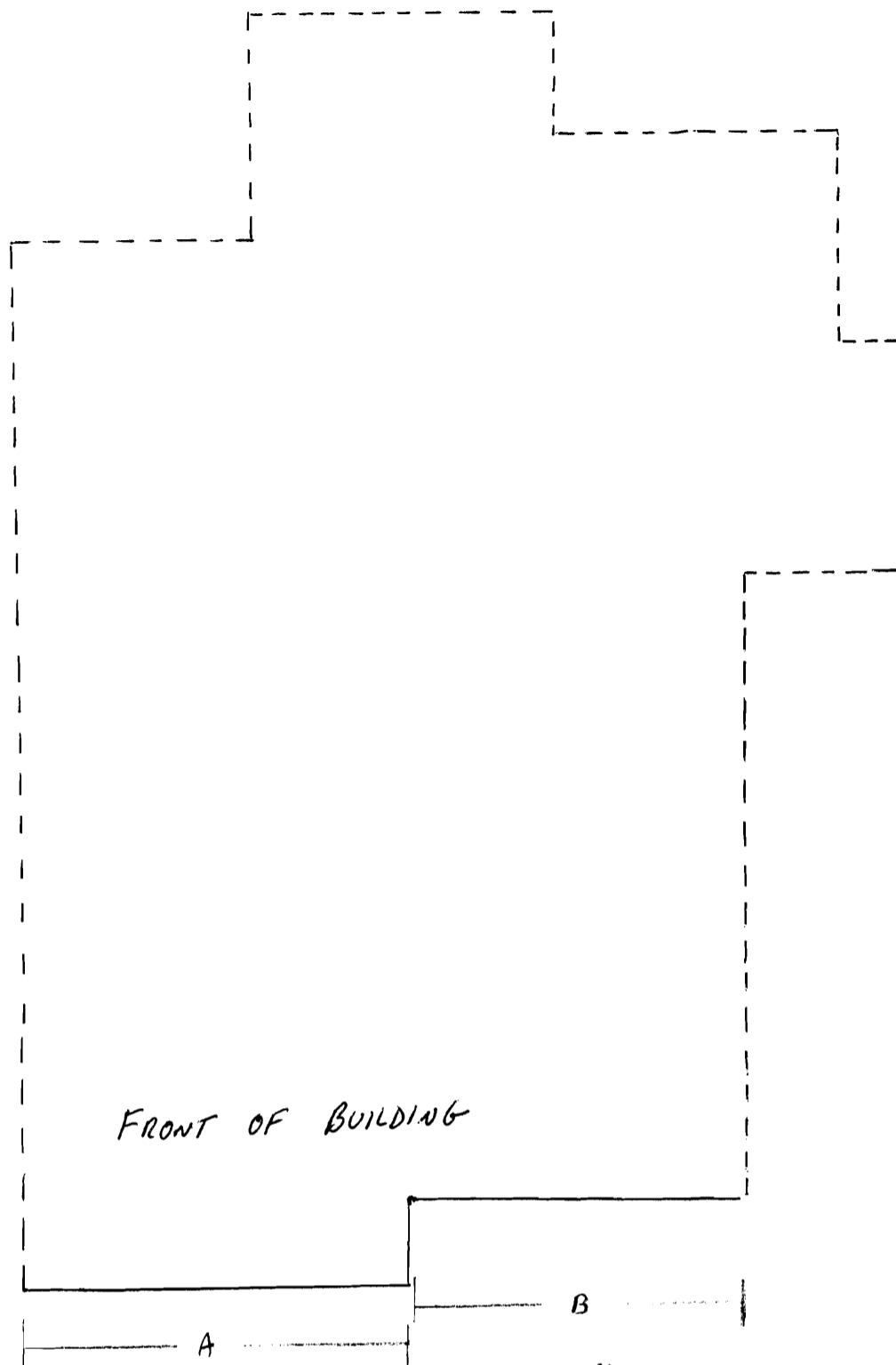
TBR — TO BE REPLACED

E — EXISTING

R — REPLACEMENT COMPLETED

* — 2 BEAMS

SILL DIMENSIONS AND SCHEDULE

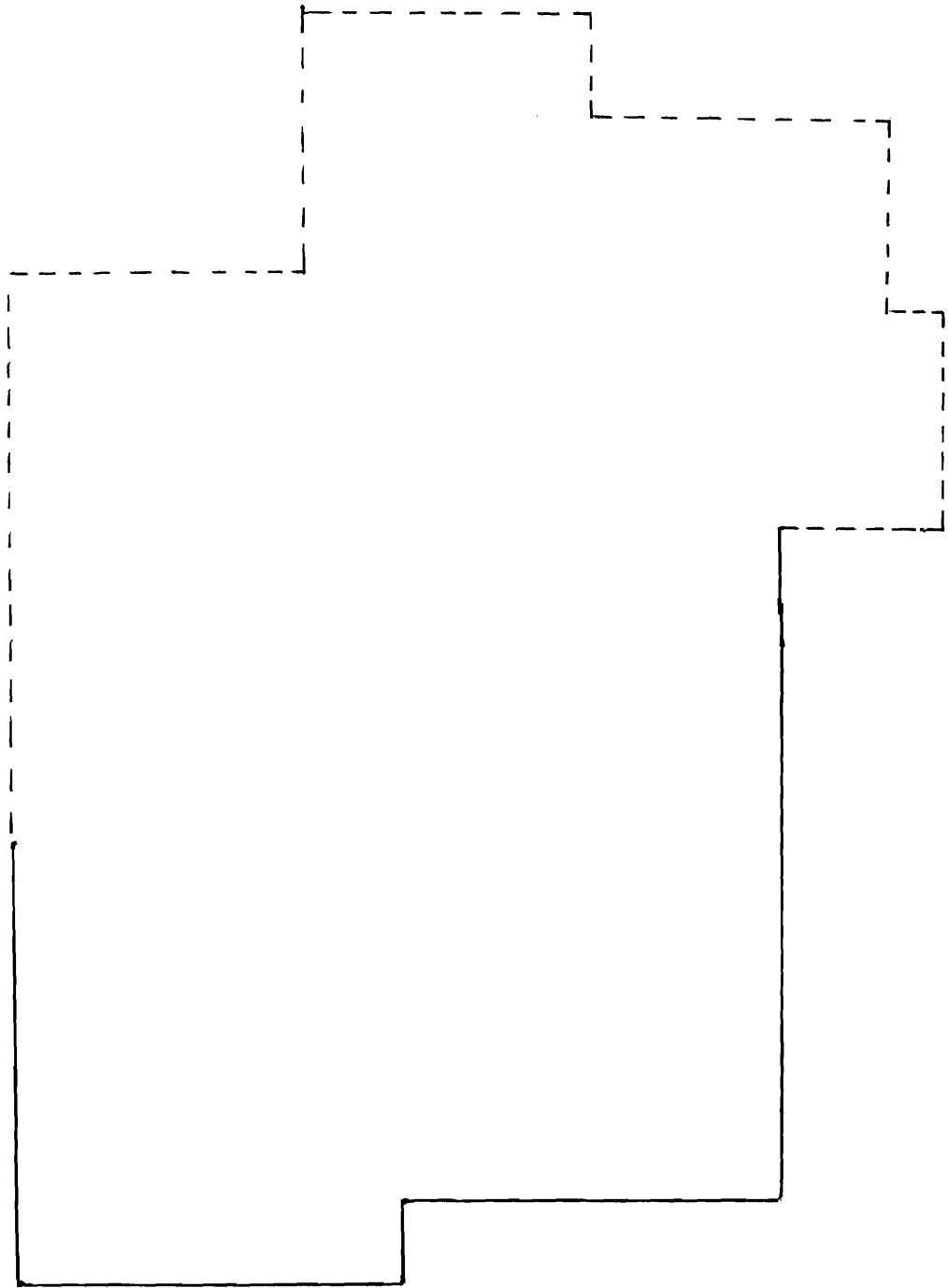


----- 8x8x16 CONCRETE BLOCK "SPLIT FACE" WITH A MORTAR JOINT FROM $\frac{3}{8}$ " TO $\frac{1}{2}$ " IN WIDTH. HIGH STRENGTH MORTAR TYPE USED 5000 PSI GRADE.

A — MIXTURE OF PART FLUSH STONE SMOOTH FACE AND PRE-EXISTING SOLID CONCRETE BLOCK "SPLIT FACE" INSTALLED BY PREVIOUS OWNER. PROPOSED CHANGE TO REMOVE BLOCK & STONE REPLACE WITH 8x8x16 BLOCK WITH A COMPLETE BRICK FACIAL.

B — EXISTING LARGE PIECES OF FLAGSTONE WILL BE LEFT "AS IS" CONDITION.

