

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

Permit Number: 090704

Please Read Application And Notes, If Any, Attached

This is to certify that Morrill Jonathan H & /self has permission to Repair and replacement of windows and doors AT 67 Gray St

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or otherwise used-in. 2 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Health Dept. Appeal Board Other

Approval stamp: JUL 26 2009 CITY OF PORTLAND

Signature: Thomas M. ... 7/28/09 Director Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0704	Issue Date:	CBL: 045 F015001
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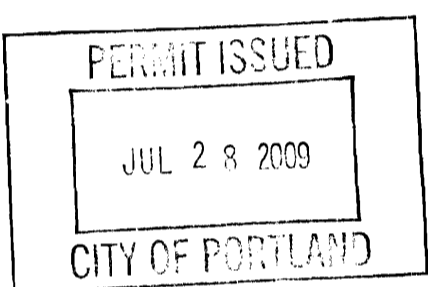
Location of Construction: 67 Gray St	Owner Name: Morrill Jonathan H &	Owner Address: 67 Gray St	Phone: 207-828-1059
Business Name:	Contractor Name: self	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Duplex	Zone: R-6

Past Use: Two Family	Proposed Use: Two Family / Repair and replacement of windows and doors. <i>legature - 2 d.v.</i>	Permit Fee: \$160.00	Cost of Work: \$14,000.00	CEO District: 2
Proposed Project Description: Repair and replacement of windows and doors.		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>R3</i> Type: <i>SB</i> <i>IRC 2003</i>	
		Signature:	Signature: <i>Am 7/29/09</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
		Signature: _____ Date: _____		

Permit Taken By: gg	Date Applied For: 07/07/2009	Zoning Approval
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK w/ conditions</i> Date: <i>7/8/09 ABU</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <i>yes</i> <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>7/23/09 SEH</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X **Final inspection required at completion of work.**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

 X 

Signature of Applicant/Designee

 7.28.09

Date

Signature of Inspections Official

Date



General Building Permit Application

09 0704

If you or the property owner owns real estate or personal property taxes or uses charged on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 67 GRAY ST.		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 045 F 015	Applicant *must be owner, Lessee or Buyer* Name JONATHAN MORRILL Address 67 GRAY ST. City, State & Zip PORTLAND 04102	Telephone: 828-1059
Lessee/DBA (If Applicable) JUL 7 2009	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ 14,000 C of O Fee: \$ Total Fee: \$ 160
Current legal use (i.e. single family) <u>2 FAMILY</u> Number of Residential Units <u>2</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>2 Family</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: REPLACEMENT AND REPAIR OF WINDOWS & DOORS AS PER DRAWINGS		
Contractor's name: <u>OWNER - JONATHAN MORRILL</u> Address: <u>AS ABOVE</u> City, State & Zip _____ Telephone: _____ XX Who should we contact when the permit is ready: <u>JONATHAN MORRILL</u> Telephone: <u>828-1059</u> Call Mailing address: <u>67 GRAY ST. PORTLAND ME 04102</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: *[Signature]* Date: **7-8-09**

This is not a permit; you may not commence ANY work until the permit is issued.

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 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

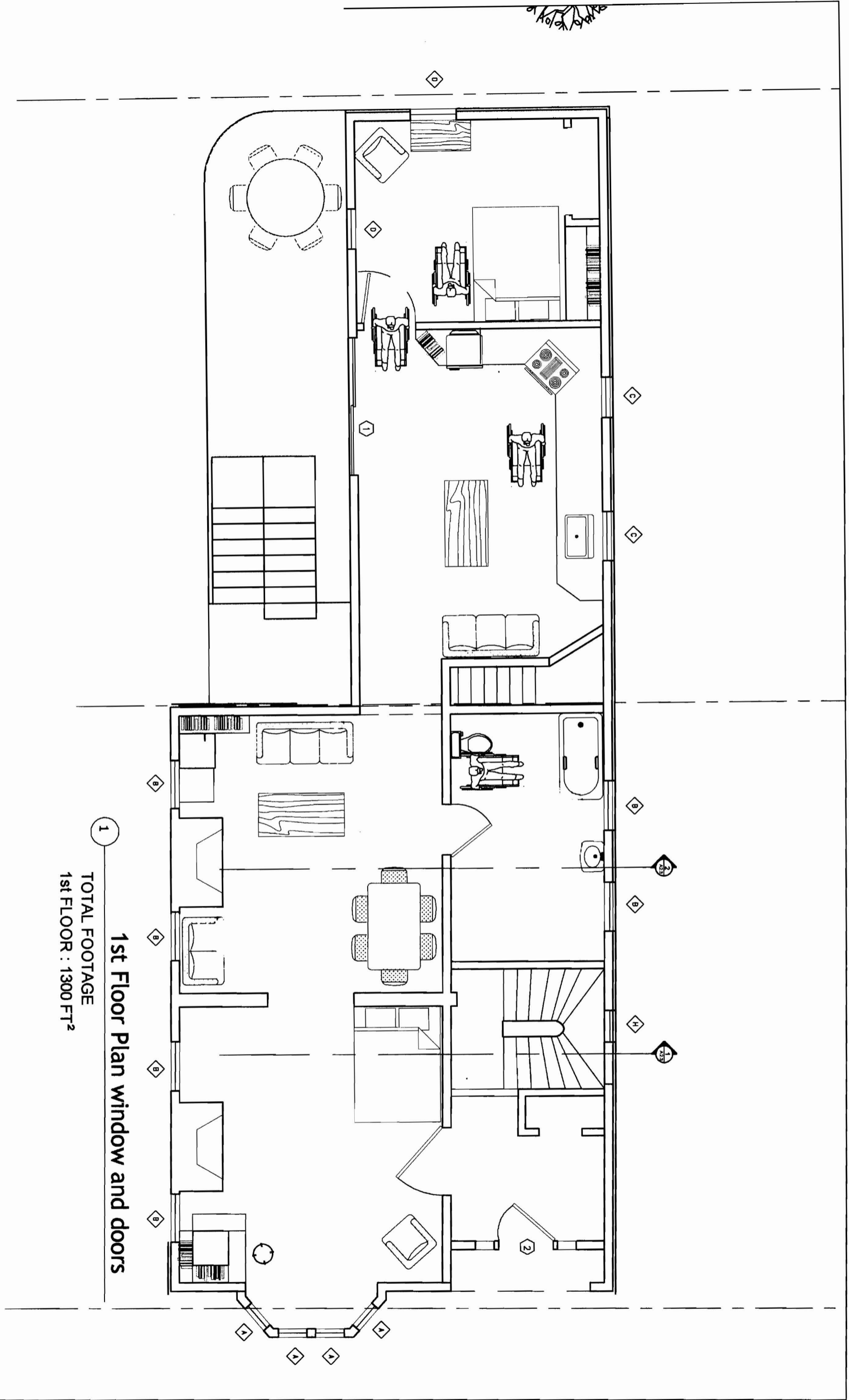
Permit No: 09-0704	Date Applied For: 07/07/2009	CBL: 045 F015001
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Business Name:	Contractor Name: self	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Duplex	

Proposed Use: Two Family / Repair and replacement of windows and doors.	Proposed Project Description: Repair and replacement of windows and doors.
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Dept: Historic	Status: Approved with Conditions	Reviewer: Scott Hanson	Approval Date: 07/23/2009
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) Approval is subject to inspection upon completion of work. 2) A sample of the exterior moldings need to be approved by Historic Preservation staff before installation. 3) New windows sash are to be painted black in order to minimize the visual impact of the wider muntins.			
Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 07/08/2009
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District. 2) This property shall remain a two family dwelling. Any change of use shall require a separate permit application for review and approval. 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			
Dept: Building	Status: Approved with Conditions	Reviewer: Tom Markley	Approval Date: 07/28/2009
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.			

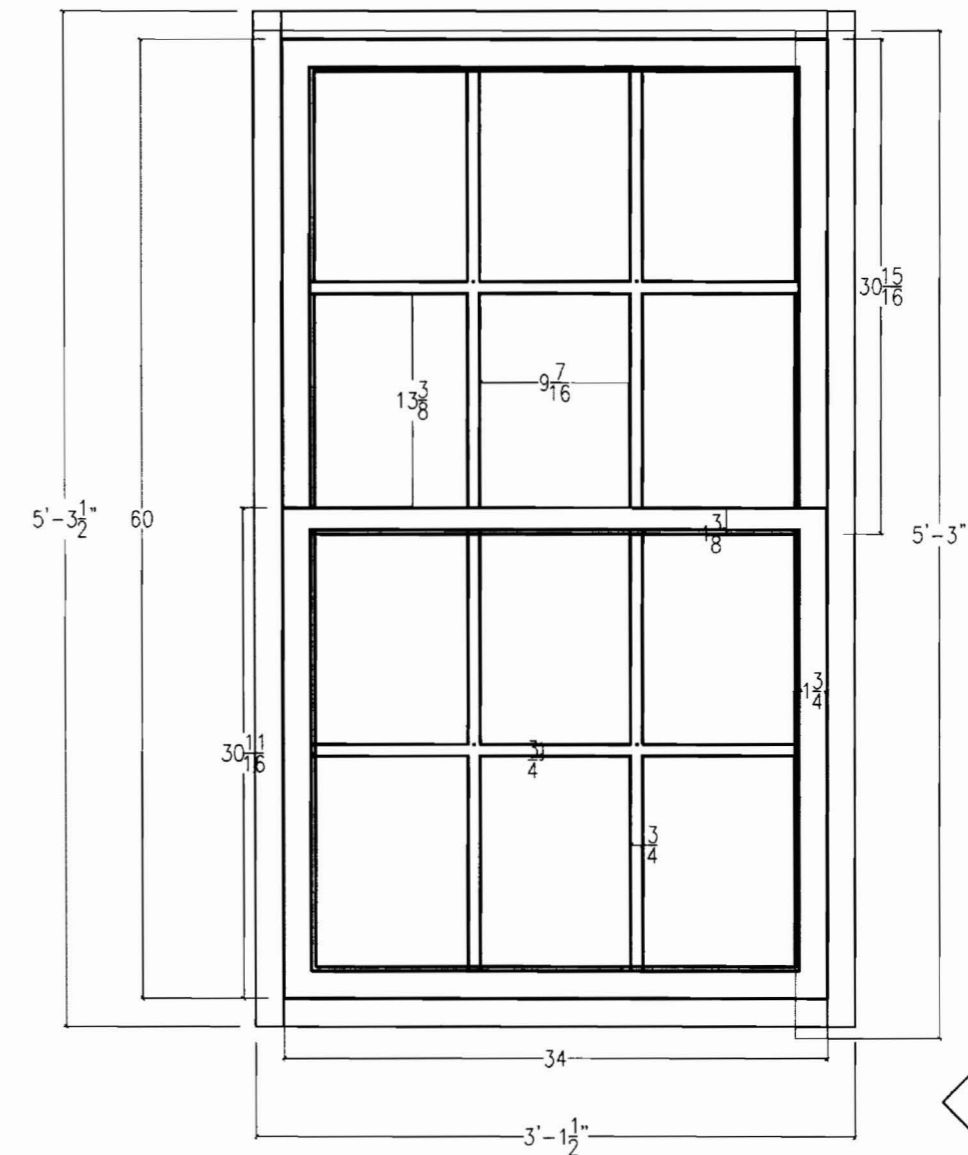
Comments:
 7/27/2009-smh: received permit from historic on 07/26/09. /gg

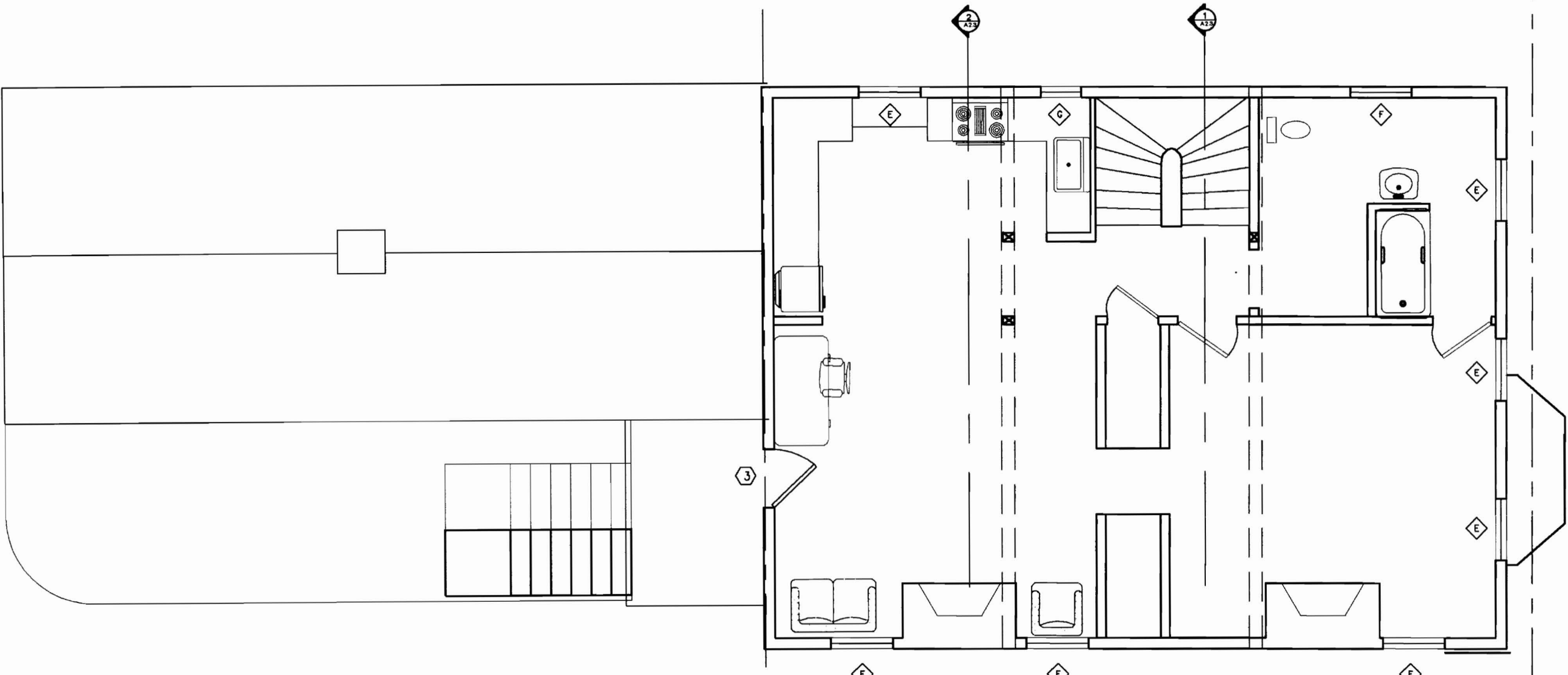


1
1st Floor Plan window and doors
 TOTAL FOOTAGE
 1st FLOOR : 1300 FT²

Window and Door replacement schedule 1st floor

window type	how many	description	remedy
$\diamond A$	4	Front Bay windows double hungs, no muntins	Save original, reglaze, repaint, new storms as agreed with Deb Andrews
$\diamond B$	6	double hungs, 6 X 6 pane sashes, see drawing	New window, frame, sill, casing, to match original by Northstar Woodworking as agreed with Deb Andrews
$\diamond C$	2	double hungs, 6 X 6 pane sashes, see drawing	New window, frame, sill, casing, to match original by Northstar Woodworking as agreed with Deb Andrews
$\diamond D$	2	To be decided one of the two must meet egress	New window, frame, sill, casing, by other, no match required (back of building) as agreed with Deb Andrews
$\diamond H$	1	original stained glass	save and replace exterior storm as agreed with Deb Andrews
$\diamond 2$	1	original front door with side lights	save and replace exterior storm replacement at later date as agreed with Deb Andrews
$\diamond 2$	1	New sliding door, to be decided	New sliding door by other, no match required (back of building) as agreed with Deb Andrews





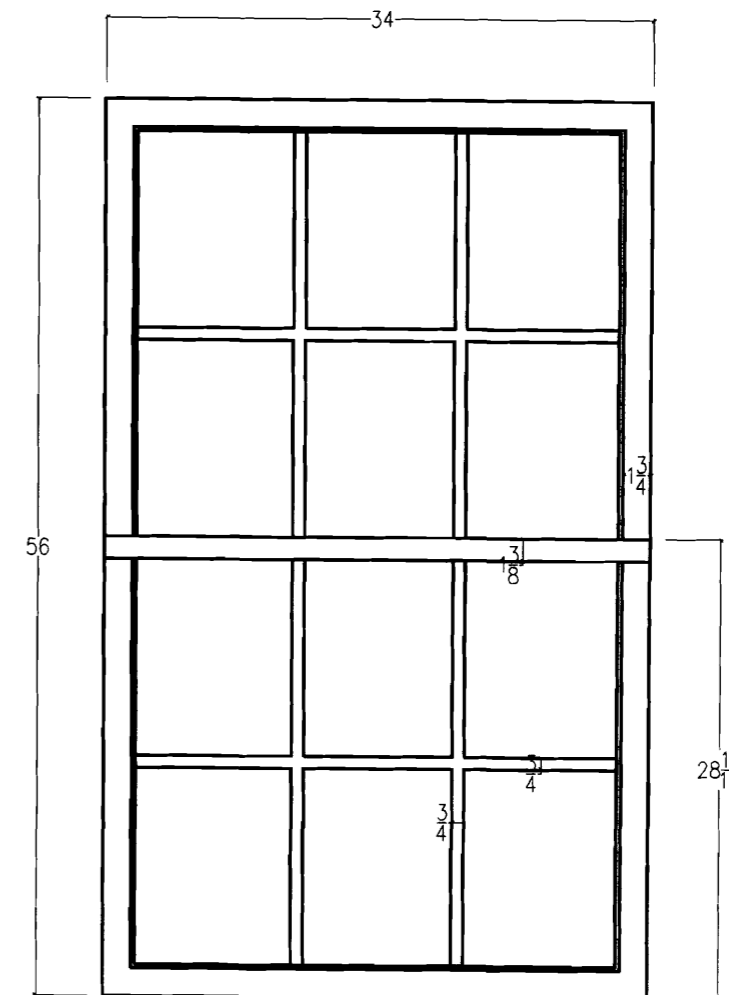
2

2ND Floor window and door Plan
 TOTAL FOOTAGE
 2nd FLOOR : 810 FT²

Window and Door replacement schedule

2nd floor

window type	how many	description	remedy
⬡ E	7	double hungs, 6 X 6 pane sashes, see drawing	New window, frame, sill, casing, to match original by Northstar Woodworking as agreed with Deb Andrews
⬡ F	1	double hungs, 6 X 6 pane sashes, see drawing	New window, frame, sill, casing, to match original by Northstar Woodworking as agreed with Deb Andrews
⬡ G	1	casement	New window, frame, sill, casing, to match original by Northstar Woodworking as agreed with Deb Andrews
⬡ 3	1	new 3'-0" X 6'-8" exterior door	new 2nd floor egress door no match required (back of building) as agreed with Deb Andrews



