

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

## BUILDING DEPARTMENT

# PERMIT

Permit Number: 041436

Please Read Application And Notes, If Any, Attached

PERMIT ISSUED  
OCT 22 2004  
CITY OF PORTLAND

This is to certify that Karg Jessica T /Adam Dexter  
has permission to remove and replace 2 exterior aircases  
AT 115 Brackett St 045 F019015

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must given and written permission procured before this building or part thereof loaded or closed-in. HEAVY NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. [Signature]  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
DepartmentName

[Signature]  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1436	Issue Date: 5 2 0 4	CBL: 045 F019015
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Location of Construction: 115 Brackett St	Owner Name: Karg Jessica T	Owner Address: 115 Brackett St # 15 CITY OF PORTLAND	Phone:
Business Name:	Contractor Name: Adam Dexter	Contractor Address: 115 # 2 Brackett St Portland	Phone: 2073183592
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: R-6
Past Use: commercial multi unit	Proposed Use: commercial multi unit remove and replace 2 exterior staircases.	Permit Fee: \$57.00	Cost of Work: \$3,500.00
Proposed Project Description: remove and replace 2 exterior staircases .		CEO District: 2	
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied INSPECTION: Use Group: R2 Type: 5B Signature: Adam Dexter Signature: [Signature]	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied			
Signature: _____ Date: _____			

Permit Taken By: dmartin	Date Applied For: 09/24/2004	<b>Zoning Approval</b>	
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.  2. Building permits do not include plumbing, septic or electrical work.  3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan  Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 10/5/04	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied  Date:	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input checked="" type="checkbox"/> Does Not Require Review not visible <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied to D A  Date:
	D Andrus 10/18/04		

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 04-1436	<b>Date Applied For:</b> 09/24/2004	<b>CBL:</b> 045 F019015
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<b>Location of Construction:</b> 115 Brackett St	<b>Owner Name:</b> Karg Jessica T	<b>Owner Address:</b> 115 Brackett St # 15	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Adam Dexter	<b>Contractor Address:</b> 115 # 2 Brackett St Portland	<b>Phone</b> (207) 318-3592
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Commercial	

commercial multi unit remove and replace 2 exterior staircases.

remove and replace 2 exterior staircases .

**Dept:** Historical      **Status:** Not Applicable      **Reviewer:** Deborah Andrews      **Approval Date:** 10/18/2004

**Note:** **Ok to Issue:**

- 1) \* Not visible from public way--historic preservation review not required.

**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 10/05/2004

**Note:** **Ok to Issue:**

- 1) The replacement exterior stairways shall remain in the original footprint and shall not be increased unless required by Fire and Building Codes.
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 3) This property shall remain a total of 16 condominiums: 105 Brackett is a 3 family condo; 107 Brackett Street is a 3 family condo; 109 Brackett St is a 3 family condo; 111 Brackett St is a 2 family condo; 113 Brackett KSt is a 2 family condo; 115 Brackett St is a 3 family condo. Any change of use shall require a separate permit application for review and approval.

**Dept:** Building      **Status:** Approved      **Reviewer:** Mike Nugent      **Approval Date:** 10/21/2004

**Note:** **Ok to Issue:**

- 1) The expended areas are required to accomplish code compliant treads and risers.

Protection from the accumulation of snow and ice is waived at the request of the applicant because this is a replacement of existing and is in a Historic District. (see Section 3407.1 2003 IBC)

**Dept:** Fire      **Status:** Approved      **Reviewer:** Lt. MacDougal      **Approval Date:** 10/19/2004

**Note:** **Ok to Issue:**

Please file under Jessica Karg, 115 Brackett St  
if possible. Thank you!

## All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Frothingham Yard Condo Association

105 unit 2  
115 unit 16

Location/Address of Construction: 105 Brackett Street / 115 Brackett St		
Total Square Footage of Proposed Structure <del>1116</del>	Square Footage of Lot 1116 for unit 105-3 544 for unit 115-3 19811 for whole condo Assoc	
Tax Assessor's Chart, Block & Lot Chart# 45 Block# F Lot# 19	Owner: Frothingham Yard Condo Association	Telephone: 775-5117 Jessica Karg Sec.
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: Jessica Karg Secretary, FYCA 115-2 Brackett St Portland, ME 04102	Cost Of Work: \$ 3500 Fee: \$ 39.00 # 57
Current use: residential condo 207.775.5117		
If the location is currently vacant, what was prior use: /		
Approximately how long has it been vacant: /		
Proposed use: exterior entrance for unit 105-2 / exterior entrance unit 115-3		
Project description: tear down (rotted) + replace exterior back stairs to 115-3 tear down and replace exterior back stairs to 105-2		
Contractor's name, address & telephone: Adam Dexter 318-3592 115-2 Brackett St. Portland 04102		
Who should we contact when the permit is ready: JESSICA KARG		
Mailing address: 115-2 Brackett St Portland, ME 04102		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 207 7755117		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Jessica Karg Date: 9/23/04

This is NOT a permit, you may not commence ANY work until the permit is issued.  
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

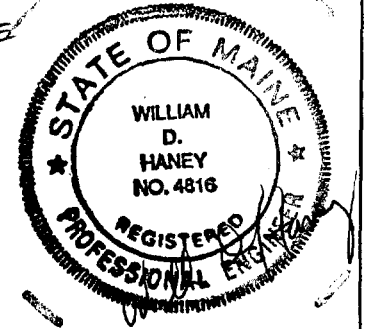
**LINCOLN/HANEY**  
**ENGINEERING ASSOCIATES, INC.**  
6 Federal Street  
BRUNSWICK, MAINE 04011  
(207) 729-1061

JOB BRACKETT ST Condominium  
SHEET NO. 1 OF 10  
CALCULATED BY WDH DATE 9/15/04  
CHECKED BY \_\_\_\_\_ DATE \_\_\_\_\_  
SCALE \_\_\_\_\_