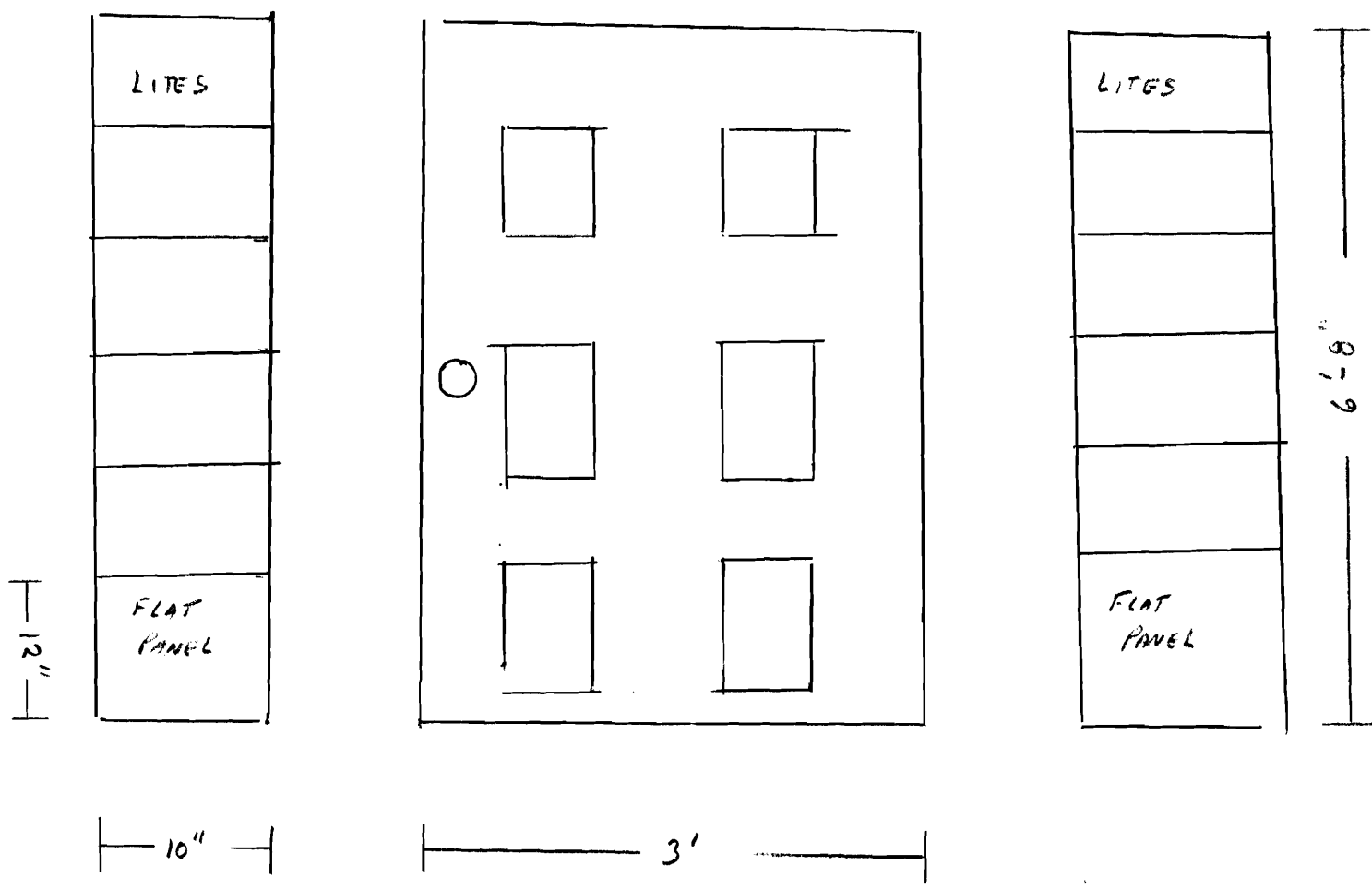
FOUNDATION PLAN



----- POURED CONCRETE FOOTING DIMENSIONS : 24" WIDE X 42" BELOW GROUND. CONCRETE STRENGTH 3000 PSI WITH REINFORCED REBAR, TOTAL LENGTH OF FOOTING -

_____ EXISTING FLAGSTONE AND ROCK, FOOTING. FROM GROUND LEVEL TO APPROXIMATELY 8 FEET BELOW GROUND.

FOOT PRINT FOR FOOTING



DOOR: "BROSCO" OAK - 5130 1 3/4 TH. 3' x 6'-8"
 RIGHT HAND INSWING. 6-PANEL

SIDELIGHTS: "BROSCO" PINE # M-3925 10"W GLASS

FRONT MAIN ENTRANCE DOOR AND SIDELITE REPLACEMENT



Exterior Wood Doors



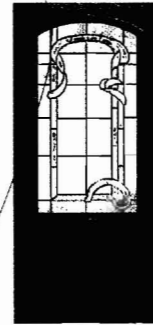
HIGH STYLE OAK DOORS AND SIDELIGHTS

Triple Glazed Insulating Beveled Glass with Brass Caming and Exterior Raised Moulding.