Window replacement schedule

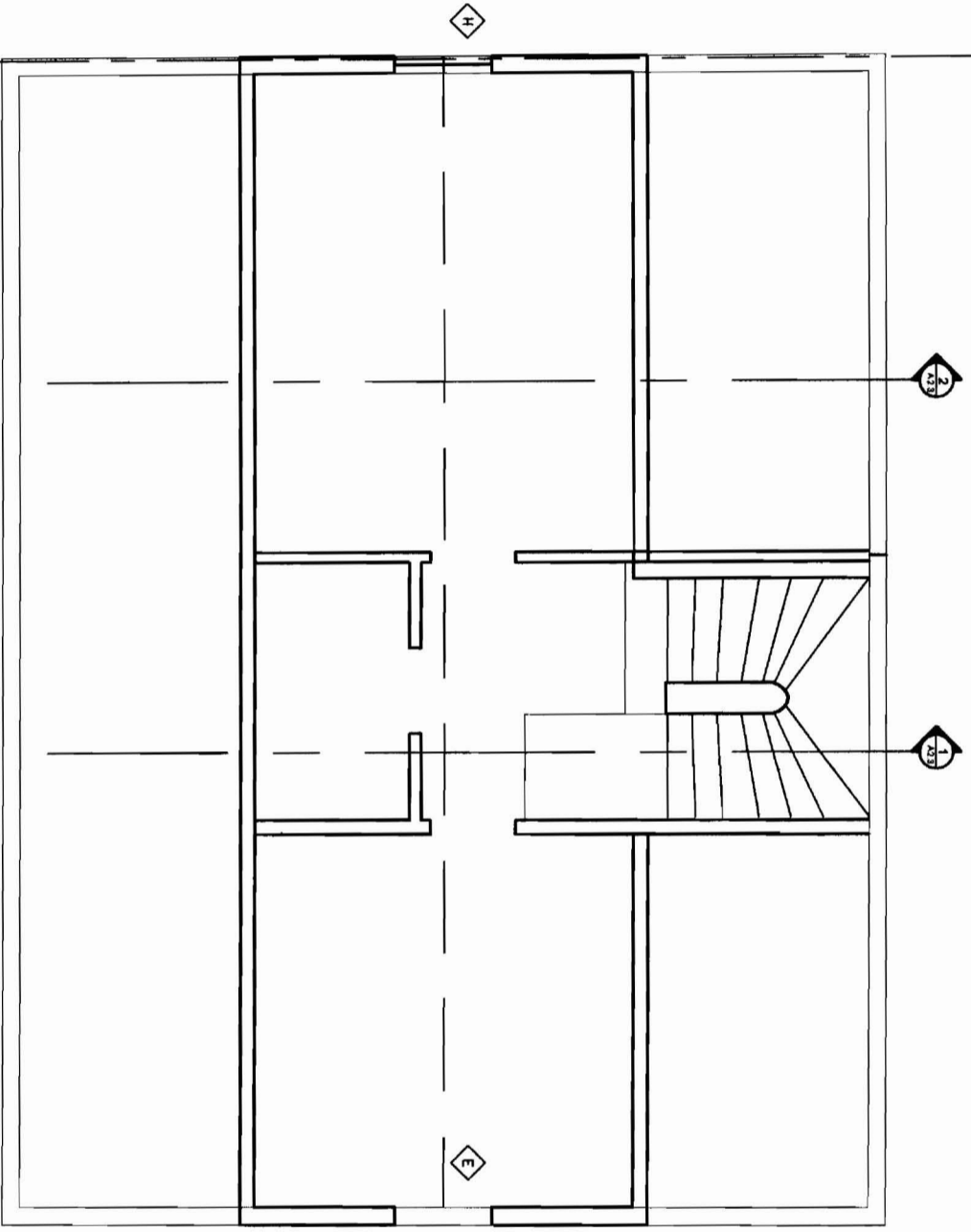
3rd floor

window type	how many	description	remedy
⬡ E	1	double hungs, 6 X 6 pane sashes, to meet egress see drawing	New window, frame, sill, casing, to match original by Northstar Woodworking as agreed with Deb Andrews
⬡ H	1	new double hung to meet egress	New window to meet egress no match required (back of building) as agreed with Deb Andrews

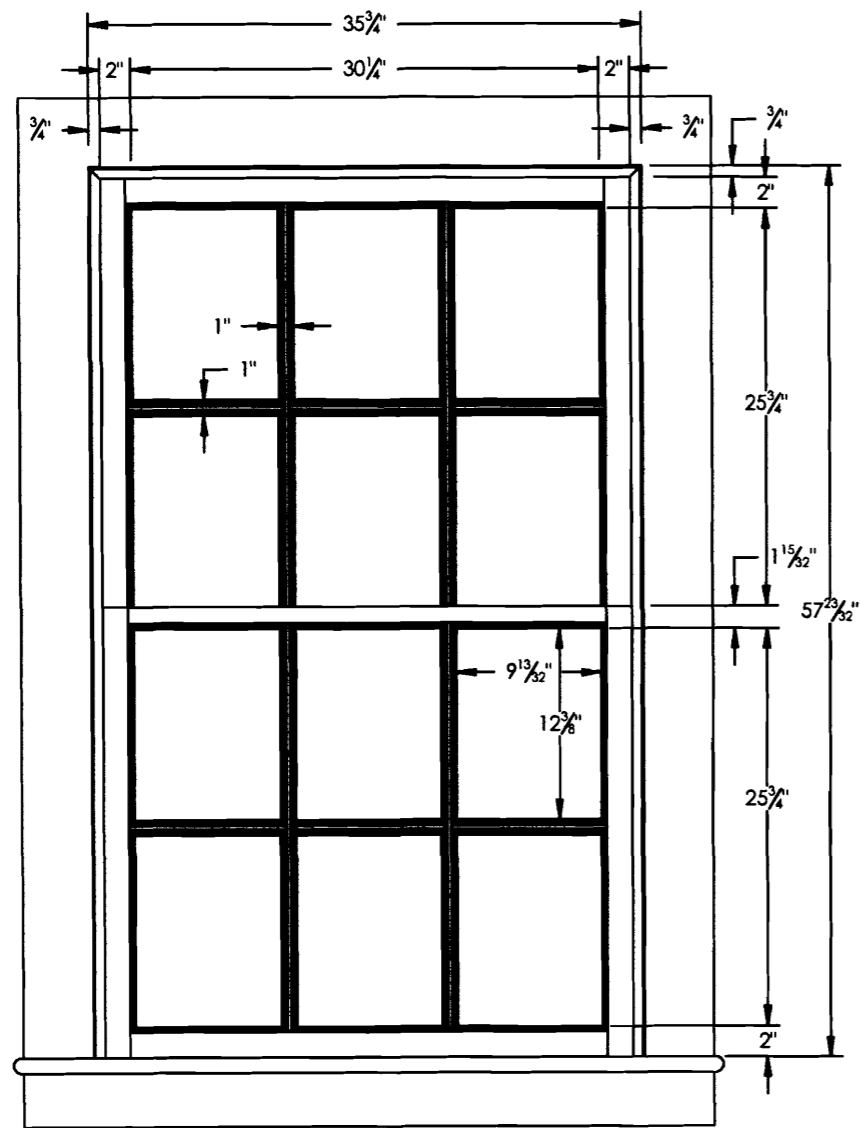
GreenoVision
 architectural design
 101. 287. 748. 8008
 www.greenovision.com
 mark@greenovision.com

67 Grey Street
Morrill Residence
 Portland, Maine

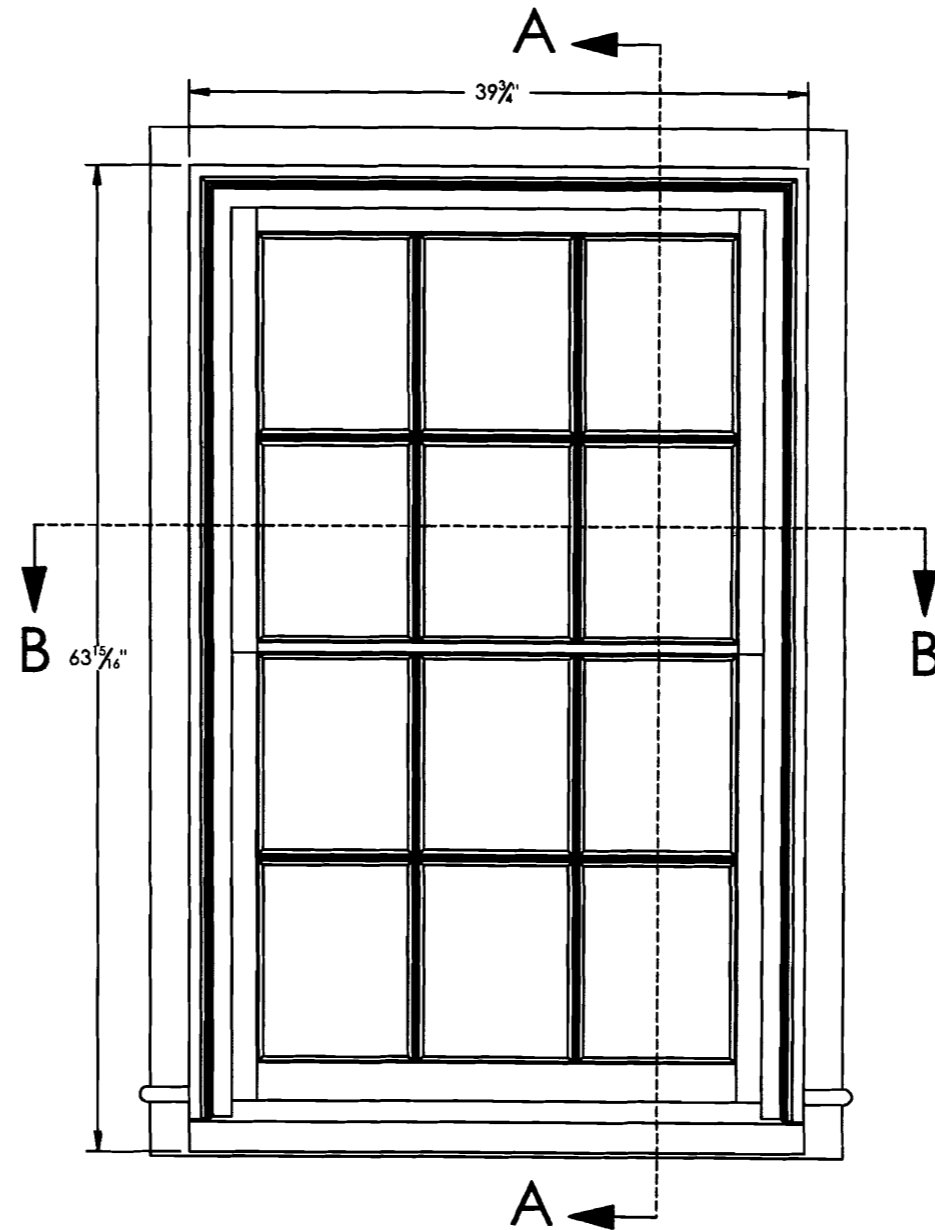
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 Window schedule #2
 Permit set 2
 by MPell
 date July, 2008
 scale none
 number
W2
 project



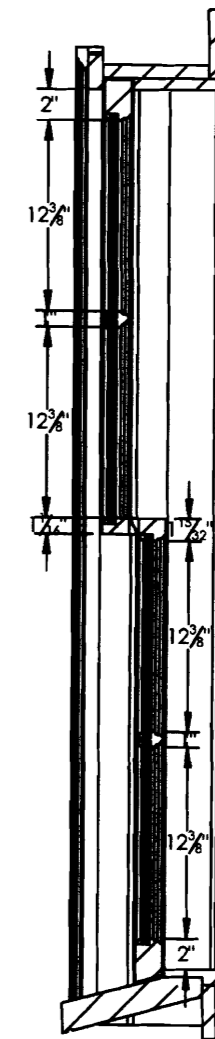
3
3RD Floor window Plan



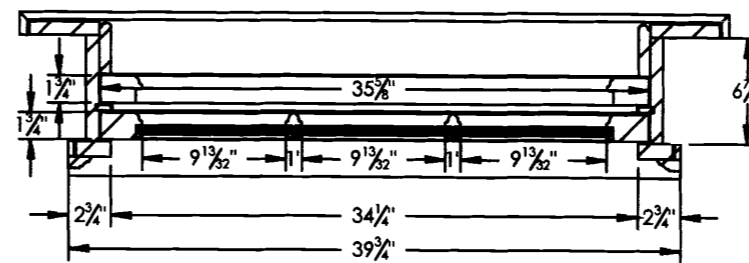
INSIDE



OUTSIDE



SECTION A-A



SECTION B-B

SCALE: 1" = 1'0"

67 GRAY STREET
 SECOND AND THIRD FLOOR WINDOWS
 7/1/09