

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, if Any,
Attached

BUILDING DEPARTMENT

PERMIT

Permit Number: 021263

This is to certify that Spring Street West Corp/Nat Hawke
has permission to Repair Outside Stairwell and Construct Roof NO ROOF WORK
AT 204 Spring St 045 F024001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is laid or closed-in. **HEAR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____

[Signature]
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-1263	Issue Date:	CBL: 045 F024001
-----------------------	-------------	---------------------

Location of Construction: 204 Spring St	Owner Name: Spring Street West Corp	Owner Address: 104 Grant Street	Phone: 761-0832
Business Name:	Contractor Name: Nathan Hawkes	Contractor Address: 11A Plummer Road Gorham	Phone: 2078925669
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone: R-6

Past Use: Multi Family/8 Units	Proposed Use: Multi Family/8 Units	Permit Fee: \$30.00	Cost of Work: \$926.00	CEO District: 3
-----------------------------------	---------------------------------------	------------------------	---------------------------	--------------------

FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: 22 Type: 508
Signature:	Signature:

Proposed Project Description:
Repair Outside Stairwell and Construct a Shed Style Roof Over Entrance
Legal 8 DU
No change of use permitted
No Roof
Aug 12

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature:	Date:

Permit Taken By: gad	Date Applied For: 11/07/2002	Zoning Approval	
-------------------------	---------------------------------	------------------------	--

<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>11/13/02</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <i>as per HP Committee decision to DA 11/13/02</i> <input type="checkbox"/> Denied Date:
	Date: <i>11/26/02</i>		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-1263	Date Applied For: 11/07/2002	CBL: 045 F024001
------------------------------	--	----------------------------

Location of Construction: 204 Spring St	Owner Name: Spring Street West Corp	Owner Address: 104 Grant Street	Phone: () 761-0832
Business Name:	Contractor Name: Nathan Hawkes	Contractor Address: 11A Plummer Road Gorham	Phone: (207) 892-5669
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use: Multi Family/8 Units	Proposed Project Description: Repair Outside Stairwell and Construct a Shed Style Roof Over Entrance.
--	---

Dept: Historical **Status:** Approved **Reviewer:** Deborah Andrews **Approval Date:** 11/26/2002
Note: **Ok to Issue:**

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 11/13/2002
Note: 204-206 Spring Street **Ok to Issue:**

1) ANY exterior work requires a separate review and approval thru Historic Preservation

2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.

3) This property shall remain an eight (8) family dwelling. Any change of use shall require a separate permit application for review and approval.

4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Mike Nugent **Approval Date:** 03/24/2003
Note: **Ok to Issue:**

1) Roof system withdrawn, just a rebuild of the stairs and guards.

Comments:
11/26/2002-mjn: Need Guard info, treads riser, roof system structurals, Called contractor and left a message.
Plans brought in 3/21/03.

Less Than \$50,000.

02-1263

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

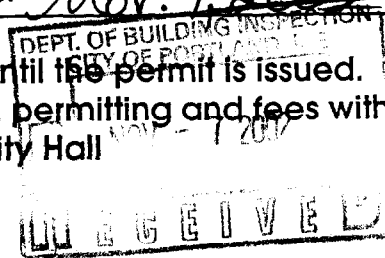
Location/Address of Construction: <u>204-206 Spring St.</u>		
Total Square Footage of Proposed Structure <u>75 sqft</u>	Square Footage of Lot <u>3768 sqft</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>45</u> Block# <u>F</u> Lot# <u>24</u>	Owner: <u>Spring St. West Corp.</u>	Telephone: <u>761-0832</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Spring St. West</u> <u>104 Grant St. Portland</u> <u>761-0832</u>	Cost Of Work: \$ <u>926.00</u> Fee: \$
Current use: <u>Residential / Apartment</u> <u>8 UNITS</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>Same</u>		
Project description:		
Contractor's name, address & telephone: <u>Nathan Hawkes</u> <u>11A Plummer Rd., Gorham ME 04038</u>		
Who should we contact when the permit is ready: <u>Leyli Johnson</u>		
Mailing address: <u>Post Property Mgmt.</u> <u>104 Grant St. Portland 04101</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>761-0832 x1107</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