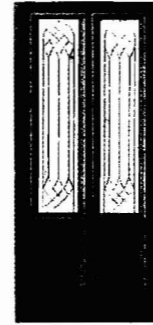
1311
670



OAK-5130
1 3/4" Thick
3'-0" x 6'-8"



OHD-6984
1 3/4" Thick
3'-0" x 6'-8"



OHD-5870
1 3/4" Thick
3'-0" x 6'-8"



OHD-6296
1 3/4" Thick
3'-0" x 6'-8"



OHS-5985
1 3/4" Thick
1'-2" x 6'-8"



OHS-5971
1 3/4" Thick
1'-2" x 6'-8"

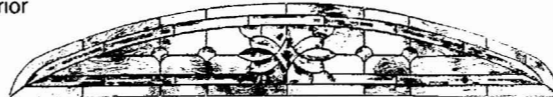


OHS-5997
1 3/4" Thick
1'-2" x 6'-8"

M-24DB/M-34DB Transom Triple Glazed Insulating Glass with Brass Caming

- Treated and Primed Exterior
- Natural Pine Interior

M-24DB (1-0 Sdlts)
M-34DB (1-2 Sdlts)



Exterior Wood Doors PINE Sidelight Panels Only



Tempered Safety Glass

All Sidelights 6'-8 1/2" Height Only



M-181

Insulated Glass

0'-10"
1'-0"
1'-2"
1'-4"
1'-6"



M-181-5
with Grille

Insulated Glass

0'-10"
1'-0"
1'-2"
1'-4"
1'-6"



M-182

Insulated Glass

0'-10"
1'-0"
1'-2"
1'-4"
-



M-182-3
with Grille

Insulated Glass

0'-10"
1'-0"
1'-2"
1'-4"
-



M-182L

Insulated Leaded Glass

0'-10"
-
-
-
-

Solid Bar Divided Lights



M-3925
Single Thick Glass

0'-10"
1'-0"
1'-4"
1'-6"

1 3/4" Marquis Construction*



M-6905†

1'-0"
-
-
-



M-5982
Insulated Glass

-
1'-0"
-
-



M-127
Single Thick Glass

0'-10"
1'-0"
1'-4"
-



M-3905Ω
Single Thick Glass

-
1'-0"
-
-

† Low E Insulated Tempered Glass.

Use M-6905 sidelights w/M-6915 Series Doors.

Ω Use M-3905 sidelights w/M-3912 Series Doors.

Sidelight Storm Sash Available - See Combination Door Section.

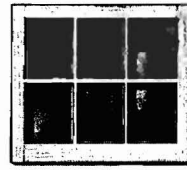
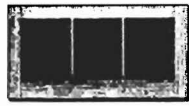
* See page 222 for Marquis information.



BOSTON LAYOUT
1 1/8" Cellar Sash and Frames



BROSCO'S Single Thick Glass (SSB) Cellar Sash and Frames are unprimed and treated with a moisture repellent preservative (available K.D. only).



THREE LIGHT	
Glass Size	Outside Dimensions
6" x 8"	1'-9 5/8" x 0'-11 1/4"
7" x 9"	2'-0 5/8" x 1'-0 1/4"
8" x 10"	2'-3 5/8" x 1'-1 1/4"
12"	1'-3 1/4"
9" x 7"	2'-6 5/8" x 0'-10 1/4"
9"	1'-0 1/4"
10"	1'-1 1/4"
11"	1'-2 1/4"
12"	1'-3 1/4"
13"	1'-4 1/4"
14"	1'-5 1/4"
15"	1'-6 1/4"
16"	1'-7 1/4"
17"	1'-8 1/4"
18"	1'-9 1/4"
10" x 8"	2'-9 5/8" x 0'-11 1/4"
10"	1'-1 1/4"
12"	1'-3 1/4"
13"	1'-4 1/4"
14"	1'-5 1/4"
15"	1'-6 1/4"
16"	1'-7 1/4"
17"	1'-8 1/4"
18"	1'-9 1/4"
20"	1'-11 1/4"
11" x 15"	3'-0 5/8" x 1'-6 1/4"
18"	1'-9 1/4"
12" x 14"	3'-3 5/8" x 1'-5 1/4"
15"	1'-6 1/4"
16"	1'-7 1/4"
18"	1'-9 1/4"
20"	1'-11 1/4"