LOCATION: 105 & 115 BRACKETT ST, PORTLAND, MAINE

EXTERIOR STAIR REPLACEMENT

UNIT 115-3 : Stair A  
UNIT 105-2 : Stair B

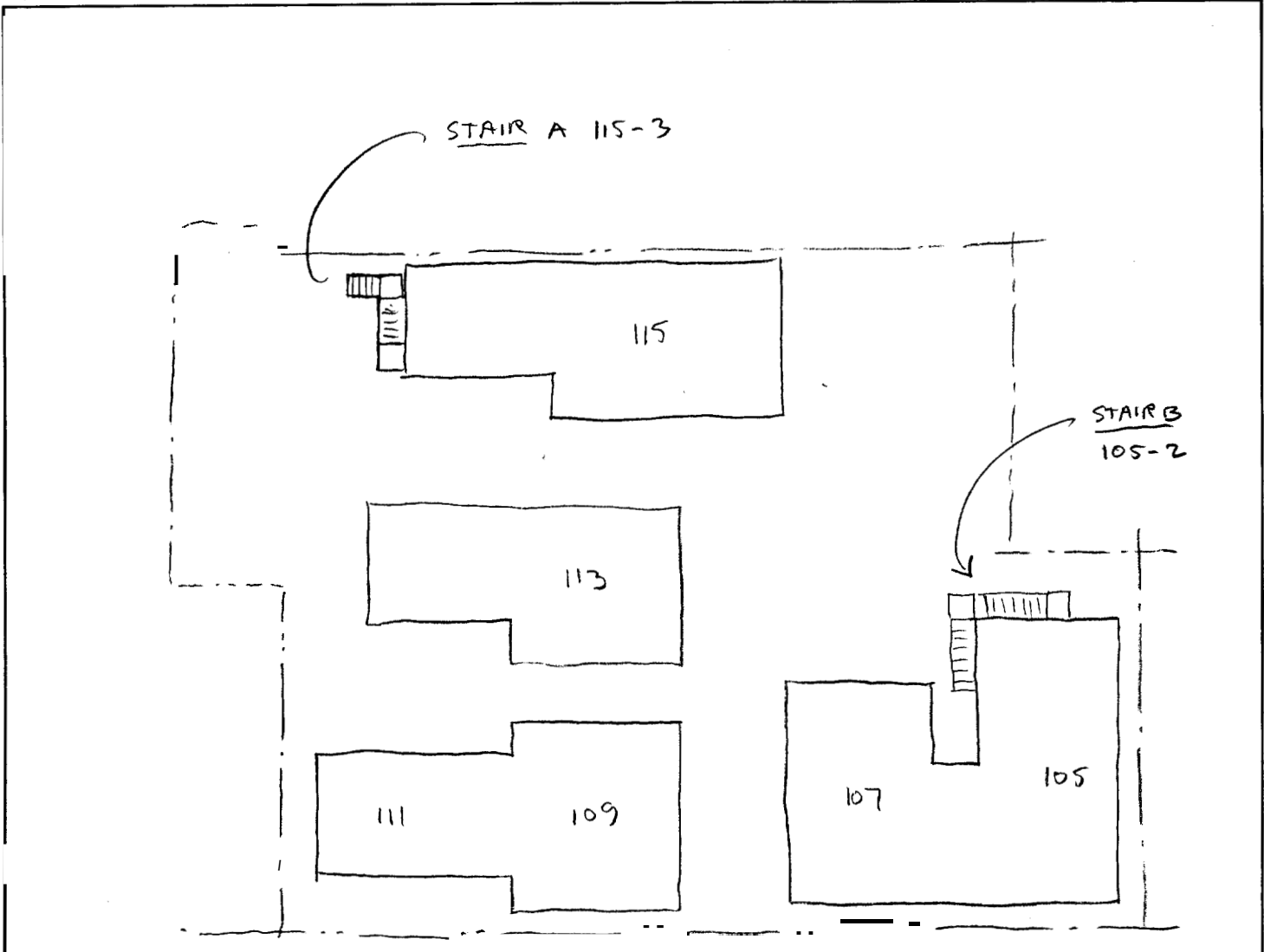


DESIGN CRITERIA: Ref: BOCA 1999

- 1014.3 Stairway width 36" CLEAR (ex. handrails)
- 1014.3.2 Landings - MIN 36" x 36"
  - Tread 11"
  - Riser 7"
- 1021.0 Guard rails Height 42" above tread nosing & landing
- 1022.0 Hand Rails Height 34-38" above " " "
  - Both Sides 2 1/4" clear to guard rail
  - 1/4-2" diameter
- 606.0 Live Load 100 psf uniform  
300 lbs concentrated load
- 1606.4 Guardrails, hand rails
  - 200 # conc.
  - 50 p.l.f. uniform

