

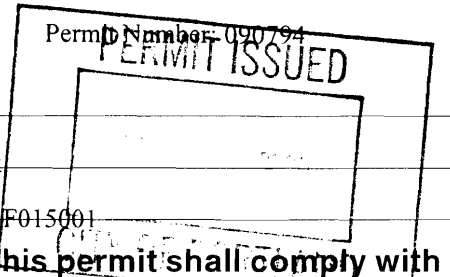
DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BU D ICTION

Please Read Application And Notes, If Any, Attached

PERMIT



This is to certify that Morrill Jonathan H & /self
has permission to Renovations of rear portion of building, includes addition of ground deck
AT 67 Gray St City 045 F015001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is set-in. 2 HO NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

- Fire Dept. _____
- Health Dept. _____
- Appeal Board _____
- Other _____
Department Name

Thomas M. MacKinnon 9/15/07
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

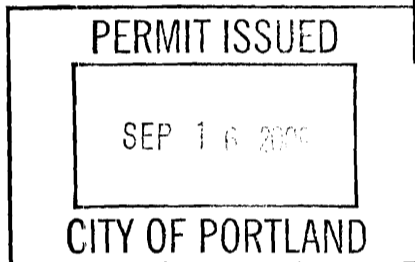
City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0794	Issue Date:	CBL: 045 F015001
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Location of Construction: 67 Gray St	Owner Name: Morrill Jonathan H &	Owner Address: 67 Gray St	Phone: 207-828-1059
Business Name:	Contractor Name: self	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Duplex	Zone: R-6

Past Use: Duplex	Proposed Use: Duplex / Revocations of rear portion of building, includes addition of ground deck. <i>legal use 2 dv. - [initials]</i>	Permit Fee: \$140.00	Cost of Work: \$12,000.00	CEO District: 2
Proposed Project Description: Renovations of rear portion of building, includes addition of ground deck. <i>reconfigure second egress</i>		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>R3</i> Type: <i>SB</i> <i>IRC 2003</i>	
		Signature:	Signature: <i>dm 9/15/09</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____				

Permit Taken By: gg	Date Applied For: 07/29/2009	Zoning Approval		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
	Date:	Date:	Date: <i>9/15/09</i>	
			<i>10. Andrews</i>	



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.


 X **Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**

 X **Final inspection required at completion of work.**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

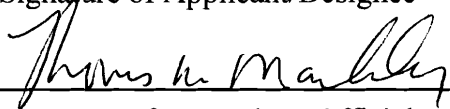
If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



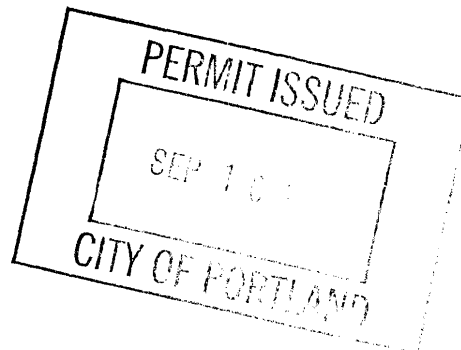
Signature of Applicant/Designee

 9/16/09
Date



Signature of Inspections Official

 9/15/09
Date



CBL: 045 F015001

Building Permit #: 09-0794

09 0794



General Building Permit Application

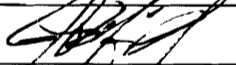
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 67 GRAY ST.		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 45 F 15	Applicant * must be owner, Lessee or Buyer* Name JONATHAN MORRILL Address 67 GRAY ST. City, State & Zip PORTLAND 04102	Telephone: 828-1059
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ 12,000 C of O Fee: \$ _____ Total Fee: \$ 140
Current legal use (i.e. single family) 2 FAMILY Number of Residential Units 2 If vacant, what was the previous use? _____ Proposed Specific use: 2 FAMILY Is property part of a subdivision? _____ If yes, please name _____ Project description: RENOVATION OF REAR PORTION OF BUILDING. FIRING AND REFRAMING AS NECESSARY FOR INSULATION. RECONFIGURATION OF SECOND EGRESS. ADDITION OF GROUND FLOOR DECK. VARIOUS STRUCTURAL REMEDIES AS DRAWN.		
Contractor's name: JONATHAN MORRILL - HOMEOWNER Address: AS ABOVE City, State & Zip _____ Telephone: _____ Who should we contact when the permit is ready: JONATHAN MORRILL Telephone: 828-1059 Mailing address: AS ABOVE		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature:  Date: **7.28.09**

This is not a permit; you may not commence ANY work until the permit is issue

City of Portland, Maine - Building or Use Permit
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