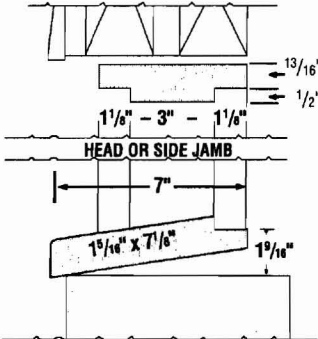
FOUR LIGHT LONG	
Glass Size	Outside Dimensions
6" x 8"	2'-3 5/8" x 0'-11 1/4"
7" x 9"	2'-7 5/8" x 1'-0 1/4"
8" x 10"	2'-11 5/8" x 1'-1 1/4"
12"	1'-3 1/4"
9" x 12"	3'-3 5/8" x 1'-3 1/4"
13"	1'-4 1/4"
10" x 12"	3'-7 5/8" x 1'-3 1/4"
16"	1'-7 1/4"

SIX LIGHT	
Glass Size	Outside Dimensions
6" x 8"	1'-9 5/8" x 1'-7 1/4"
7" x 9"	2'-0 5/8" x 1'-9 1/4"
8" x 10"	2'-3 5/8" x 1'-11 1/4"
11"	2'-1 1/4"
12"	2'-3 1/4"
9" x 11"	2'-6 5/8" x 2'-1 1/4"
12"	2'-3 1/4"
13"	2'-5 1/4"
14"	2'-7 1/4"
15"	2'-9 1/4"
10" x 10"	2'-9 5/8" x 1'-11 1/4"
12"	2'-3 1/4"
13"	2'-5 1/4"
14"	2'-7 1/4"
15"	2'-9 1/4"
16"	2'-11 1/4"



FOUR LIGHT SQUARE	
Glass Size	Outside Dimension
6" x 8"	1'-3 3/8" x 1'-7 1/4"
7" x 9"	1'-5 3/8" x 1'-9 1/4"
8" x 10"	1'-7 3/8" x 1'-11 1/4"
12"	2'-3 1/4"
9" x 12"	1'-9 3/8" x 2'-3 1/4"
13"	2'-5 1/4"
10" x 12"	1'-11 3/8" x 2'-3 1/4"
13"	2'-5 1/4"
15"	2'-9 1/4"

CELLAR SASH FRAMES



LAYOUT	
Stiles	1 11/16"
Rails, Top and Bottom	1 11/16"

For Cellar Frame Rough Opening
ADD 6" to total glass width and height.
Example: 6" x 8" 3 Lights
3 x 6 = 18" + 6" = 24"
8" Height + 6" = 14" R.O. 2'-0" x 1'-2"

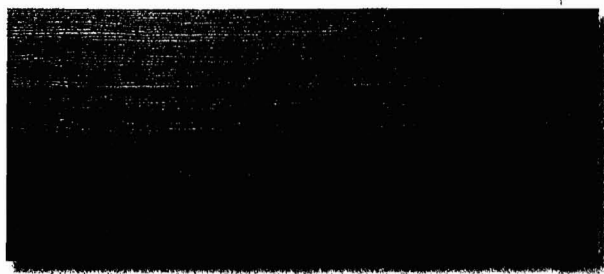
(REF. FROM PAGE 1)
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WINDOW 3 LIGHT:

LOCATION	SASH SIZE	R.O.
1	2'-3 5/8" x 1'-1 1/4"	2'-6 5/8" x 1'-4 1/4"
2	1'-9 5/8" x 11 1/4"	1'-11 5/8" x 1'-1 1/4"
3	1'-9 5/8" x 11 1/4"	1'-11 5/8" x 1'-1 1/4"
4	1'-9 5/8" x 11 1/4"	1'-11 5/8" x 1'-1 1/4"
5	2'-3 5/8" x 1'-1 1/4"	2'-6 5/8" x 1'-4 1/4"

CELLAR WINDOW LAYOUT

Hardiplank® Lap Siding



Select Cedarmill®

SPECIFICATIONS

Select Cedarmill and

Smooth Planks (not shown)

Thickness:	5/16"
Weight:	2.3 lbs./sq.ft.
Length:	12' planks
Widths:	5 1/4" (4" exposure)
	6 1/4" (5" exposure)
	7 1/4" (6" exposure)
	8 1/4" (7" exposure)
	9 1/4" (8" exposure)
	12" (10 3/4" exposure)

PRODUCT SPECIFICATIONS

BASIC COMPOSITION/SIZE

Portland cement, ground sand, cellulose fiber, select additives and water. James Hardie® siding products contain no asbestos, glass fibers or formaldehyde.