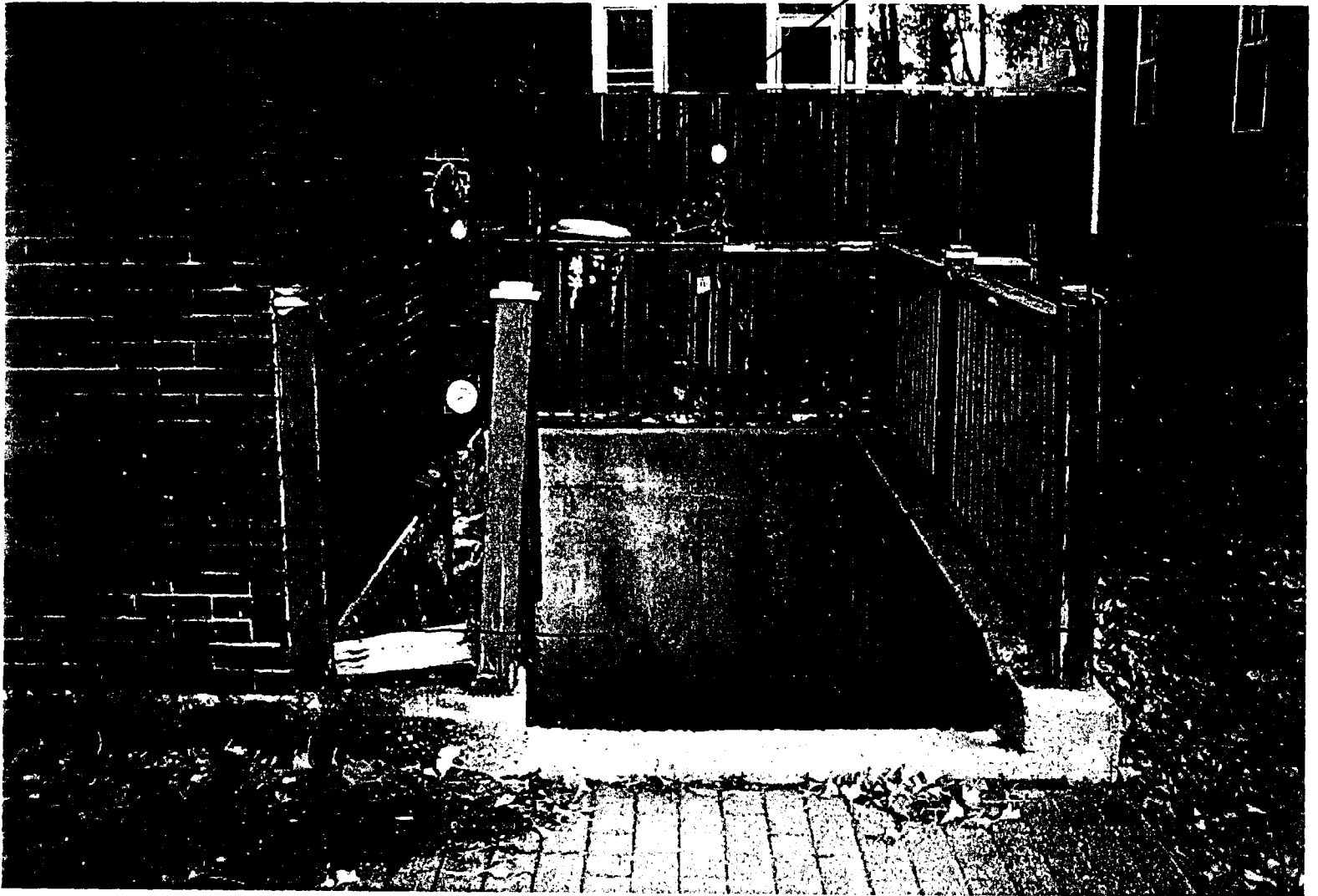
Signature of applicant: <u>Leyli Johnson</u>	Date: <u>Nov. 7, 2002</u>
--	---------------------------

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



204-206 Spring St. (Brackett side in back)
View from sidewalk

Apt. #8 front door



All rails along retaining wall are wobbly +
deteriorating, treads rotting.
Dimensions 11'8" L x 6'6" width + 5 steps

DESCRIPTION OF PROJECT:

Describe in a separate paragraph each type of proposed exterior architectural alteration, such as window replacement, roof replacement, porch alteration, repointing of masonry, and/or new addition/construction. Briefly describe the feature or materials affected by the work and give the approximate date that it was constructed, if known. Describe in detail the proposed work and how it will impact the existing feature. Use as many items as necessary to cover all aspects of the project. If more space is needed, continue on a separate page. Reference work items to accompanying drawings or photographs.

Existing Structure

Replace rails, balusters, posts and steps, that are falling apart and rotting severely, with exactly the same style construction.

Pressure treated rails, posts, and ^{cedar} treads steps, with decorative ^{cedar} caps (not balls) on posts, and fir 2" square stock balusters. All will be painted the green primary trim color of the building.

~~Area~~ The area of the building affected is the back right ^{cement retaining wall} 1" well ~~where~~ ^{entrance} to a basement apartment.

Additional description on enclosed page.

Proposed Addition to Structure

Would like to add a "shed" style roof over the whole entrance (see drawn diagram on picture in red)

Framing - 4x4 pt posts extending up from rail posts
2x6 joists
1x6 trim (facia)
~~and~~ roof to be whatever style shingles or fiberglass corrugated type (whf?) as specified by you.

The purpose for the roof is to add protection from snow & rain.

ATTACHMENTS:

To supplement your application, please submit the following items, as applicable to your project. Keep in mind that the information you provide the Historic Preservation Committee and staff is the only description they will have of your project or design. Therefore, it should precisely illustrate the proposed alteration(s).

Exterior photographs (include general streetscape view, view of entire building & close-ups of affected area.)

Sketches or elevation drawings at a minimum 1/4" scale. Please label relevant dimensions.

Details or sections, where applicable.

Floor plans

Site plan showing relative location of adjoining structures.

Catalog cuts or product information (e.g. proposed windows, doors, lighting fixtures)

Materials - list all visible exterior materials. Samples are helpful.

Other (explain) _____

Please Note: In order to be photocopied by the City, plans or drawings should generally not exceed 11" x 17". If you wish to submit larger plans, please provide 10 copies for distribution.

If you have any questions or need assistance in completing this form, please contact the Historic Preservation Staff at 874-8726.

Please return this form, application fee (see page 4 of this application), and related materials to:

Deborah Andrews, Historic Preservation Program Manager
Department of Planning and Urban Development
Portland City Hall, 4th Floor
389 Congress Street
Portland, ME 04101

Proposal

Nathan Hawkes Carpentry

11 A, PLUMMER ROAD
GORHAM, MAINE 04038
892-5669

PROPOSAL SUBMITTED TO

DATE 11/01/02
PHONE

Port Property Management
104 Grant St.
Portland, Me. 04101

We hereby submit specifications and estimates for:

Reconstruction of stair and railing detail
to basement apt @ 204 Spring St.

Description of Duties:

Remove and dispose of existing stair and railing detail
Install railing using 2x4 pressure treated rails and 4x4 pt post
Install 2x2 fir ballesters @ code requirements
Construct stairs using pt stringers, pt risers, and 5/4x6 cedar treads

Labor: 504.00

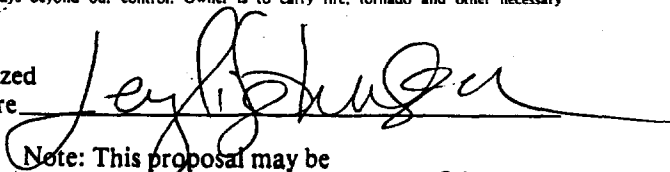
MATERIALS: 422.00

We Propose hereby to furnish material and labor — complete in accordance with specifications, for the sum of

~~Nine Hundred and Twenty Six~~ ^{XX} dollars (\$ ~~926.00~~)
Payment to be made as follows: Upon Completion 100

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from specifications below involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner is to carry fire, tornado and other necessary insurance.

Authorized
Signature



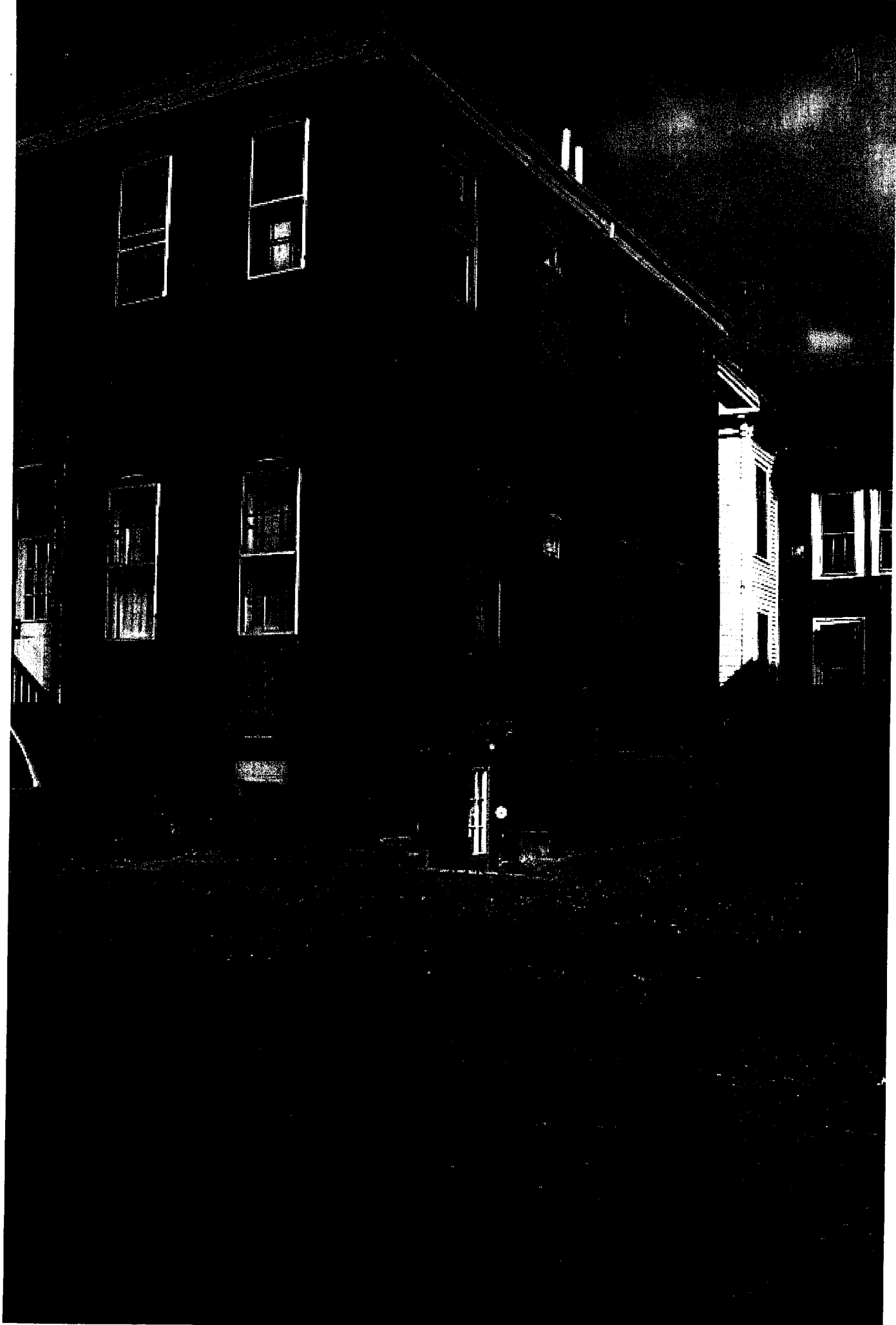
Note: This proposal may be
withdrawn by us if not accepted within 30 days

Acceptance of Proposal — The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature _____

Date of Acceptance _____

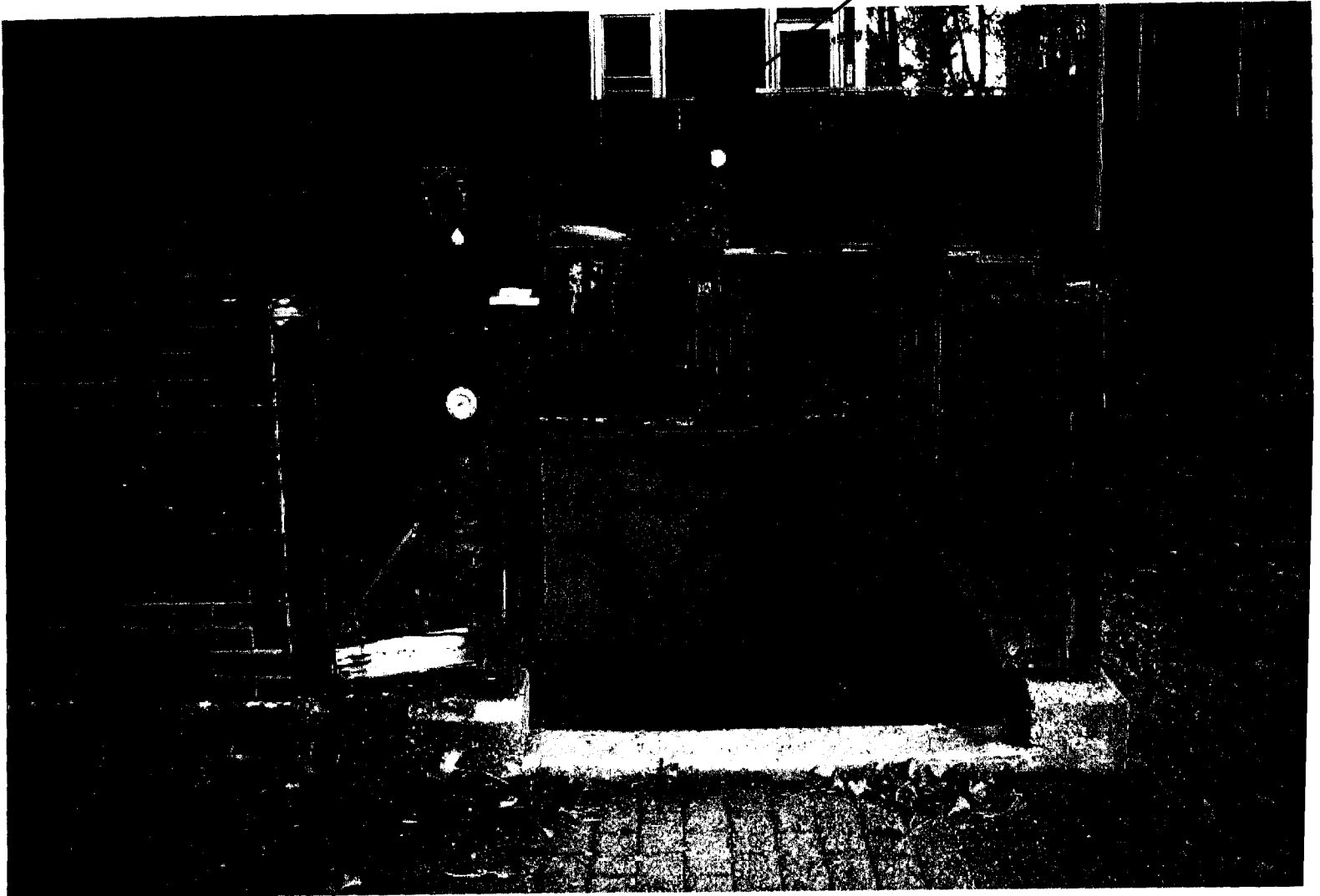
View from Brackett (middle of street)