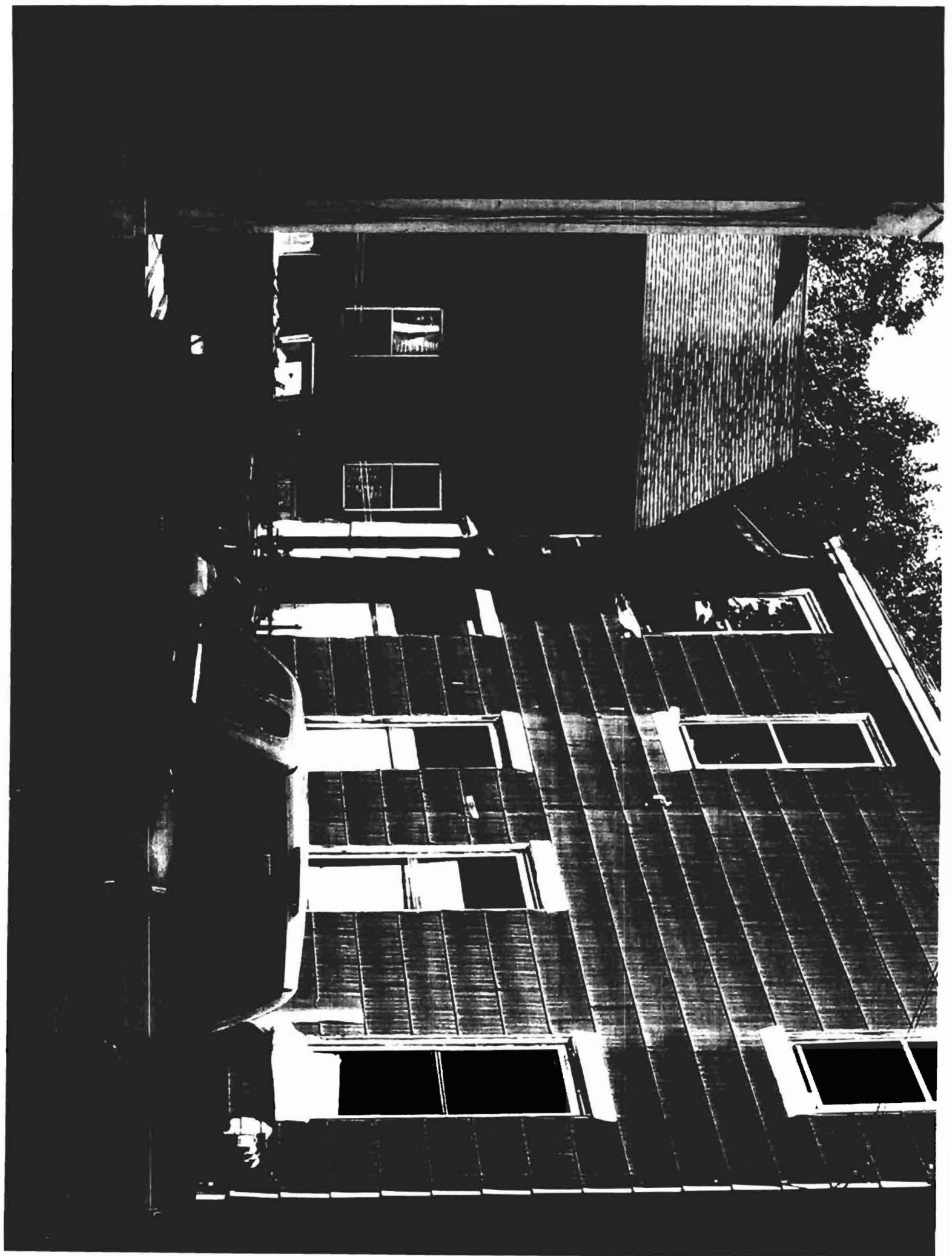
Permit No: 09-0794	Date Applied For: 07/28/2009	CBL: 045 F015001
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Location of Construction: 67 Gray St	Owner Name: Morrill Jonathan H &	Owner Address: 67 Gray St	Phone: 207-828-1059
Business Name:	Contractor Name: self	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Duplex	

Proposed Use: Duplex / Renovations of rear portion of building, includes addition of ground deck & reconfigure second egress	Proposed Project Description: Renovations of rear portion of building, includes addition of ground deck & reconfigure second egress
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Dept: Historic	Status: Approved	Reviewer: Scott Hanson	Approval Date: 09/15/2009
Note:			Ok to Issue: <input checked="" type="checkbox"/>
Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 08/04/2009
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District. 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals. 3) This property shall remain a two family dwelling. Any change of use shall require a separate permit application for review and approval. 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			
Dept: Building	Status: Approved with Conditions	Reviewer: Tom Markley	Approval Date: 09/15/2009
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) The existing deck shall be inspected for adequate fasteners and bearing for spans, and modifications may be required 2) Frost protection must be installed per the enclosed detail as discussed w/owner/contractor. 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.			

Comments:
8/4/2009-amachado: Spoke to Jonathan Morrill. Since the footprint is expanding with the new egress and dck, he needs to fill out a siteplan exemption. He said that he would be in today.
8/21/2009-gg: received granted site exemption as of 8/20/09. /gg
9/15/2009-gg: received permit from historic as of 09/15/09. Filed granted site exemption with permit. /gg





Application for Exemption from Site Plan Review

Portland, Maine

Department of Planning and Urban Development, Planning Division and Planning Board

PROJECT NAME: MORRILL BROTHERS RESIDENCE CBL-045-F015

PROJECT ADDRESS: 67 GRAY ST. PORTLAND

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of Proposal/Development)

(SEE PERMIT APPLICATION ATTACHMENTS)

CHART/BLOCK/LOT: 045-F-015 RECONFIGURATION OF SECOND FLOOR 2ND EGRESS AND ADDITION OF GROUND FLOOR DECK.

CONTACT INFORMATION:

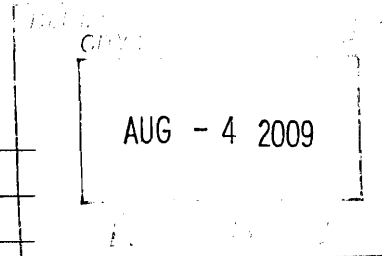
OWNER/APPLICANT

Name: JONATHAN MORRILL
Address: 67 GRAY ST.
PORTLAND, ME
Zip Code: 04102
Work #: -
Cell #: 828-1059
Fax #: -
Home #: -
E-mail: JON.MORRILL@GMAIL.COM

AUG 27 2009

CONSULTANT/AGENT

Name: _____
Address: _____
Zip Code: _____
Work #: _____
Cell #: _____
Fax #: _____
Home #: _____
E-mail: _____



RECEIVED

AUG 13 2009

City of Portland
Planning Division

Criteria for Exemptions:

(See Section 14-523 (4) on page 2 of this application)

	Applicant's Assessment Y(yes), N(no), N/A	Planning Division Use Only
a) Is the proposal within existing structures?	<u>NO</u>	<u>no</u>
b) Are there any new buildings, additions, or demolitions?	<u>YES</u>	<u>yes</u>
c) Is the footprint increase less than 500 sq. ft.?	<u>YES</u>	<u>yes</u>
d) Are there any new curb cuts, driveways or parking areas?	<u>NO</u>	<u>no</u>
e) Are the curbs and sidewalks in sound condition?	<u>YES</u>	<u>yes</u>
f) Do the curbs and sidewalks comply with ADA?	<u>YES</u> } <u>N/A?</u>	<u>yes</u>
g) Is there any additional parking?	<u>N/A</u>	<u>no</u>
h) Is there an increase in traffic?	<u>N/A</u>	<u>no</u>
i) Are there any known stormwater problems?	<u>N/A</u>	<u>yes</u>
j) Does sufficient property screening exist?	<u>N/A</u>	<u>yes</u>
k) Are there adequate utilities?	<u>N/A</u>	<u>yes</u>

Planning Division Use Only Exemption Granted with a condition Partial Exemption Exemption Denied

This is in an historic district and was reviewed and approved by Deb Andrews. The applicant shall obtain all applicable building permits.