APPROVALS

Hardiplank® lap siding, Hardipanel® siding, Hardisoffit® panels and Hardishingle® siding are recognized as exterior claddings in National Evaluation Service (NES), Inc., Report No. NER-405; City of Los Angeles, Research Report No. 24862; Texas Department of Insurance Product Evaluation EC23, United States Department of Housing and Urban Development, Materials Release 1263c; California DSA Product Acceptance Number PA-019; and City of New York MEA No. 223-93-M. Hardiplank lap siding and Hardishingle cladding shingles are recognized as exterior cladding in CCMC Evaluation Report 12678-R. These documents must also be consulted for additional information concerning the suitability of this product for specific applications.

DURABILITY

James Hardie siding products are dimensionally stable and most have a limited, transferable warranty for 50 years to resist cracking, rotting and delamination. James Hardie fiber-cement products resist damage caused by extended exposure to moisture, humidity, and salt air.

FLEXURAL STRENGTH

James Hardie siding and soffit products comply with ASTM C1186, Standard Specification for Grade II, Type A, Non-Asbestos Fiber-Cement Flat Sheets.

NON-COMBUSTIBILITY

Hardiplank, Hardipanel, Hardishingle and Hardisoffit weatherboard products have been evaluated in accordance with ASTM Method E-136 and evaluated for compliance with (CAN/ULC-S114) and may be installed where non-combustible construction is required.

SURFACE BURNING CHARACTERISTICS

When tested in accordance with ASTM test method E-84 and evaluated for compliance with (CAN/ULC-S102), the product is recognized to have the following properties:

Flame Spread	0	(≤5)
Fuel Contribution	0	
Smoke Developed	5	(≤10)

Full specifications conforming to CSI guidelines can be downloaded from www.jameshardie.com or received via fax from Fax-on-Demand 1-800-9HARDIE, document #2170.

Please call 1-800-9HARDIE for installation instructions and safe handling information.



Customer Service 1 866-4HARDIE (866-442-7343)
Technical Support 1 888- JHARDIE (888-542-7343)
Website: www.jameshardie.com/architect.htm

 **James Hardie®
Building Products**
26300 La Alameda, Suite 250
Mission Viejo, CA 92691

A full Product and Technical Information CD-ROM on our entire product line is available by calling 1-888-JHARDIE

See us in



Sweets Catalog 2003

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JH91668SL 6/03

COVERAGE:

3000 SQ FEET TO BE APPLIED TO ALL SIDES OF BUILDING.

SIDING PLAN

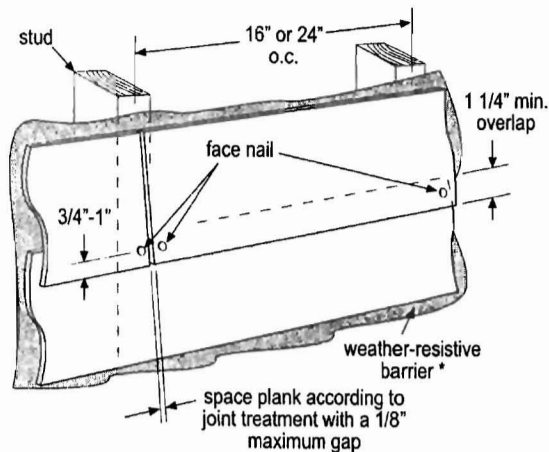
FACE NAIL: (All Lap Products) figure 5

Corrosion Resistant Nails (galvanized or stainless steel)

- 6d (0.118" shank x 0.267" HD x 2" long)
- Siding nail (0.089" shank x 0.221" HD x 2" long) **
- Siding nail (0.091" shank x 0.221" HD x 1 1/2" long) ‡

Corrosion Resistant Screws

- Ribbed Bugle-head or equivalent (No. 8-18 x 0.323" HD x 1 5/8" long) Screws must penetrate 1/4" or 3 threads into metal framing.