7.

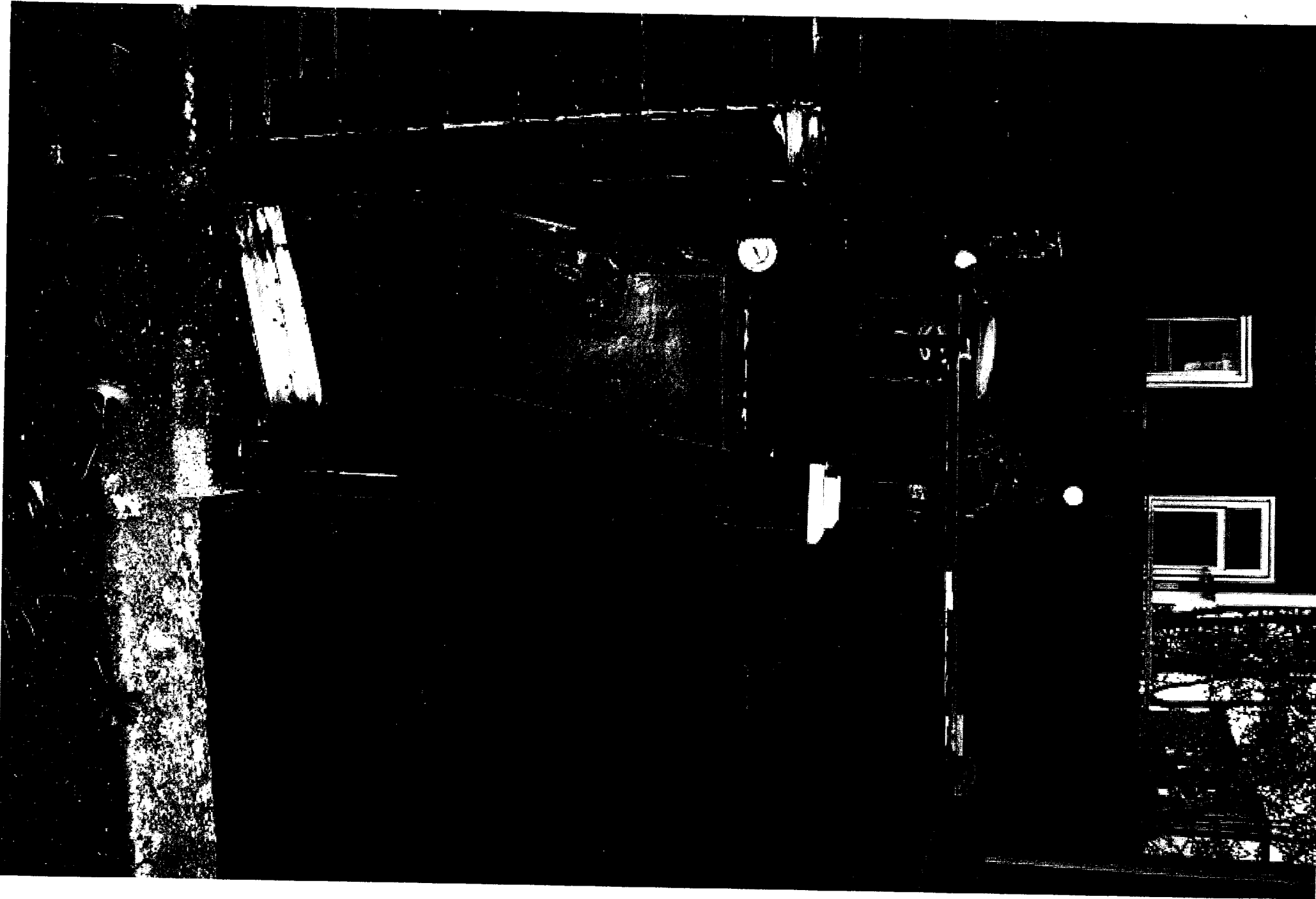
204-206 Spring St. (Brackett side in back)
View from sidewalk

Apt. #8 front door

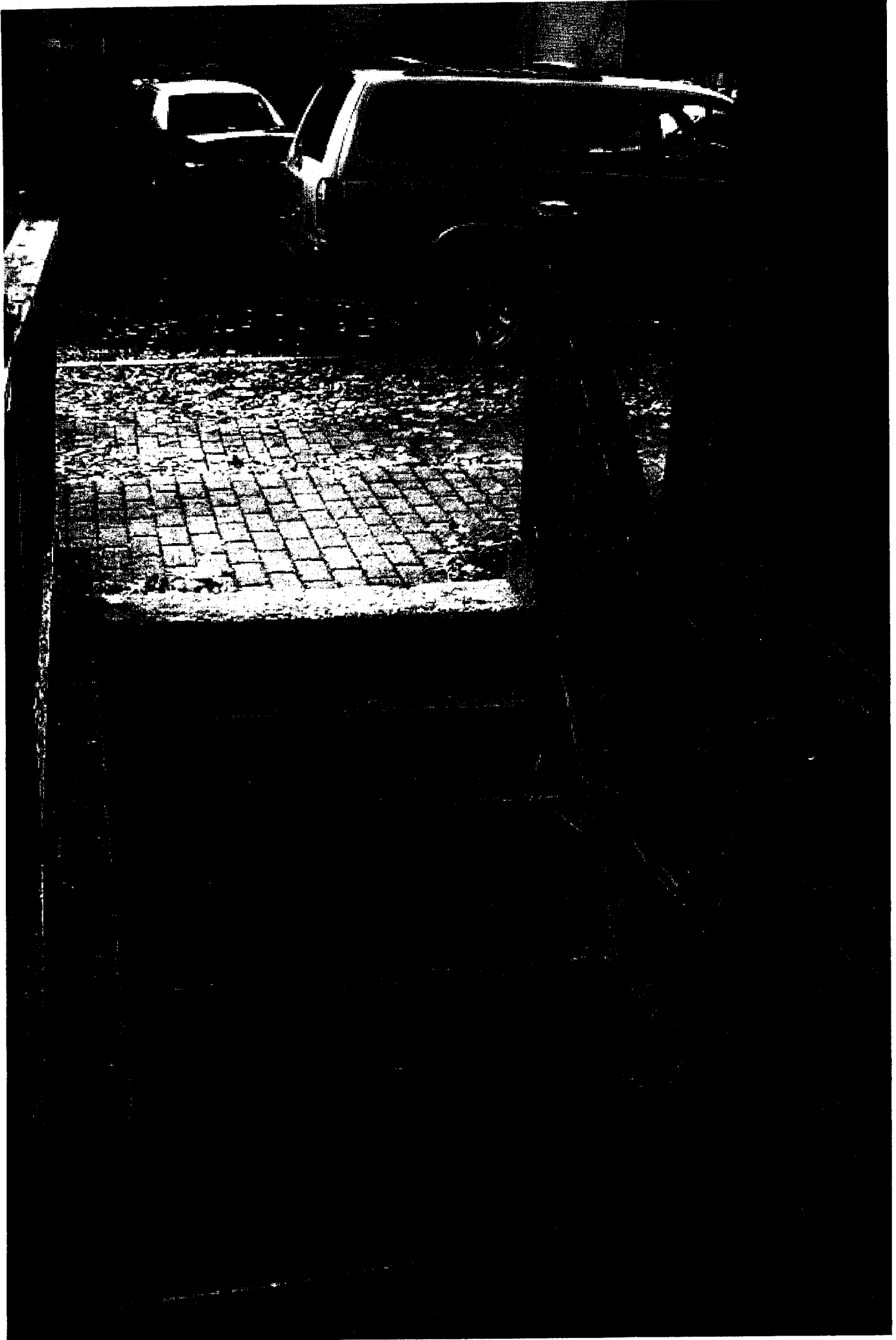


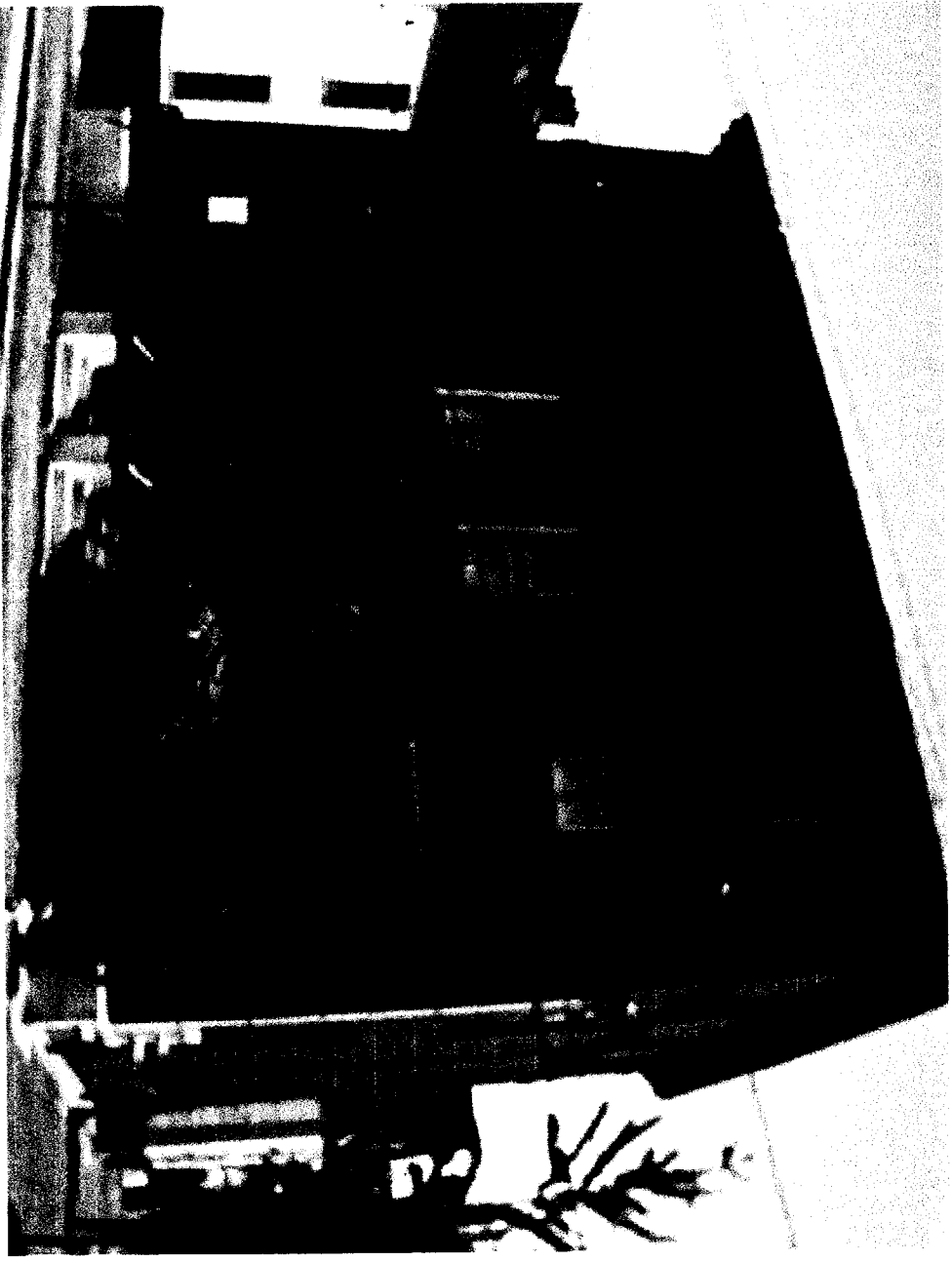
All rails along retaining wall are wobbly +
deteriorating, treads rotting.
Dimensions 11'8" L x 6'6" width + 5 steps

204-206 Spring St.



204-206 Spring St. facing out to Brackett





204 - 206 Spring St
merged AS one property
legl: BDU. see 11/2/03
permit

APPLICATION FOR PERMIT

B.O.C.A. USE GROUP 0 J 182

NOV 2 1983

B.O.C.A. TYPE OF CONSTRUCTION

LOCATION R-2 PORTLAND, MAINE JULY 1, 1983

CITY of PORTLAND

the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications (if any) submitted herewith and the following specifications:

LOCATION 204-206 Spring Street Fire District #1 , #2

Owner's name and address Mark Dromgoole - 42 Clark St. (See new owners below) Telephone W 774-3612

Future Owner address James Kane - 109 Concord Street Telephone W 773-4735

Contractor's name and address Concord Telephone

Proposed use of building No. of sheets No. families

Last use No. families

Material No. stories Heat Style of roof Roofing

Other buildings on same lot

Estimated contractual cost \$ 100,000.00 - renovations throughout Appeal fees \$ 50.00

FIELD INSPECTOR - Mr. Base Fee Change of Use }

New Owners @ 775-5451 Late Fee 25.00 Bldg. fee

Spring Street Assoc. - 148 Spring St. 04102, 773-6001 TOTAL \$ 510.00 - permit fee

(Tom Acker & Scott Kerr) 8-11-83

Change of use from 2 to 4 families at 206 Spring Street

no parking on site. That both properties (204-206 Spring St.) Stamp of Special Conditions

merge together in the same entity & the number of units in #204 Spring St. be fixed at

four for a combined total of eight units.

Special conditions conditionally attached to the question of zoning in the event the applicant is not able to provide the permit complete information, estimated cost and pay

Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanical.

PERMIT ISSUED WITH LETTER

ISSUE PERMIT TO SPRING STREET ASSOC. 148 SPRING ST. 04102

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories Solid or filled land? earth or rock?
Material of foundation Thickness, top Bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber Kind Dressed or full size? Corner posts Sills
Size Girders Columns under girders Size Max. on centers
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated, number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: APPROVED DATE MISCELLANEOUS
BUILDING INSPECTION PLAN EXAMINER Will work require disturbing of any tree on a public street?
ZONING CH. 147.C.C. NO. 9/7/83 Will there be a person competent to perform the above work a person competent to perform the State and City requirements pertaining thereto
BUILDING CODE
Fire Dept.
Health Dept.
Others:

Signature of Applicant James Kane Phone # same
Type Name of above James Kane 1 2 3 4

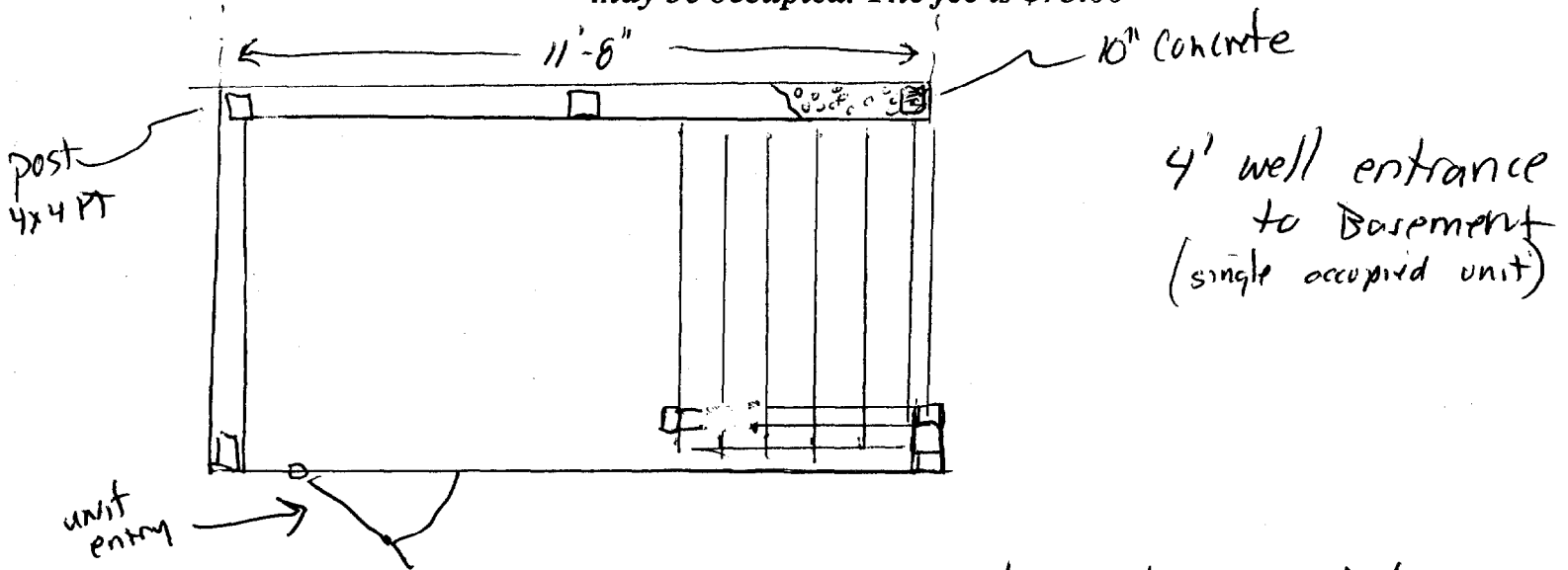
NOTE CONDITIONS

The cost of the permit is as follows:

- Basic permit fee: \$30.00
- The first \$1,000.00 worth of construction is covered in the \$30.00 base fee
- Every additional \$1,000.00 of construction will cost \$7.00

Submissions for commercial work over \$50,000.00 must be done by a Design Professional

If a Certificate of Occupancy is needed, it must be issued and paid for before the structure may be occupied. The fee is \$75.00



□ Post to be 4x4 PT anchored with existing Brackets + additional Brackets if necessary.

Top + Bottom Rails to be 2x4 PT chamfered @ a HT of 42"

Balusters to be 2x2 Fir spaced no more than 4" apart

Decorative caps

Railings Section

Railings HT 34"-38"

Treads to be 3/4 x 6 (2) 1" rca

Riser 1x PT 2" in HT