**LINCOLN/HANEY  
ENGINEERING ASSOCIATES, INC.**  
6 Federal Street  
BRUNSWICK, MAINE 04011  
(207) 729-1061

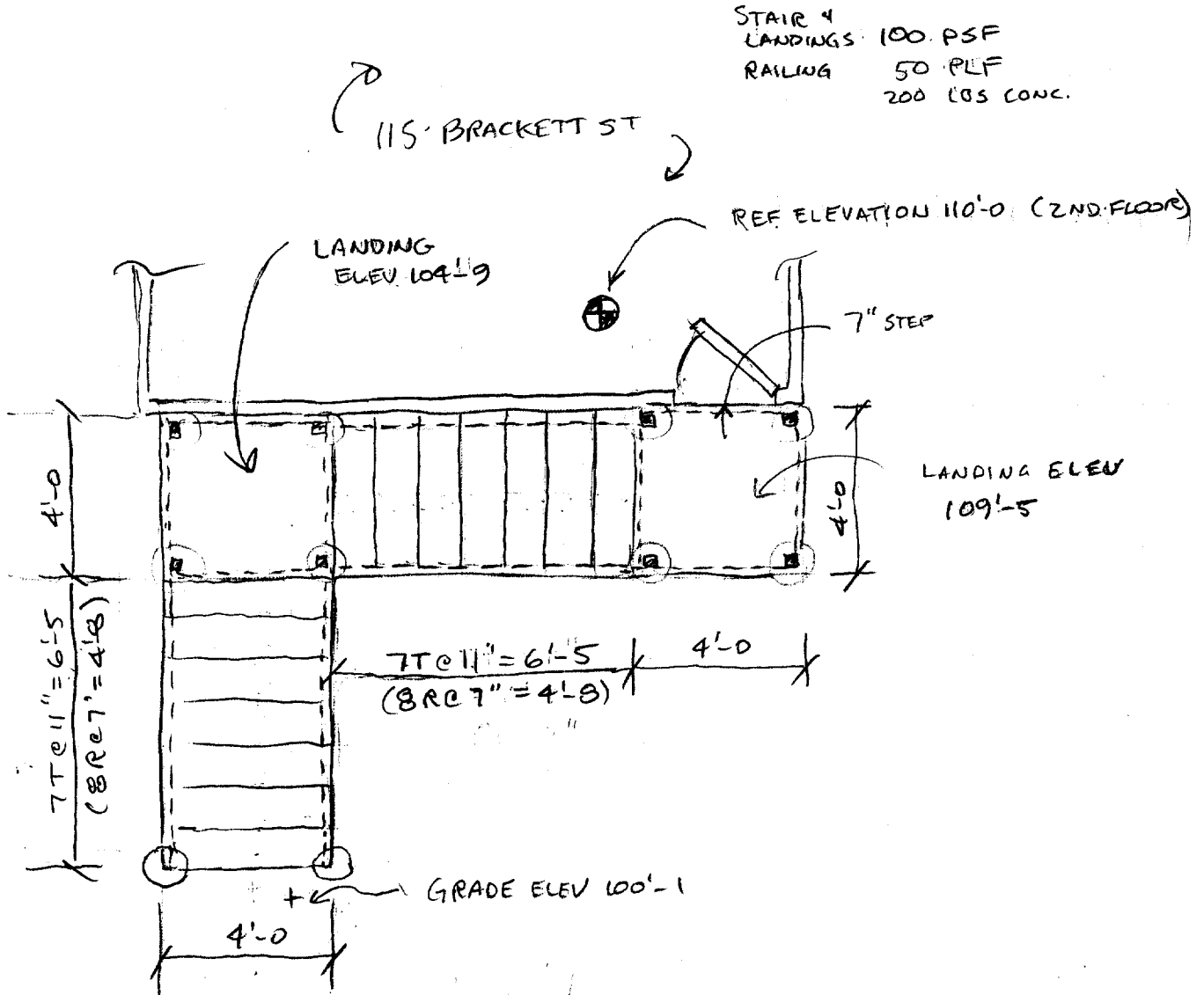
JOB BRACKETT ST CONDOMINIUM  
SHEET NO. EXT. STAIRS 2 OF 10  
CALCULATED BY WDH DATE 9/15/04  
CHECKED BY \_\_\_\_\_ DATE \_\_\_\_\_  
SCALE \_\_\_\_\_



KEY PLAN  
NTS.

**LINCOLN/HANEY  
ENGINEERING ASSOCIATES, INC.**  
6 Federal Street  
BRUNSWICK, MAINE 04011  
(207) 729-1061

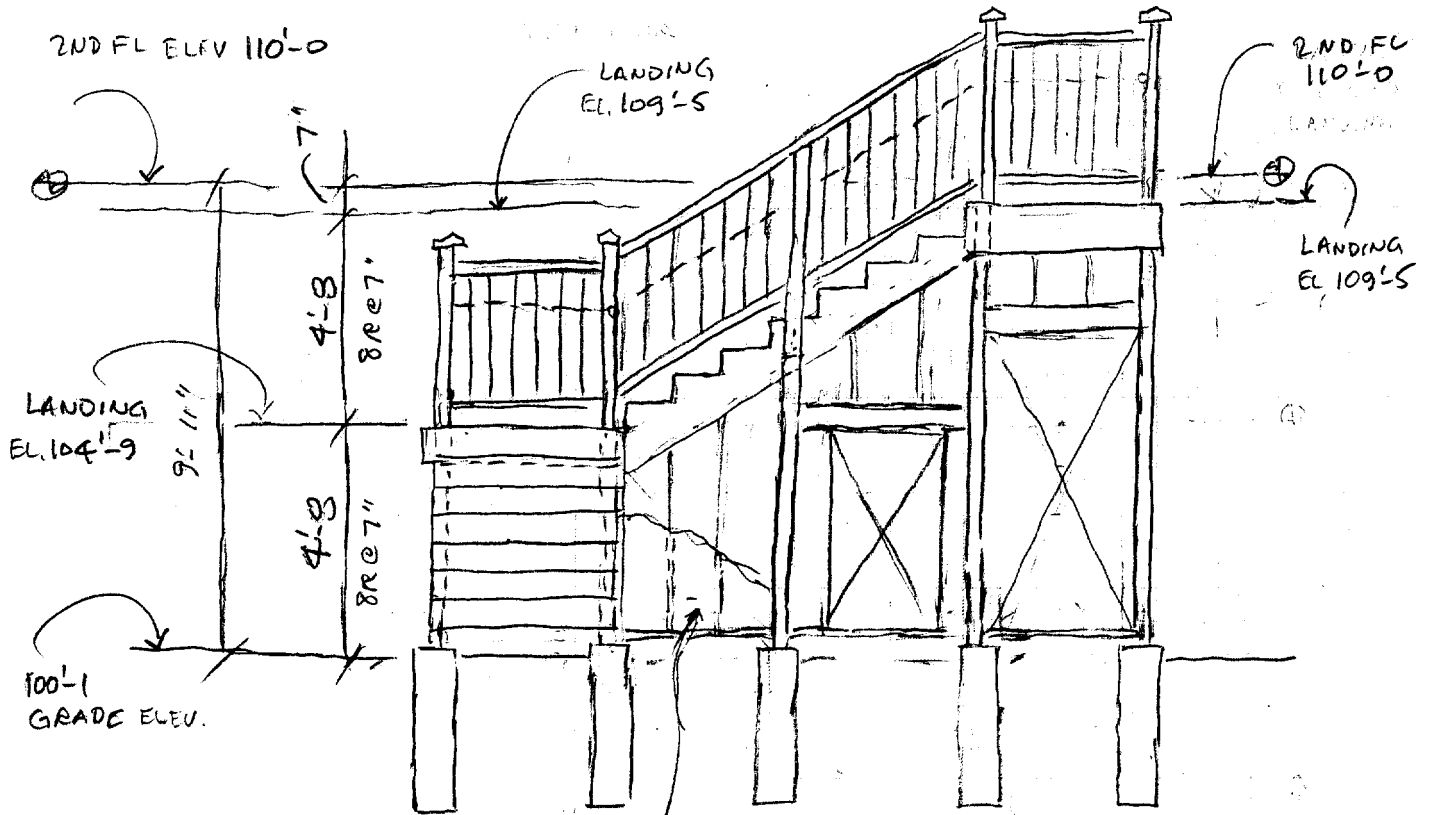
JOB 115 BRACKETT STREET - UNIT 3 115-3  
SHEET NO. 3 OF 10  
CALCULATED BY WDH DATE 9/13/04  
CHECKED BY \_\_\_\_\_ DATE \_\_\_\_\_  
SCALE \_\_\_\_\_



STAIR "A" PLAN  
 $\frac{1}{4}'' = 1'-0''$

**LINCOLN/HANEY  
ENGINEERING ASSOCIATES, INC.**  
6 Federal Street  
BRUNSWICK, MAINE 04011  
(207) 729-1061

JOB 115 Brackett St Unit 3 Stair 115-3  
SHEET NO. 4 OF 10  
CALCULATED BY WDH DATE 9/15/04  
CHECKED BY \_\_\_\_\_ DATE \_\_\_\_\_  
SCALE \_\_\_\_\_



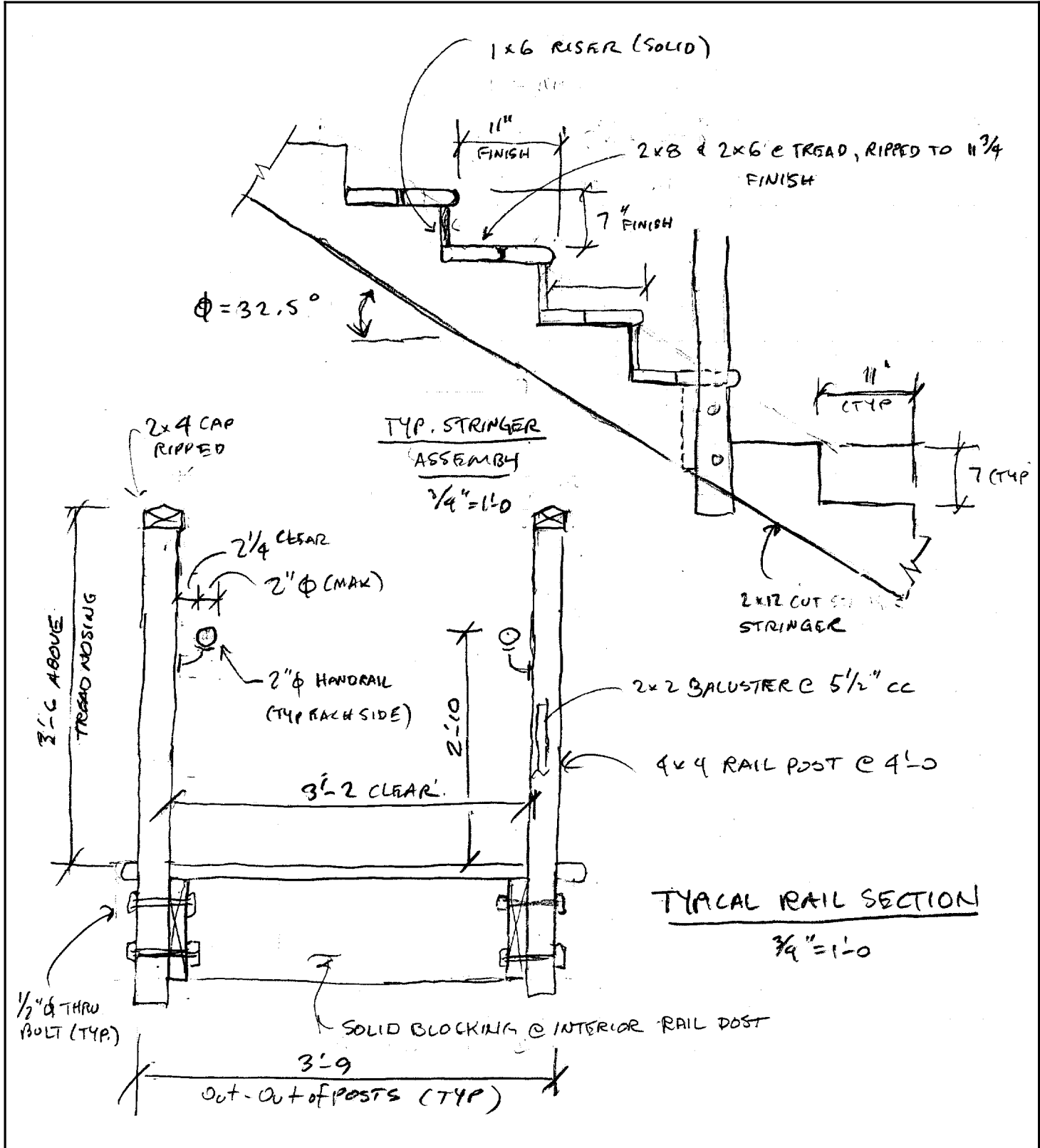
STAIR A  
ELEVATION

2x4 @ 16 W/ILL  
FRAMING, 1/2"  $\phi$   
PLYWOOD SHEATHING  
w/ CLAPBOARDS  
(TYP.)



**LINCOLN/HANEY  
ENGINEERING ASSOCIATES, INC.**  
6 Federal Street  
BRUNSWICK, MAINE 04011  
(207) 729-1061

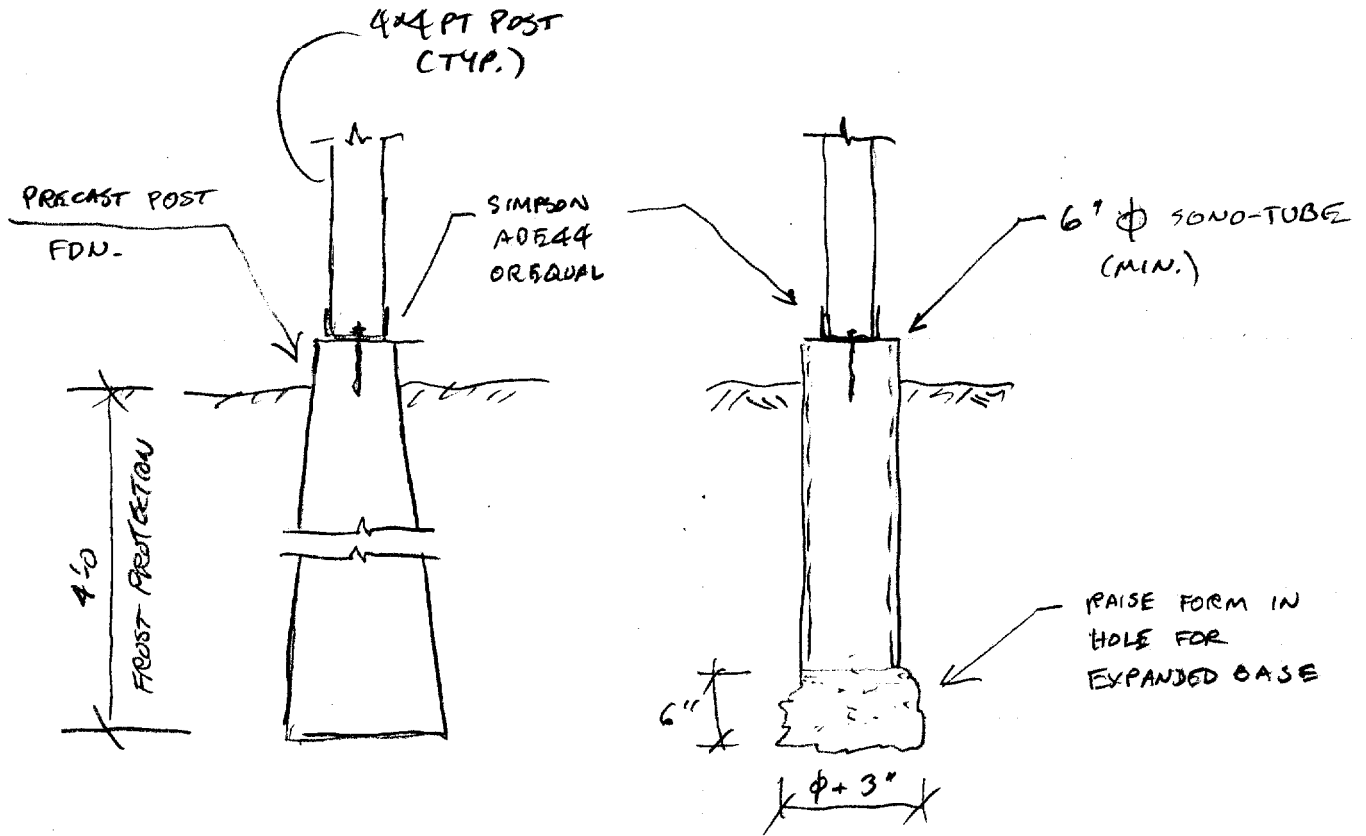
JOB BRACKETT ST. 115-3  
SHEET NO 5 OF 10  
CALCULATED BY WDH DATE 9/15/04  
CHECKED BY \_\_\_\_\_ DATE \_\_\_\_\_  
SCALE \_\_\_\_\_



**LINCOLN/HANEY  
ENGINEERING ASSOCIATES, INC.**

6 Federal Street  
BRUNSWICK, MAINE 04011  
(207) 729-1061

JOB BRACKETT ST 115-3  
SHEET NO. 6 OF 10  
CALCULATED BY WDH DATE 9/15/09  
CHECKED BY \_\_\_\_\_ DATE \_\_\_\_\_  
SCALE \_\_\_\_\_

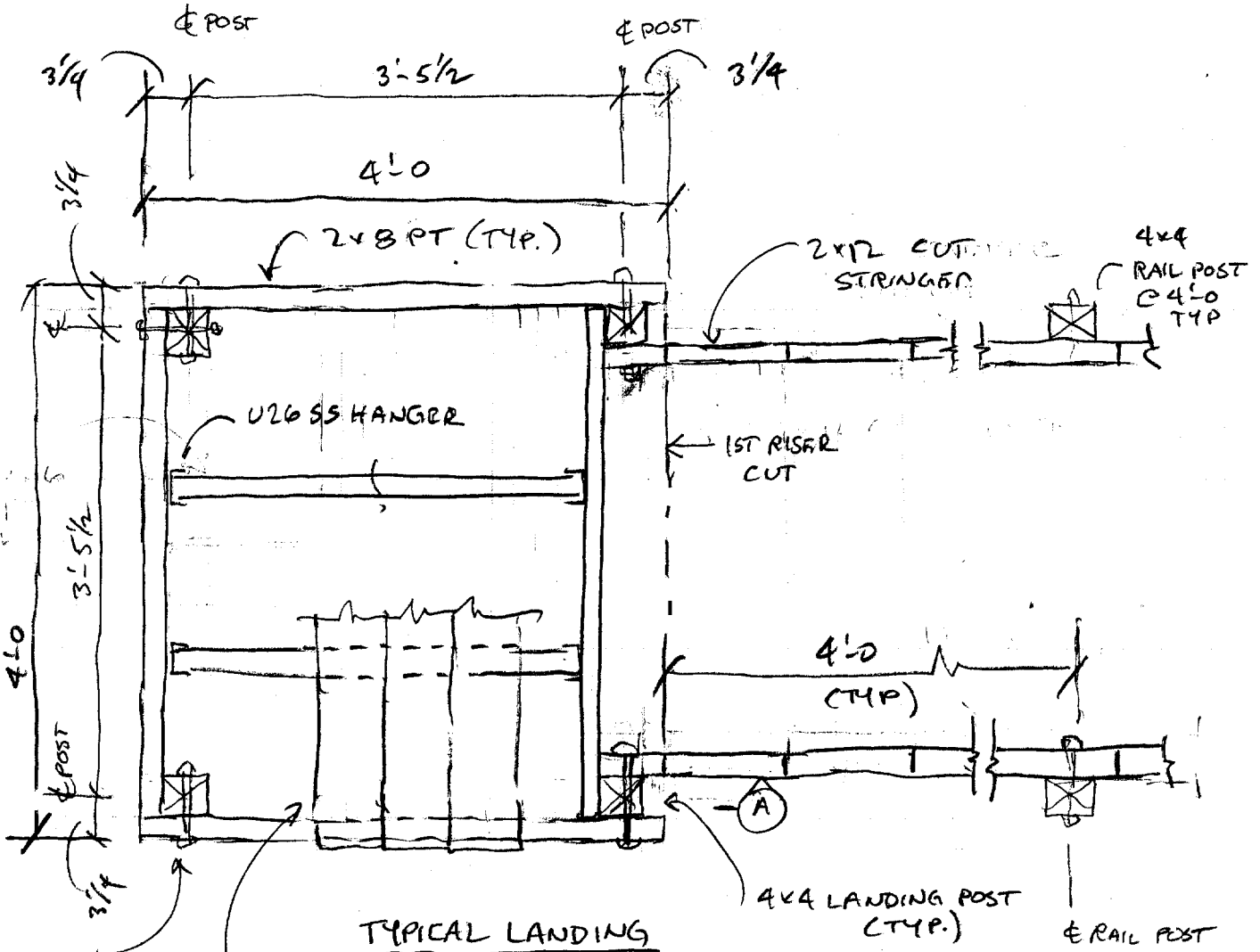


TYPICAL FOUNDATION  
DETAILS

**LINCOLN/HANEY  
ENGINEERING ASSOCIATES, INC.**

6 Federal Street  
BRUNSWICK, MAINE 04011  
(207) 729-1061

JOB BRACKETT ST 115-3  
SHEET NO 7 OF 10  
CALCULATED BY WDH DATE 9/15/04  
CHECKED BY \_\_\_\_\_ DATE \_\_\_\_\_  
SCALE \_\_\_\_\_

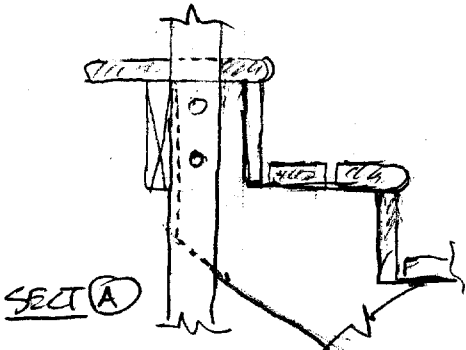


TYPICAL LANDING

1/2" dia CARRIAGE BOLT (2) (TYP.)

2x6 PT DECKING

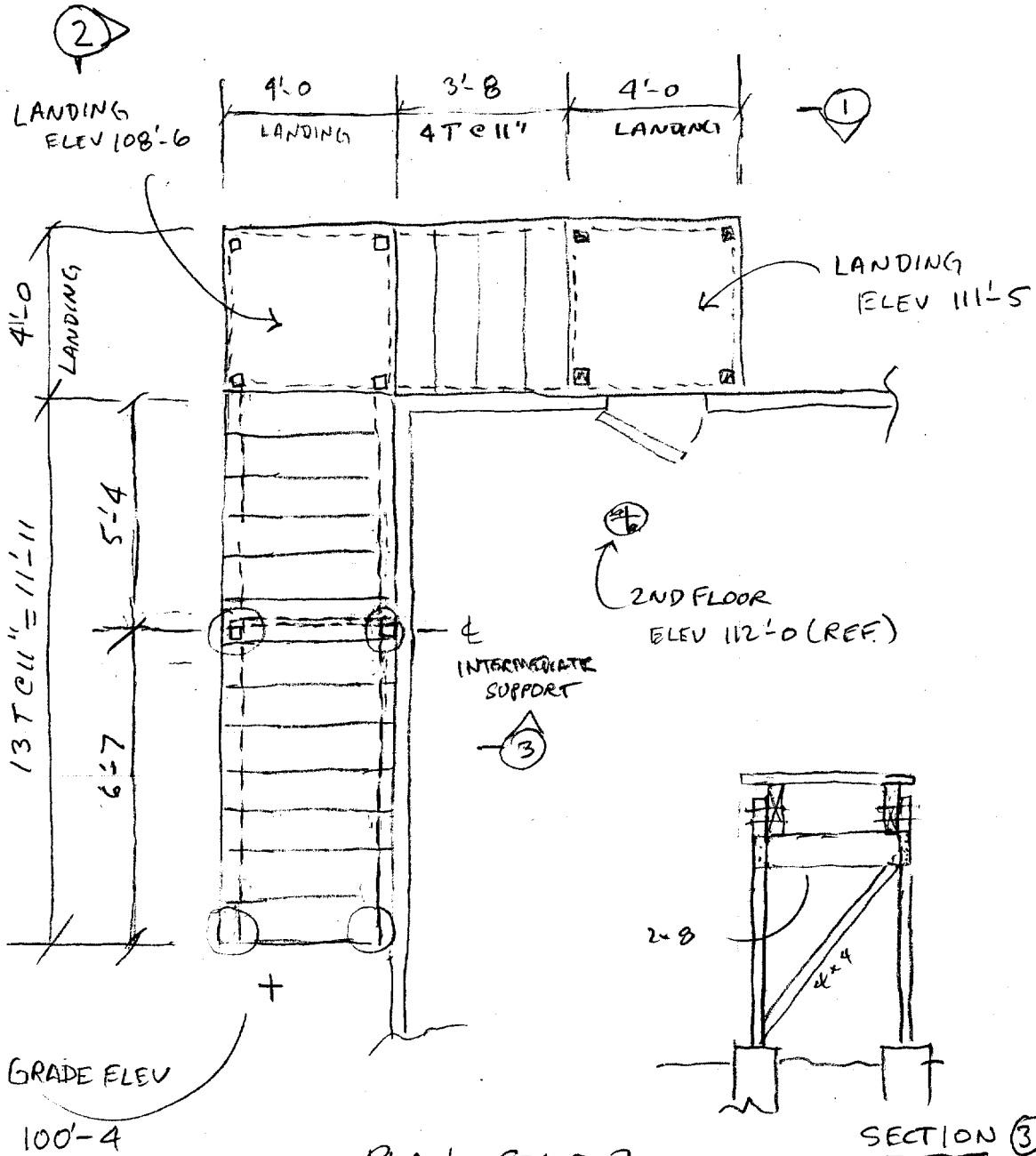
3/4" = 1'-0"



SECT A

**LINCOLN/HANEY  
ENGINEERING ASSOCIATES, INC.**  
6 Federal Street  
BRUNSWICK, MAINE 04011  
(207) 729-1061

JOB BRACKETT ST 105-2  
SHEET NO. 8 OF \_\_\_\_\_  
CALCULATED BY WDH DATE 9/15/04  
CHECKED BY \_\_\_\_\_ DATE \_\_\_\_\_  
SCALE \_\_\_\_\_



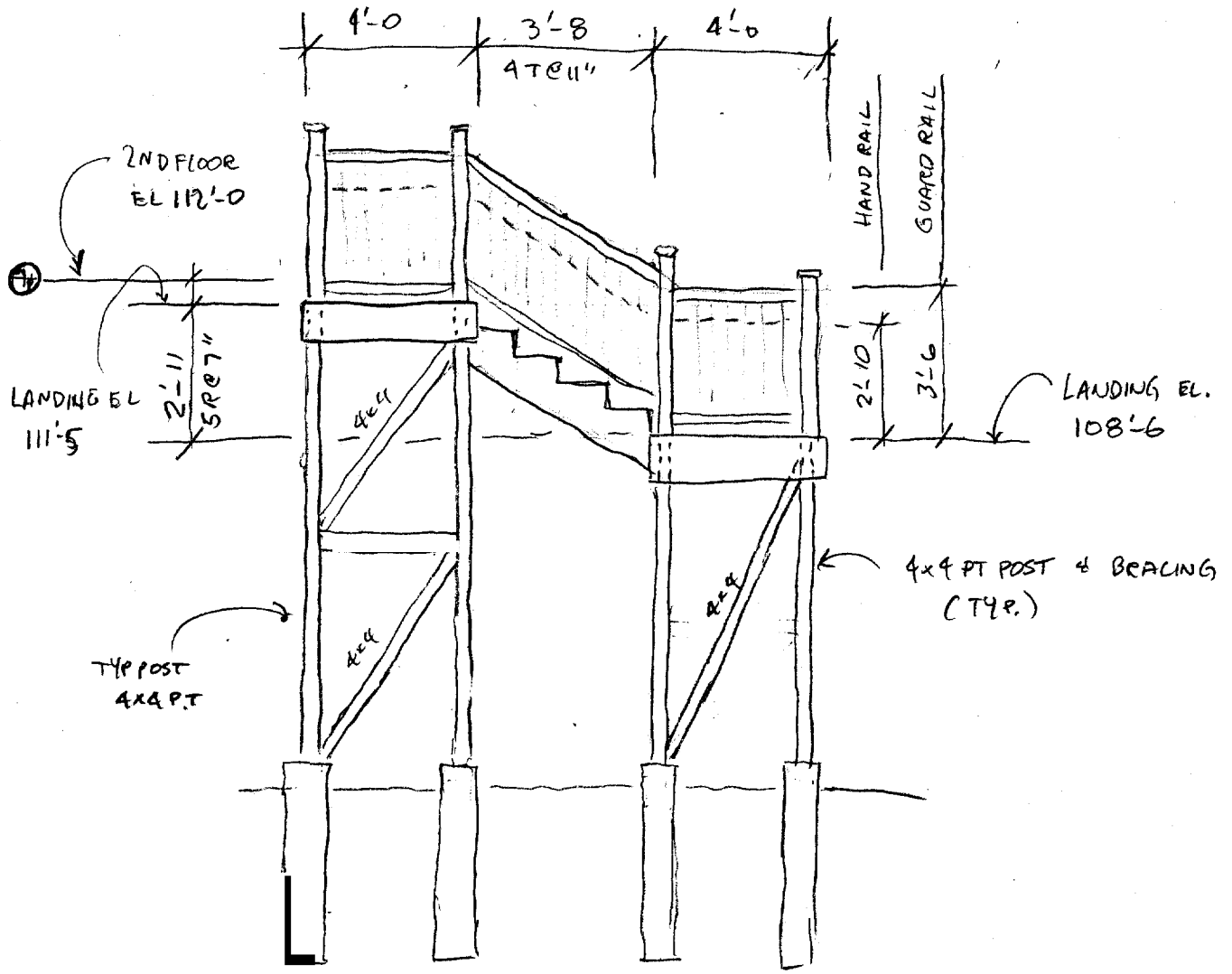
PLAN - STAIR B  $\frac{1}{4}'' = 1'-0''$   
105 BRACKETT ST

SECTION 3

**LINCOLN/HANEY  
ENGINEERING ASSOCIATES, INC.**

6 Federal Street  
BRUNSWICK, MAINE 04011  
(207) 729-1061

JOB BRACKETT ST 105-2  
 SHEET NO 9 OF 10  
 CALCULATED BY W D H DATE 9/15/04  
 CHECKED BY \_\_\_\_\_ DATE \_\_\_\_\_  
 SCALE \_\_\_\_\_



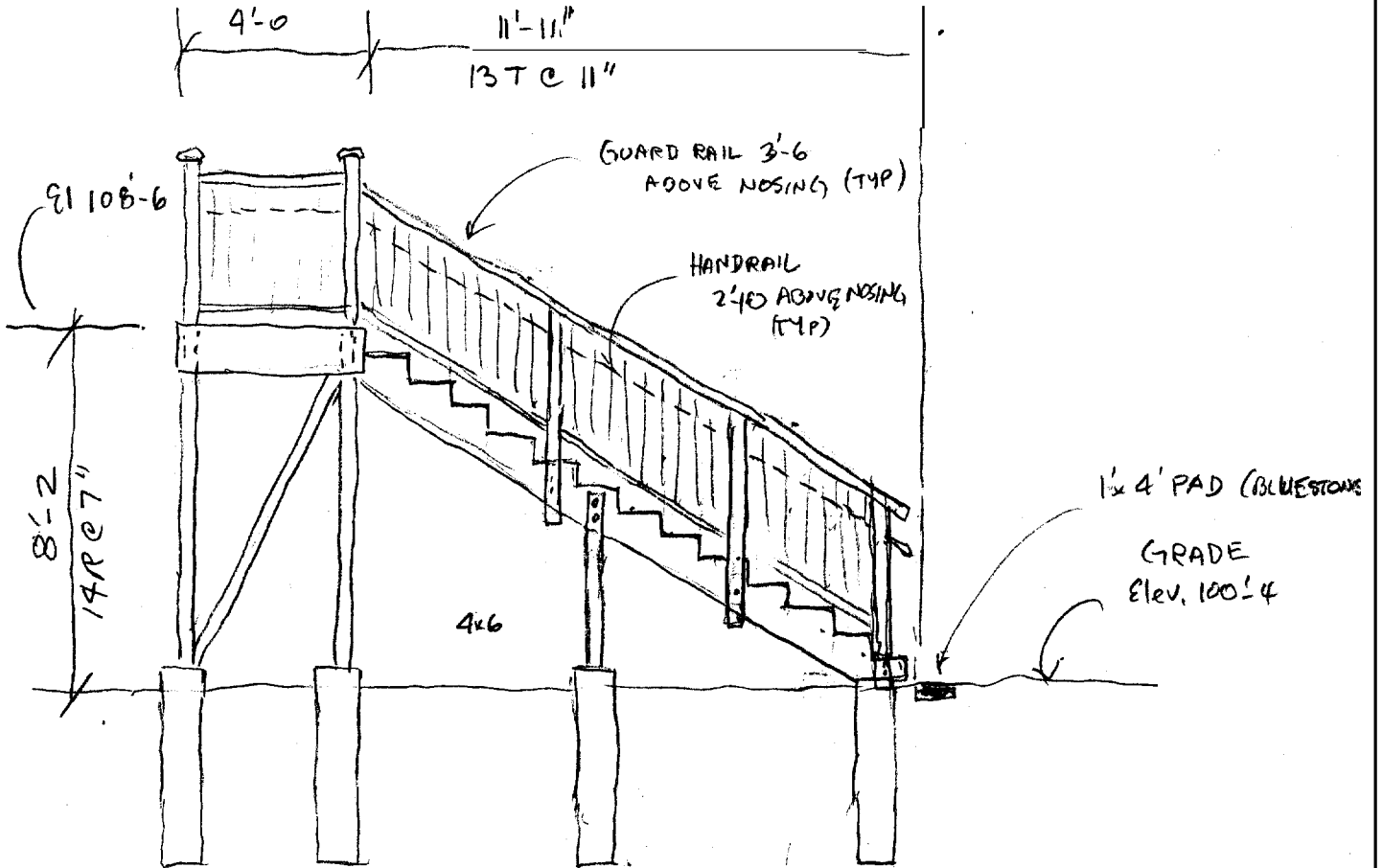
STAIR B: ELEVATION ①

1/4" = 1'-0"

**LINCOLN/HANEY  
ENGINEERING ASSOCIATES, INC.**

6 Federal Street  
BRUNSWICK, MAINE 04011  
(207) 729-1061

JOB BRACKETT ST 105-2  
SHEET NO. 10 OF 10  
CALCULATED BY DH DATE 9/15/04  
CHECKED BY \_\_\_\_\_ DATE \_\_\_\_\_  
SCALE \_\_\_\_\_



STAIR B ELEVATION (2)

1/4" = 1'-0"

Permit application for the replacement of two exterior staircases at Frothingham Yard Condo Association.

We are proposing to replace two sets of exterior staircases at Frothingham Yard Condo Association. One is the back entrance to 105-3 Brackett Street, and the other is the back entrance to 115-3 Brackett Street. Neither set **of** stairs is visible from the street, *so* approval from the Landmark Preservation society is not necessary.

The stairs on 115-3 Brackett have been unused for a number of years, as the tenant has been living elsewhere, and **has** not rented the unit. They are rotten beyond repair, and in their current state, present a **risk** and liability. They also are not up to current code.

The stairs on 105-3 Brackett are not being used by the new owners, at the request of the condo association, due to the fact that they were not constructed properly. They **were** built in ways that are not within legal code, and we want to replace the stairs *so* they are safe and within proper building codes.

Attached are plans that were drawn by William Haney, a certified civil & structural engineer and co-owner of Lincoln Haney Engineering.

Please contact me if you have any questions about any aspect of this application.

Regards,

Jessica T. Karg

Contact information:  
Jessica Karg  
Secretary, Frothingham Yard Condo Association  
115-2 Brackett Street  
Portland, ME 04102  
207-775-5117 hm  
207-253-5539 wk  
207-831-7171 cell

[jkarg@maine.rr.com](mailto:jkarg@maine.rr.com)  
[Jessica@quotientmarketing.com](mailto:Jessica@quotientmarketing.com)

**City of Portland, Maine  
Memorandum**

From: Marge Schmuckal, Zoning Administrator

Subject: **Verification of Legal Number of Units**

Date: September 24, 2004

C-B-L- Number: 045-F-019

RE: 105-115 Brackett St. – known **as** the Frothingham Yard Condos  
Original Declaration BK: 48 19/PG:74

The number of units currently in use at **this** property is 16 condominiums .

Please verify that the number of units are legal under the current code.

    **X**     Yes, the number of units are legal.

           No, the number of units do not coincide with City records or the  
Land **Use** Code. According to City records the legal number **of**  
units for this property is                           

This **has** been a very difficult lot to determine the legal number of dwelling Units. There were many separate lots with buildings on them that have been merged into one great big lot. My research in the assessor's office along with our microfiche show that there were 16 dwelling units in all the buildings that were presents at the time of merging (which I believe to be 1974). Some of the older single family dwellings have been removed, but the usage was moved into the larger buildings

Current legal use:     105 Brackett St: 3 family condos  
                          107 Brackett St: **3** family condos  
                          109 Brackett St: 3 family condos  
                          111 Brackett St: 2 family condos  
                          113 Brackett St: 2 family condos  
                          115 Brackett St: **3** family condos  
                          TOTAL: 16 family condos

Verified By:     Marge Schmuckal         Title:     September 24.2004





# CITY OF PORTLAND, MAINE

## Department of Building Inspections

20

Received from \_\_\_\_\_

Location of Work \_\_\_\_\_

Cost of Construction \$ \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_

Building (I1)  Plumbing (I5) \_\_\_\_\_ Electrical (I2) \_\_\_\_\_ Site Plan (U2) \_\_\_\_\_

Other \_\_\_\_\_

CBL: \_\_\_\_\_

Check #: \_\_\_\_\_

Total Collected \$ \_\_\_\_\_

# THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy

YELLOW - Office Copy

PINK - Permit Copy