BLIND NAIL: figure 6

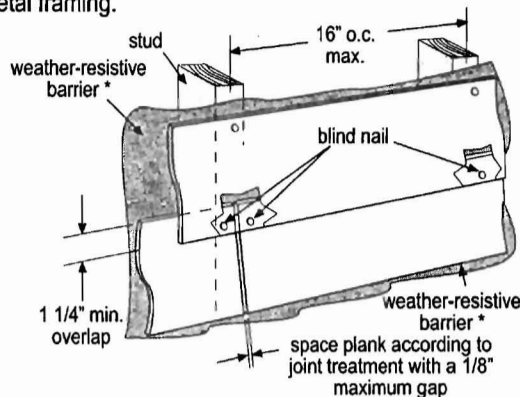
Hardiplank siding cannot be blind nailed 24" o.c. 12" wide
 Hardiplank siding cannot be blind nailed. When blind nailing
 9 1/4" or 9 1/2" Hardiplank, use 11 ga. roofing nail x 1 1/4" long.

Corrosion Resistant Nails (galvanized or stainless steel)

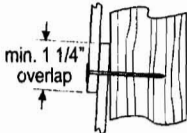
- 6d (0.118" shank x 0.267" HD x 2" long)
- Siding nail (0.089" shank x 0.221" HD x 2" long) **
- 11ga. roofing nail (0.121" shank x 0.371" HD x 1 1/4" L)

Corrosion Resistant Screws

- Ribbed Bugle-head or equivalent (No. 8-18 x 0.323" HD x 1 5/8" long) Screws must penetrate 1/4" or 3 threads into metal framing.



Minimum overlap
 for Both Face
 and Blind Nailing



‡ For face nail application of 9 1/2" wide or less siding to OSB, fasteners are spaced a maximum of 12" o.c.

** The use of a siding nail or roofing nail may not be applicable to all installations where greater windloads or higher exposure categories of wind resistance is required by the Local Building Code. Consult Report No. NER-405 for specific details.

PNEUMATIC FASTENING:

Hardiplank can be hand nailed or fastened with the use of a pneumatic tool. Set your air pressure so that the fastener is driven snug with the shingle surface.

RECOMMENDED:

Use a flush mount attachment on pneumatic tool. This will help control the depth that the nail is driven. This will be especially helpful when more than one pneumatic tool is driven off the same compressor.



DO NOT STAPLE

FASTENING REQUIREMENTS:

- Drive fasteners perpendicular to siding and framing.
- Fastener heads should fit snug against siding (no air space).
- Do not over-drive nail heads or drive nails at an angle.
- If nail is countersunk, caulk nail hole and add a nail.

NAIL TYPE:

Fasteners must be corrosion resistant, galvanized or stainless steel. Electro-galvanized nails are acceptable for use with James Hardie Siding Products, but may exhibit premature corrosion. James Hardie recommends the use of quality, hot-dipped galvanized nails. (James Hardie is not responsible for the corrosion resistance of fasteners.)

FINISHING HARDIPLANK:

Patching:
 Dents, chips and cracks can be filled with a cementitious patching compound.

Caulking:
 A high quality, paintable caulk is recommended. For best results use caulks that comply with either ASTM C 834 or ASTM.

C 920. Caulking should be applied in accordance with caulking manufacturers written instructions. (Leave 1/8" gap at trim for caulk. Caulking at butt joints is optional.)

Painting:
 James Hardie products must be painted. For best results install Hardiplank siding with our exclusive Prime Plus™ factory priming system

and a 100% acrylic topcoat (s). * If our Prime Plus™ factory priming is not being used, Hardie recommends the application of an alkali-resistant primer along with 100% acrylic topcoat (s). (For paint manufacturer's paint specifications, refer to JH Technical Bulletin No. S-100.)

*Note: Please refer to paint manufacturers' specifications for application rates.

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 Mission Viejo, CA 92691
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**For Technical Assistance, MSDS,
 and Product Information**
 Call 1-800-9HARDIE
 (1-800-942-7343)
 www.jameshardie.com