Planner's Signature Barbara Barbydt Date Aug 19, 2009

PROVISION OF PORTLAND CITY CODE
14-523 (SITE PLAN ORDINANCE)
RE: EXEMPTIONS FROM SITE PLAN REVIEW

Sec. 14-523. Approval required.

No person shall undertake any development without obtaining approval therefore under this article.

- (4) The Planning authority shall exempt from review under all standards in this article developments that meet all of the following requirements:
- a. The proposed development will be located within existing structures, and there will be no new buildings, demolitions, or building additions other than those permitted by subsection b of this section;
 - b. Any building addition shall have a new building footprint expansion of less than five hundred (500) square feet;
 - c. The proposed site plan does not add any new curb cuts, driveways, or parking areas; the existing site has no more than one (1) curb cut and will not disrupt the circulation flows and parking on-site; and there will be no drive-through services provided;
 - d. The curbs and sidewalks adjacent to the lot are complete and in sound condition, as determined by the public works authority, with granite curb with at least four (4) inch reveal, and sidewalks are in good repair with uniform material and level surface and meet accessibility requirements of the Americans with Disabilities Act;
 - e. The use does not require additional or reduce existing parking, either on or off the site, and the project does not significantly increase traffic generation;
 - f. There are no known stormwater impacts from the proposed use or any existing deficient conditions of stormwater management on the site;
 - g. There are no evident deficiencies in existing screening from adjoining properties; and
 - h. Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way.

A developer claiming exemption under this subsection shall submit a written request for exemption stating that the proposed meets all of the provisions in standards a-h of this subsection, including an itemized statement by a qualified professional. Upon receipt of such a request, the planning authority will visit the site to verify that the exemption is applicable due to compliance with the standards. The planning authority, after consultation with the public works authority, shall render a written decision within twenty (20) working days after receipt of a written request for exemption that contains all the information required by this subsection. If a full exemption is granted, the application shall be approved without further review under this article, and no performance guarantee shall be required. The planning authority may require full site plan review of a project that meets the criteria of this subsection if it determined that there is a substantial public interest in the project.

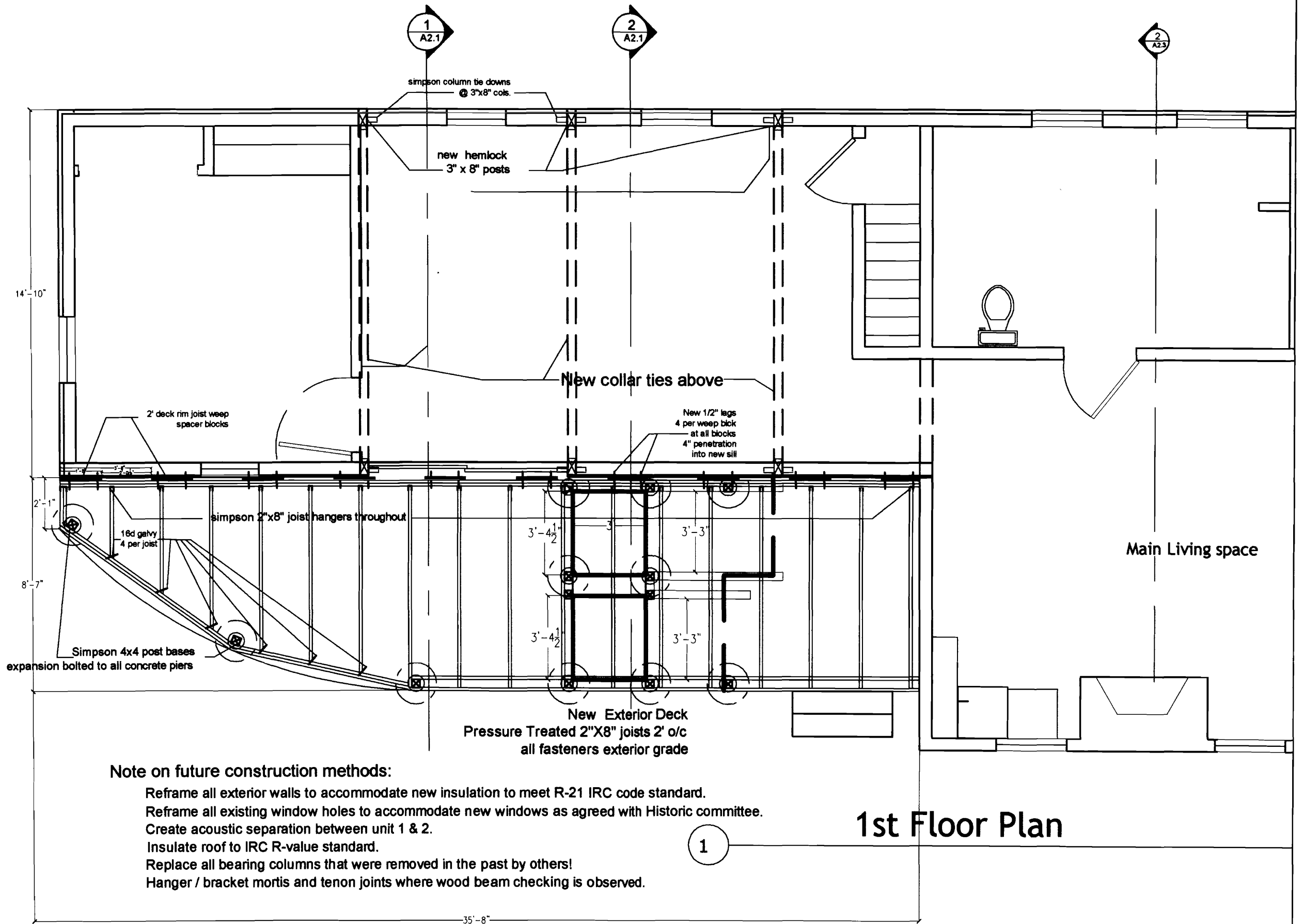
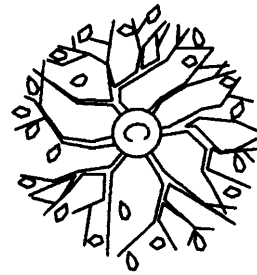
In the event that the planning authority determines that standards a and b of this subsection and at least four (4) of the remaining standards have been met, the planning authority shall review the site plan under the review standards in section 14-526 that are affected by the standards in this subsection that have not been met. An application that receives review by the planning board shall receive a complete review under the standards of section 14-526. The planning authority shall notify an applicant in writing that full or partial site plan review is required, the reasons for the decision, and the information that will be required for site plan review.

IMPORTANT NOTICE TO APPLICANT

An Exemption from site plan review does not exempt this proposal from other approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (874-8703), to determine what other City permits, such as a building permit, will be required.

Planning Barbara Barhydt
August 19, 2009
Exemption for 67 Gray Street

This is in an historic district and was reviewed and approved by Deb Andrews. The exemption is granted with the condition that the applicant shall obtain all applicable building permits.



Note on future construction methods:

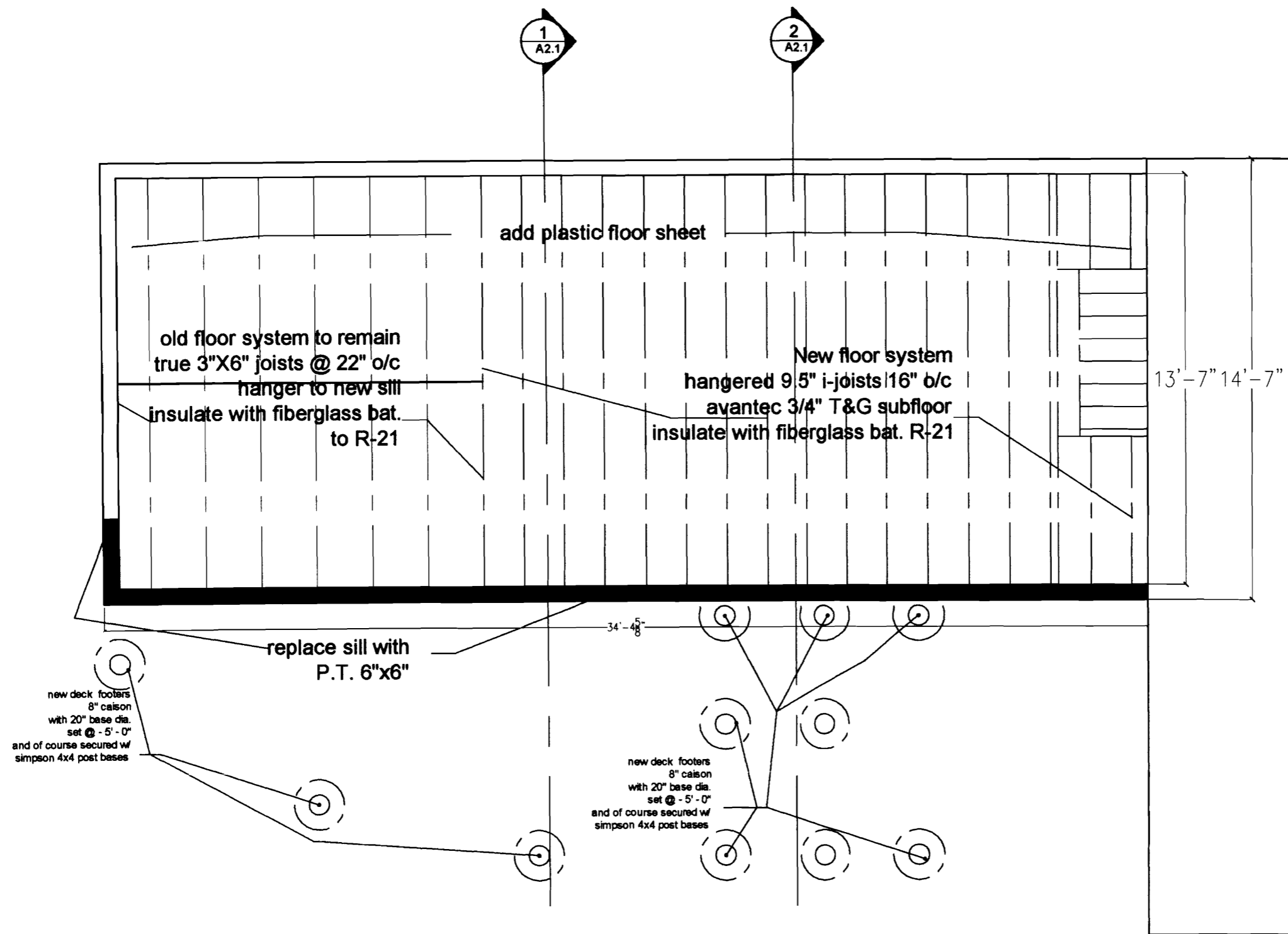
- Reframe all exterior walls to accommodate new insulation to meet R-21 IRC code standard.
- Reframe all existing window holes to accommodate new windows as agreed with Historic committee.
- Create acoustic separation between unit 1 & 2.
- Insulate roof to IRC R-value standard.
- Replace all bearing columns that were removed in the past by others!
- Hanger / bracket mortis and tenon joints where wood beam checking is observed.

1st Floor Plan

67 Gray Street
Morrill Residence
 Portland, Maine

Gregory Vision
 architectural design
 tel. 877.748.0000
 www.gregoryvision.com
 info@gregoryvision.com

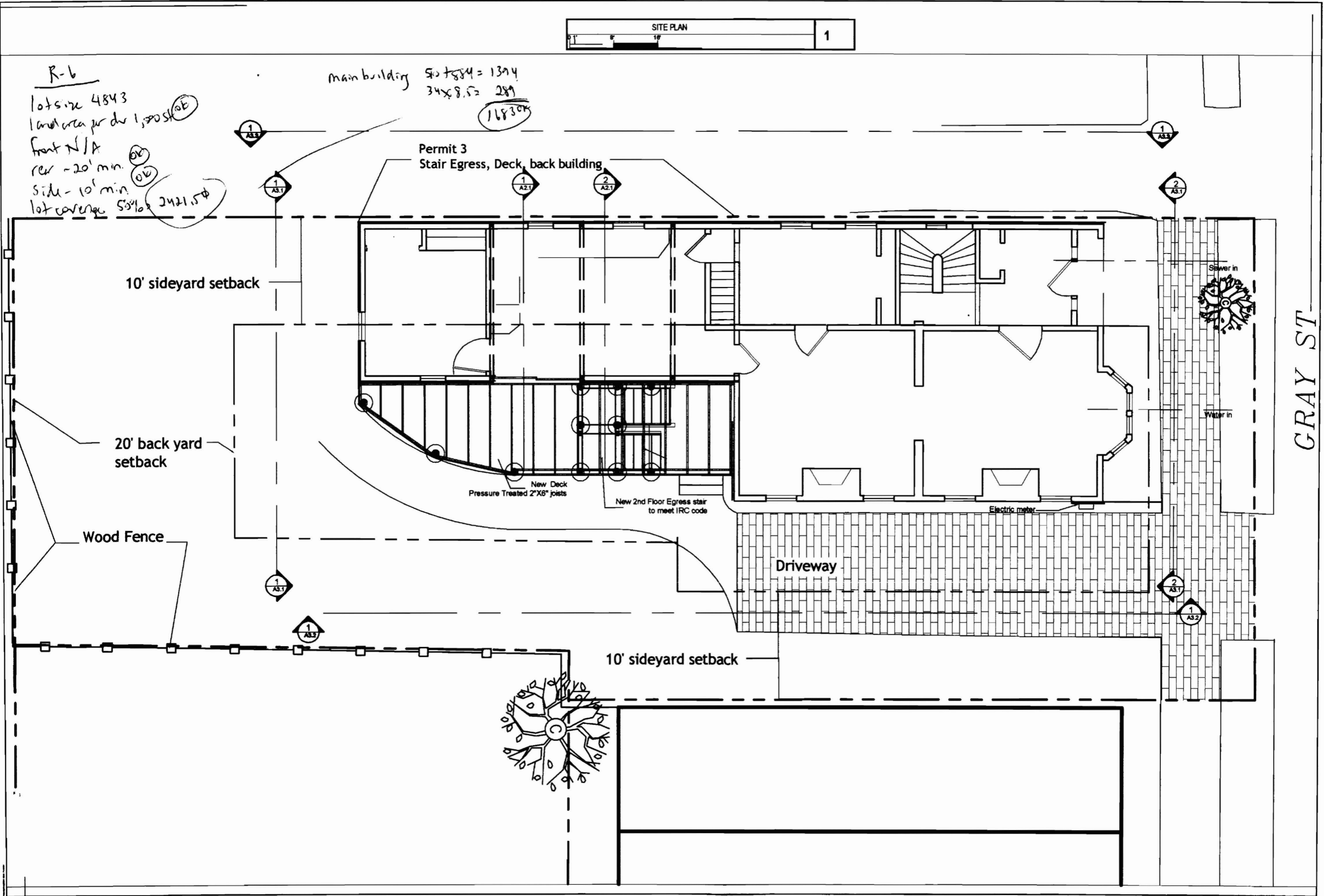
Title
 Proposed stair framing/footer plan
 Permit set 3
 BY MPell
 Date July, 2009
 Scale 1/4" = 1'-0"
 Number
A1
 Project



1 First floor plan floor system/deck caissons

R-6
 lot size 4843
 land area per dw 1,300 sq ft
 front N/A
 rear - 20' min.
 side - 10' min.
 lot coverage 55% 2421.5 sq ft

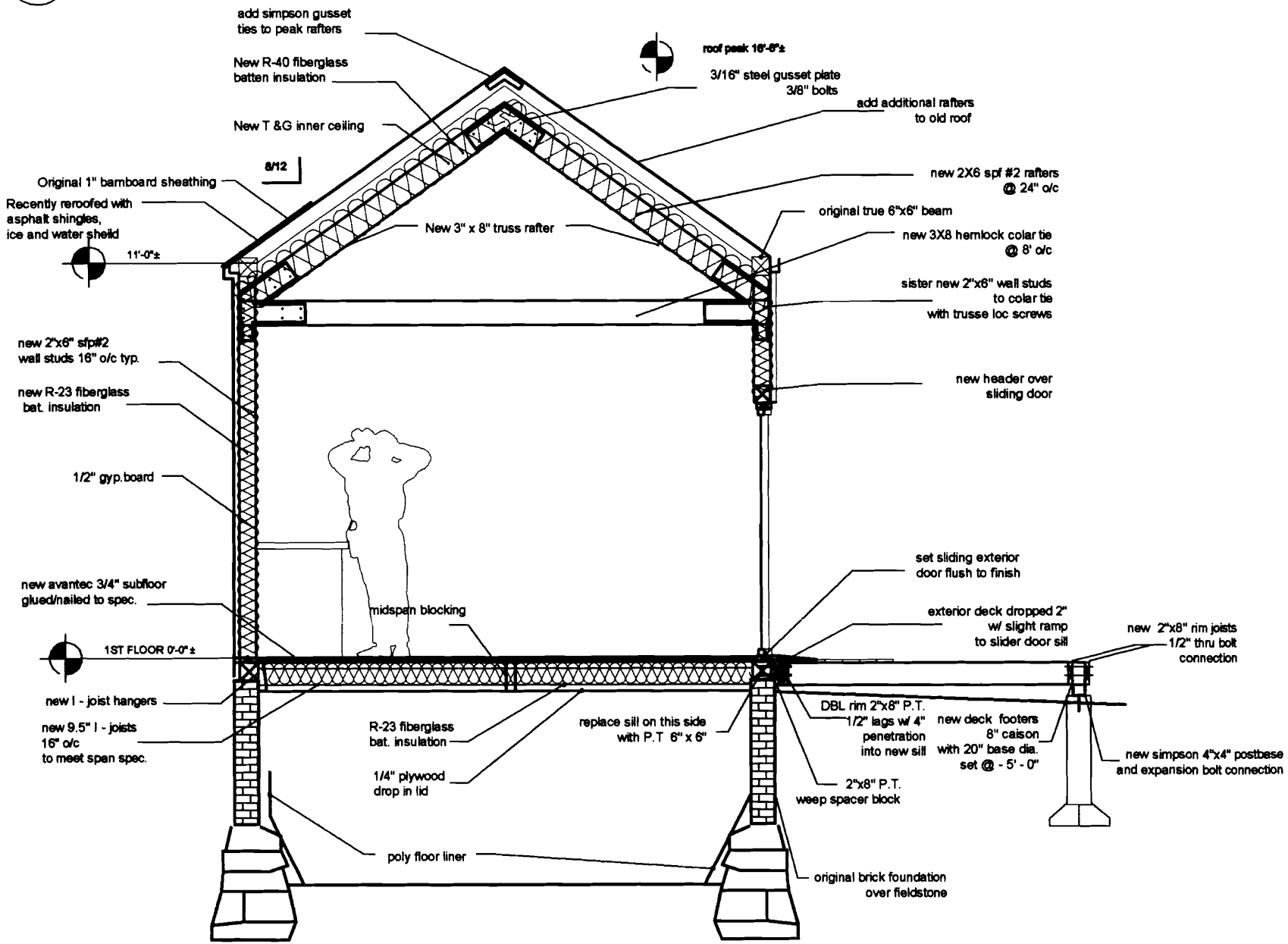
main building $50 \times 884 = 1394$
 $34 \times 8.52 = 289$
 1683 sq ft



GRAY ST

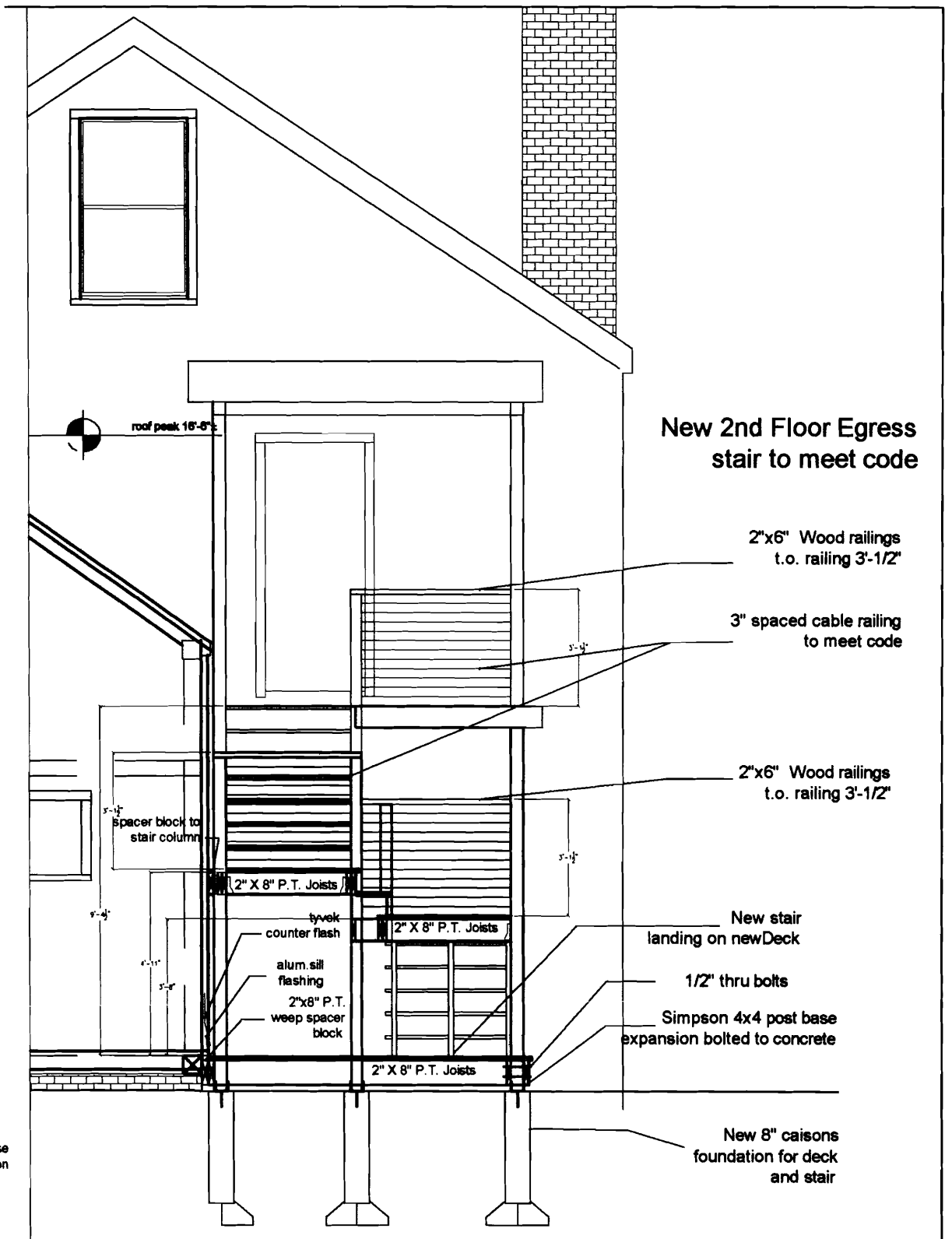
1

section 1st floor kitchen



2

section thru stair



GreenoVision
 architectural design
 Tel: 207 - 740 - 8008
 www.greenovision.com
 mark@greenovision.com

87 Gray Street
Morrill Residence
 Portland, Maine

Title
 SECTIONS

Permit set 3
 by MPell
 date July, 2000
 scale 1/4" = 1'-0"
 number

A2.1

Project

2nd Fl
Landing

DWN
↓

trus loc ext grade
screws to stringer

2"x12" P.T. stringers
3 per stair run

existing deck joists

new 4"x10" hemlock beam to
take place of existing wall
joist sit on top

1"x4" decking

2"x12" P.T. stringers
3 per stair run

4"x4" P.T. cols.
2 thru bolts @1/2" dia.

note: all lag screws to be exterior grade
trus loc type

Framing plan of New exterior stair

2

new space block to wall

5'-1"

4'-2"

4'-4"

3'-3"

3'-3"

simpson dbl. 2"x8"
hanger flushset type

run stringers long to
sister to landing joists

simpson 2"x8"
joist hanger

3'

3'

simpson 2"x8"
joist hanger

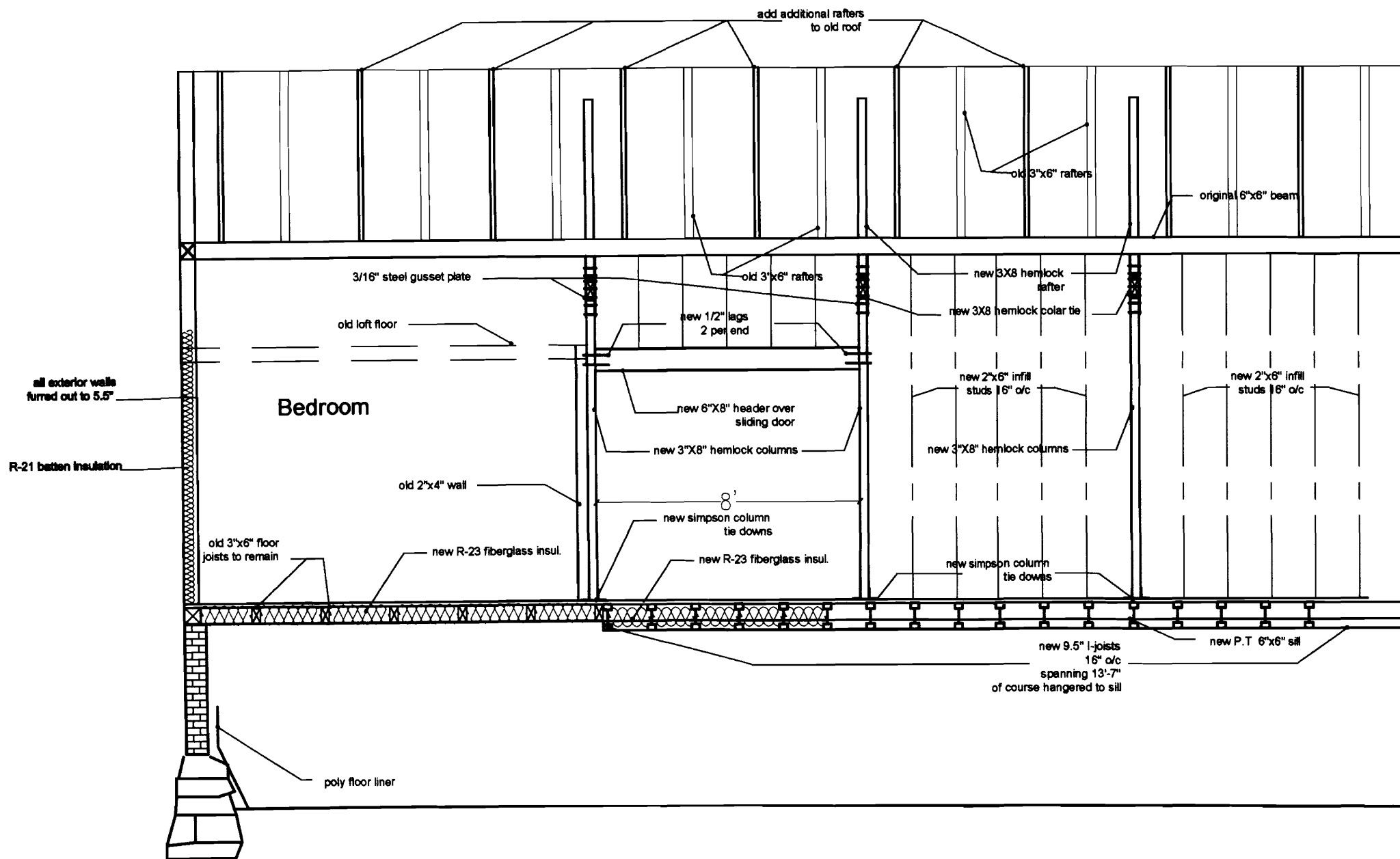
simpson dbl. 2"x8"
hanger flushset type

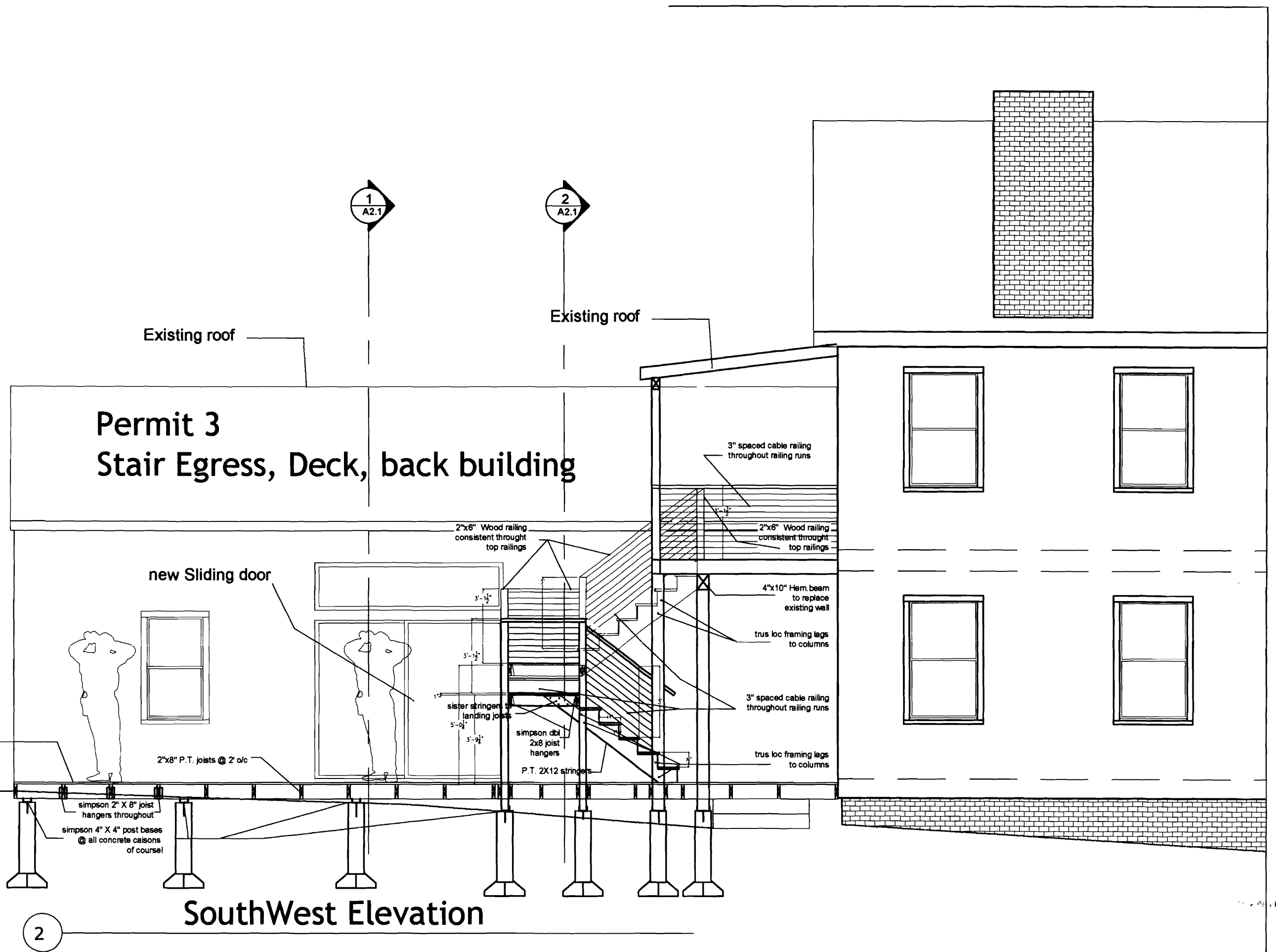
new space block to wall

single step

simpson dbl. 2"x8"
hanger flushset type

4'



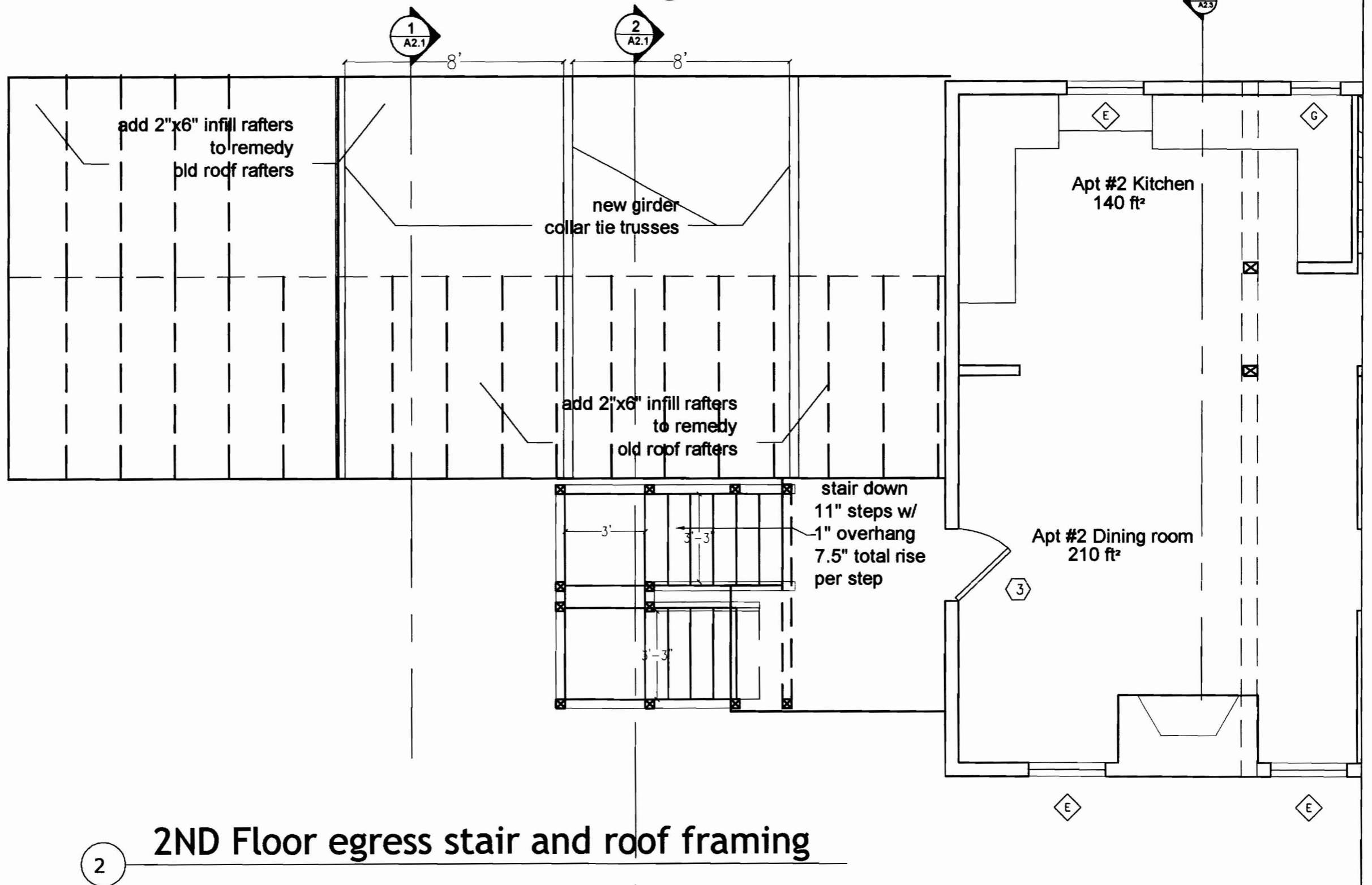


**Permit 3
Stair Egress, Deck, back building**

SouthWest Elevation

Permit Phase 3
Back Portion of Building

Interior
/struc



2ND Floor egress stair and roof framing