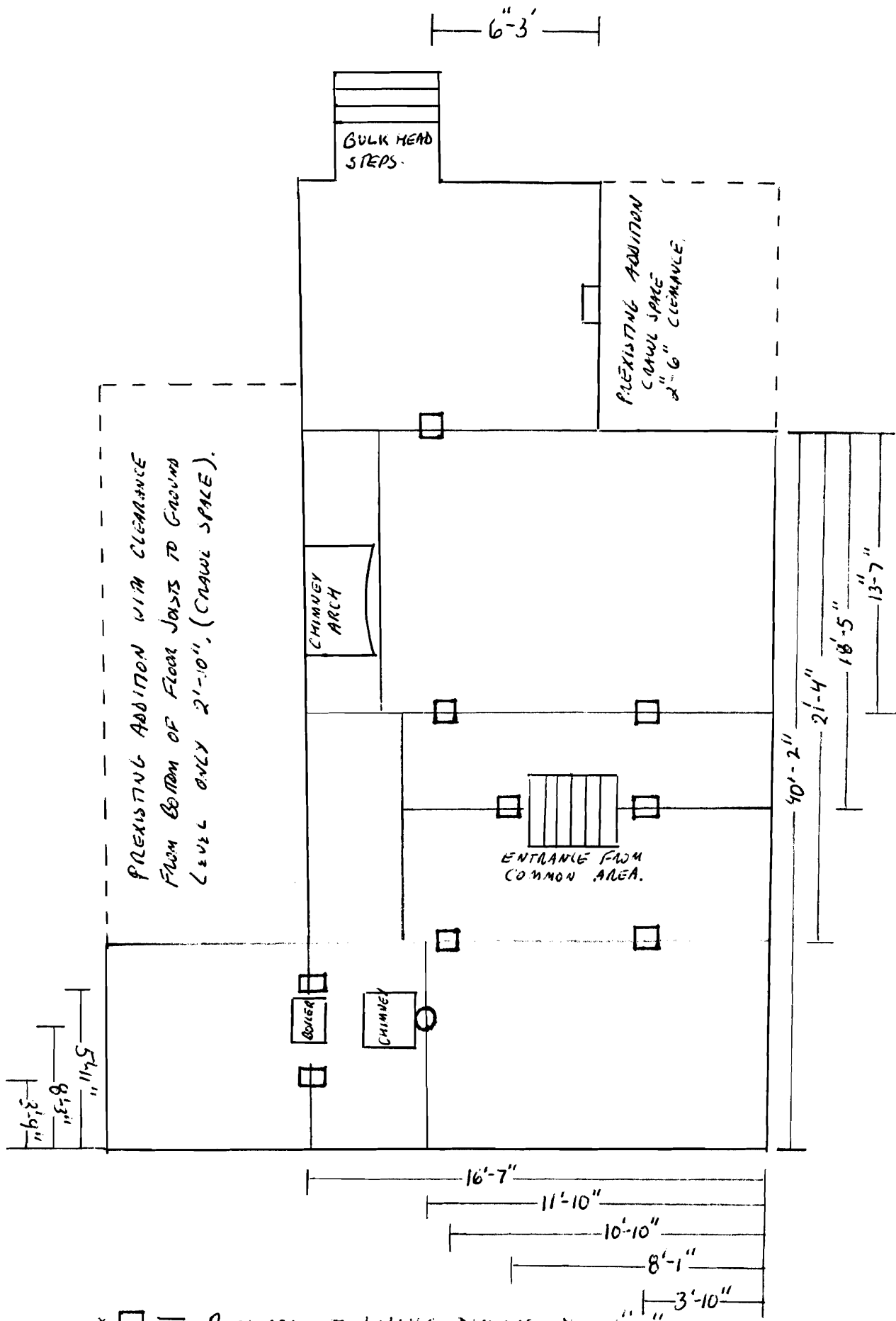


James Hardie®
 JH91509SL 2/03

APPLICATION:

AS SHOWN ABOVE SIDING WILL BE APPLIED FIRST BY "BLIND NAILING", THEN SIDING WILL BE PRE-DILLED AND HAND NAILED ON FACE.

SIDING INSTALLATION PLAN



- * □ — REPLACEMENT LALLYS DIMENSIONS; 6"x6" WOOD 8' LONG.
- — PREEXISTING LALLY DIMENSION; 12" THICKNESS.
- CARRIER BEAMS DIMENSIONS IN WIDTH VARIOUS FROM 6"x6" TO 8^{3/4}"x9^{1/2}".
- * BASE OF LALLY IS SUPPORTED AT BOTTOM WITH 8"x8"x16" SOLID CONCRETE BLOCK.

LALLY COLUMN PLAN



CITY OF PORTLAND, MAINE
Department of Building Inspections

_____ 20 _____

Received from _____

Location of Work _____

Cost of Construction \$ _____

Permit Fee \$ _____

Building (I1) ___ Plumbing (I5) ___ Electrical (I2) ___ Site Plan (U2) ___

Other _____

CBL: _____

Check #: _____ **Total Collected \$** _____

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy