

DEVELOPMENT REVIEW COORDINATOR
POST APPROVAL PROJECT CHECKLIST

Date: 7/5/18

Project Name: One Joy Place - 12 condos new build

Project Address: one Joy Place off of Brackett St west end

Site Plan ID Number: # 2017-103, #2017-128

Planning Board/Authority Approval Date: 9-26-2017

Site Plan Approval Date: _____

Performance Guarantee Accepted: 4-12-2018

Inspection Fee Paid: 4-12-2018 (3,432.80)

} in UI

Infrastructure Contributions Paid:

needs to pay Street Tree contribution prior to CO

Amount of Disturbed Area in SF or Acres:

} _____

MCGP/Chapter 500 Stormwater PBR:

} see SP review.

Plans/CADD Drawings Submitted:

given to Phil in March paper, at-scale

Pre-Construction Meeting:

Tuck O'Brien attended this - agreed one amendment (see attached + note on plan)
re tree

Conditions of Approval Met: are tracked in UI for this project.

As-Builts Submitted:

Public Services Sign Off:

Certificate of Occupancy Memo Processed:
(Temporary or Permanent)

Performance Guarantee to Defect Guarantee:

Defect Guarantee Released:

Todd Alexander is developer/coordinator.

CITY OF PORTLAND, MAINE

PLANNING BOARD

Elizabeth Boepple, Chair
Sean Dundon, Vice Chair
David Eaton
Brandon Mazer
Carol Morrisette
Maggie Stanley
Lisa Whited

October 11, 2017

Onejoy Place LLC
Attention: Todd Alexander
c/o Renewable Housing Associates LLC
2 Union Street, 5th floor
Portland, ME 04101

Michael Tadema-Wielandt, PE
Terradyn Consultants, LLC
565 Congress Street, Suite 310
Portland, ME 04101

Project Name: Onejoy Place Condominium - Twelve Unit Residential Building
Project ID: 2017-103 (Subdivision and Site Plan)
2017-128 (Conditional Use Inclusionary Zoning)
Address: 1 Joy Place CBL: 045 E049001
Applicant: Onejoy Place LLC
Planner: Jean Fraser

Dear Mr. Alexander:

On September 26, 2017, the Planning Board approved the construction of a three story twelve-unit residential building at 1 Joy Place, a short private street located between 157 and 165 Brackett Street. The Planning Board reviewed the proposal for conformance with the standards of the Inclusionary Zoning, Subdivision and Site Plan Ordinances, as well as the B-1 Commercial Business Zone Standards. The Planning Board voted unanimously 6-0 (Boepple absent) to approve the application with the following waivers and conditions as presented below.

A. WAIVERS

On the basis of the application, plans, reports and other information submitted by the applicant; findings and recommendations contained in the Planning Board report for the public hearing on September 26, 2017 for application 2017-103 relevant to Portland's technical and design standards and other regulations; and the testimony presented at the Planning Board hearing:

1. The Planning Board voted unanimously 6-0 (Boepple absent) that it finds, based upon the consulting Traffic Engineer's review (Attachment 1), that extraordinary conditions exist or undue hardship may result from strict compliance with the Technical Manual Section 1.7.2.7 *Location and spacing of driveways*. The Planning Board waives the *Technical Manual* standard (Technical Manual Section 1.7.2.7) to allow the existing condition to remain, as supported by the Traffic Engineering reviewer.
2. The Planning Board voted unanimously 6-0 (Boepple absent) that it finds, based on the need to address CPTED requirements through improved lighting along the south boundary, that extraordinary conditions exist or undue hardship may result from strict compliance with the Technical Manual Section 12.2.5 *Light Trespass*. The Planning Board waives the *Technical Manual* standard (Technical Manual Section 12.2.5) to allow limited light trespass from the bollard lighting at this location, subject to the revised photometric being reviewed and approved by the Planning Authority.

B. INCLUSIONARY ZONING – CONDITIONAL USE

On the basis of the application, plans, reports and other information submitted by the applicant; findings and recommendations contained in the Planning Board Report for the public hearing on September 26, 2017 for application 2017-128 (One Joy Place) relevant to the Conditional Use as authorized by Division 30, Section 14-487 Ensuring Workforce Housing; and the testimony presented at the Planning Board hearing:

The Planning Board voted unanimously 6-0 (Boepple absent) that it finds that the Conditional Use is in conformance with the standards of the land use code and approves the application, subject to the following conditions of approval:

- i. Provided the Applicant and the City enter into an Affordable Housing Agreement (AHA) before a Building Permit may be issued.
- ii. The AHA will outline the details of the affordability restrictions placed on the workforce units and will be filed as a covenant to the One Joy Place property's deed with the Cumberland County Registry of Deeds before a Certificate of Occupancy may be issued.

C. SUBDIVISION

On the basis of the application, plans, reports and other information submitted by the applicant; findings and recommendations contained in the Planning Board report for the public hearing on September 26, 2017 for application 2017-103 (One Joy Place) relevant to the subdivision regulations; and the testimony presented at the Planning Board hearing:

The Planning Board voted unanimously 6-0 (Boepple absent) that it finds that the plan is in conformance with the subdivision standards of the land use code and approves the application, subject to the following conditions of approval, which must be met prior to the signing of the plat:

- i. The applicant shall submit a final subdivision plat for review and approval by Corporation Counsel, the Department of Public Works, and the Planning Authority; and
- ii. The final subdivision plat shall address the comments from Bill Scott, DPW Surveyor, dated 9.20.2017; and
- iii. The subdivision plat and Condominium Association documents shall include clarification of responsibilities for the maintenance, including snow removal, of Joy Place and associated features such as bollard lights and brick paving; and
- iv. That the Condominium Association documents and related plans shall require that residents do not park in Joy Place except in the designated parking spaces shown on the Plat, and that the On-Site Parking Space # 1 be designated to a specific residential unit and the On-Site Parking Spaces #2 and #3 be designated to a single residential unit; this is required in order to ensure emergency service access and to prevent vehicle blockage issues; and
- v. The Condominium Association documents shall be finalized to the satisfaction of the Associate Corporation Counsel and Planning Authority.

D. SITE PLAN

On the basis of the application, plans, reports and other information submitted by the applicant, findings and recommendations contained in Planning Board report for the public hearing on September 26, 2017 for application 2017-103 (One Joy Place) relevant to the Site Plan Ordinance and other regulations and the testimony presented at the Planning Board hearing:

The Planning Board voted unanimously 6-0 (Boepple absent) that it finds that the plan is in conformance with the site plan standards of the land use code, subject to the following conditions:

- i. That the parking required for the proposed 12 unit residential development has been determined by the Planning Board to be 11 spaces of which 3 spaces are provided on site and 8 spaces shall be provided in the identified off-site locations or equivalent. In the event that the uses change, the parking requirement would need further review by the Planning Board; and
- ii. That the applicant shall work with the City and other abutters of the City's parking lot to clarify rights and responsibilities regarding the two existing cobra lights (located just within Joy Place) and to facilitate replacement lighting for the abutting parking lot, with the removal of the cobra lights to be deferred until replacement lighting (or temporary replacement lighting) has been installed; and
- iii. That the Construction Management Plan shall be revised for review and approval by the Planning Authority and the Department of Public Works prior to the issuance of a building permit, to minimize impacts on the sidewalks and provide details to address the comments from the Traffic Engineer reviewer dated 9.21.2017 and from the DPW Senior Engineer dated 9.22.2017; and
- iv. That the photometric plan shall be revised for review and approval by the Planning Authority prior to the issuance of a building permit, to show adequate lighting in the vicinity of the three on-site parking spaces and confirm the specification and photometric characteristics of the revised bollard lighting that has been approved by the Historic Preservation Program Manager; and
- v. That the Landscaping Plan shall be revised, for review and approval by the City Arborist and Planning Authority prior to the issuance of a building permit, to replace the Amur Maple with a species suggested by the City Arborist in his comments dated 9.21.2017; and
- vi. That a plan showing the location and screening of all HVAC/heatpump/compressor and similar equipment shall be submitted for review and approval by the Planning Authority prior to installation, in order to ensure these meet the site plan and zoning standards; and
- vii. That the applicant has demonstrated that site constraints prevent the planting of all of the 12 required street trees (one per unit for multi-family development) in the right-of-way, and therefore the applicant shall contribute \$4400 for eleven street trees to Portland's tree fund, which the City Arborist will target for Brackett/Spring Street and Reiche School area; and
- viii. That the design of the apron and associated sidewalk shall meet Technical Standards and conform to the design detail provided in the final submissions (2% maximum cross-slope); and
- ix. That the Wastewater Capacity letter shall be submitted prior to the issuance of a building permit.

The approval is based on the submitted plans and the findings related to inclusionary zoning, site plan and subdivision review standards as contained in the Planning Report for applications 2017-103 and 2017-128 (attached).

STANDARD CONDITIONS OF APPROVAL

Please note the following standard conditions of approval and requirements for all approved site plans:

1. **Subdivision Recording Plat** A revised recording plat listing all conditions of subdivision approval must be submitted for review and signature prior to the issuance of a performance guarantee. The performance guarantee must be issued prior to the release of the recording plat for recording at the Cumberland County Registry of Deeds.
2. **Subdivision Waivers** Pursuant to 30-A MRSA section 4406(B)(1), any waiver must be specified on the subdivision plan or outlined in a notice and the plan or notice must be recorded in the Cumberland County Registry of Deeds within 90 days of the final subdivision approval.
3. **Develop Site According to Plan** The site shall be developed and maintained as depicted on the site plan and in the written submission of the applicant. Modification of any approved site plan or alteration of a parcel which was the subject of site plan approval after May 20, 1974, shall require the prior approval of a revised site plan by the Planning Board or the Planning Authority pursuant to the terms of Chapter 14, Land Use, of the Portland City Code.

4. **Separate Building Permits Are Required** This approval does not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division.
5. **Site Plan Expiration** The site plan approval will be deemed to have expired unless work has commenced within one (1) year of the approval or within a time period up to three (3) years from the approval date as agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the one (1) year expiration date.
6. **Subdivision Plan Expiration** The subdivision approval is valid for up to three years from the date of Planning Board approval.
7. **Performance Guarantee and Inspection Fees** A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and three (3) final sets of plans must be submitted to and approved by the Planning Division and Public Services Department prior to the release of a subdivision plat for recording at the Cumberland County of Deeds, and prior to the release of a building permit, street opening permit or certificate of occupancy for site plans. If you need to make any modifications to the approved plans, you must submit a revised site plan application for staff review and approval.
8. **Defect Guarantee** A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
9. **Preconstruction Meeting** Prior to the release of a building permit or site construction, a pre-construction meeting shall be held at the project site. This meeting will be held with the contractor, Development Review Coordinator, Public Service's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the Development Review Coordinator will confirm that the contractor is working from the approved site plan. The site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
10. **Department of Public Works Permits** If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)
11. **As-Built Final Plans** Final sets of as-built plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*, dwg), release AutoCAD 2005 or greater.
12. **Mylar Copies** Mylar copies of the as-built drawings for the public streets and other public infrastructure in the subdivision must be submitted to the Public Services Dept. prior to the issuance of a certificate of occupancy.

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. All site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Jean Fraser at 207.874.8728.

Sincerely,



Sean Dundon, Vice Chair
Portland Planning Board

Attachments:

1. Traffic Engineering Review final comments (Tom Errico) 9.21.2017
2. DPW Surveyor final comments (Bill Scott) 9.20.2017
3. DPW Senior Engineer final comments (Keith Gray) 9.22.2017
4. City Arborist final comments (Jeff Tarling) 9.21.2017
5. Planning Board Report for September 26, 2017 PB Hearing
6. Performance Guarantee Packet

Electronic Distribution:

cc: Jeff Levine, AICP, Director of Planning and Urban Development
Tuck O'Brien, City Planning Director
Barbara Barhydt, Development Review Services Manager
Jean Fraser, Planner
Philip DiPierro, Development Review Coordinator, Planning
Mike Russell, Director of Permitting and Inspections
Ann Machado, Zoning Administrator, Inspections Division
Jonathan Rioux, Inspections Division Deputy Director
Jeanie Bourke, Plan Reviewer/CEO, Inspections Division
Chris Branch, Director of Public Works
Katherine Earley, Engineering Services Manager, Public Works
Keith Gray, Senior Engineer, Public Works
Doug Roncarati, Stormwater Coordinator, Public Works
Greg Vining, Associate Engineer, Public Works
Michelle Sweeney, Associate Engineer, Public Works
John Low, Associate Engineer, Public Works
Jane Ward, Administration, Public Services
Rhonda Zazzara, Field Inspection Coordinator, Public Works
Jeff Tarling, City Arborist, Public Works
Jeremiah Bartlett, Public Works
Keith Gautreau, Fire Department
Daniele West-Chuhta, Corporation Counsel
Thomas Errico, P.E., TY Lin Associates
Lauren Swett, P.E., Woodard and Curran
Christopher Huff, Assessor



Jean Fraser <jf@portlandmaine.gov>

One Joy Place - Final Traffic Comments

1 message

Tom Errico <thomas.errico@tylin.com>

Thu, Sep 21, 2017 at 11:43 AM

To: Jean Fraser <jf@portlandmaine.gov>

Cc: "kgray@portlandmaine.gov" <kgray@portlandmaine.gov>, Katherine Earley <kas@portlandmaine.gov>, Jeremiah Bartlett <JBartlett@portlandmaine.gov>, "Swett, Lauren" <lswett@woodardcurran.com>, "Jeff Tarling (JST@portlandmaine.gov)" <JST@portlandmaine.gov>

Hi Jean – The following summarizes my final traffic comments as a status update of prior comments following a review of the application materials.

- The project is not expected to generate a significant amount of traffic and therefore is not expected to create safety or congestion deficiencies. A Traffic Movement Permit is not required.

Status: I have no further comment.

- I find the driveway width of 22.65 feet to be acceptable. The width of the driveway does narrow at the sidewalk to 19 feet. Given low traffic volumes, I find this to be acceptable.

Status: The driveway configuration has changed to 18.5 feet in vehicle travel width and a 5-foot flush sidewalk area. Given low traffic volumes, I find this condition to be acceptable.

- It is my understanding that parking for the abutting property will be provided in the rear of the building and along Joy Place. A parking layout plan shall be provided that illustrates how the three vehicles will park and circulate into and out of the spaces. I'm concerned about the parking area along Joy Place and encroachment into the driveway access/egress area (and ensuring only one parallel vehicle parks).

Status: The applicant has revised the plan and provided information on abutting parking conditions that I find acceptable. I have no further comment.

- I do not recommend backing maneuvers from Joy Place onto Brackett Street and thus the applicant should demonstrate that vehicles can turn around on site.

Status: The applicant has provided vehicle turning template information. The site plan allows for vehicle turnaround maneuvers and therefore I have no further comment.

- The applicant should note how the tandem parking spaces will be managed.

Status: The applicant has provided information on parking management. It is my recommendation that a condition of approval note that On-Site Parking Space # 1 be designated to a specific residential unit and On-Site Parking Spaces #2 and #3 be designated to a single residential unit (to prevent vehicle blockage issues).

- The driveway apron shall be designed to provide a maximum cross-slope of 2 percent along the pedestrian accessibility route.

Status: The applicant has noted in writing that a 2 percent pedestrian accessibility route cannot be provided along Brackett Street in the Joy Place driveway apron area. The applicant has provided a driveway design detail that specifies a maximum cross-slope of 2 percent for the driveway apron. A condition of approval should reinforce the requirement that the driveway apron shall conform to the design detail provided (2% maximum cross-slope).

- The applicant should note if a waiver for driveway separation is required according to the City's Technical Standards.

Status: Joy Place does not meet driveway separation standards. Given that it is an existing condition and low traffic volumes are expected from the project site, I support a waiver from the City's Technical Standards.

- The construction management plan should include details on sidewalk and Brackett Street roadway impacts during utility work. The plan should also provide information on contractor parking, delivery and laydown of materials, and impacts to parking for the abutting building.

Status: The applicant has not provided information on sidewalk closures and roadway impacts. I would suggest that a condition of approval be included that requires provision of the requested information, for review and approval.

Additional Comments

- In my professional opinion, the parking supply (11 parking spaces – some of which are to be leased in a Congress Street parking lot) would be expected to satisfy parking demand given the location of the development, nearby TDM opportunities, and the small size of the residential units.

If you have any questions, please contact me.

Best regards,

Thomas A. Errico, PE

Senior Associate

Traffic Engineering Director

TYLIN INTERNATIONAL

12 Northbrook Drive

Falmouth, ME 04105

+1.207.781.4721 main

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"One Vision, One Company"

Onejoy Place
Site Plan Review
Bill Scott
9/20/2017

Recording Plat

1. Joy Place is labeled as "Private". Who has the rights to use it? Is it just this development or do any of the abutters benefit from its use as well? And who is responsible for maintenance and repair of this road? I think the surveyor should add a note that spells out some of these details so that there's no confusion later on.
2. The boundary figure is missing a bearing and distance label along the northwesterly side of Joy Place as it connects to Brackett Street.
3. The surveyor needs to add a description and elevation of the City Benchmark that was used as the basis for the elevations referred to in Note 4.
4. Is there a set back that's required for the proposed building near the corner of Brian Chick's land? It looks like that is the portion of the new building that comes closest to an abutting boundary line.

All of the plan sheets that have elevations shown (i.e. Grading plan, Utility plan, Existing Conditions plan) should have a note that identifies the elevation datum and that references the survey by Owen Haskell and the Recording Plat.

City of Portland Maine
Dept. of Public Works
Engineering Division

Memo

To: Jean Fraser - Planner
From: Keith Gray, PE – Senior Engineer, DPW
Date: September 22, 2017
Re: One Joy Place (2017-103) – Level III Site Plan Application

The following comments/concerns are in regards to the Level III Site Plan Application prepared by Terradyn Consultants, LLC, on behalf of the applicant, Onejoy Place, LLC. with last plan revision submitted on September 14, 2017. Please feel free to contact me with questions. Thank you.

Construction Management Plan:

- The applicant has submitted a Construction Management Plan (CMPlan) prepared by Terradyn Consultants, LLC.
 - The plan indicates that Brackett Street will have a travel lane and sidewalk closure.
 - Indicate the duration and need for such closures. Will any on street parking be impacted during construction?
 - In general, DPW does not support the occupancy of a sidewalk and/or street for an extended period of time. The applicant shall revise the CMPlan to specify the duration required for each occupancy and construction sequences shall be scheduled to minimize the duration of any street occupancy.



Jean Fraser <jf@portlandmaine.g

Fwd: Urgent comments please - One Joy Place

1 message

Jean Fraser <jf@portlandmaine.gov>
To: "Fraser, Jean" <jf@portlandmaine.gov>

Thu, Sep 21, 2017 at 9:24

From: Jeff Tarling <jst@portlandmaine.gov>
Date: Wed, Sep 20, 2017 at 4:43 PM
Subject: Re: Urgent comments please - One Joy Place
To: Jean Fraser <jf@portlandmaine.gov>

Jean -

I have reviewed the landscape plan for the proposed One Joy Place project.

The project does have landscape challenges due to its unique site location and lack of street frontage. One suggestive comment would be to find a substitution for the Amur Maple as they tend to show up on the invasive plant list. Other suggestions might include 'Cornus mas', Hop Hornbeam, Cornelian Cherry Dogwood.

Overall the project include landscape elements where possible and improved fencing.

Tree fund contribution would be targeted for the Brackett / Spring Street and Reiche School area.

Thanks

Jeff

Jeff Tarling
City Arborist - City of Portland Maine
Parks, Recreation & Facilities Department
Forestry & Horticulture
212 Canco Road
Portland, ME. 04103
(207) 808-5446
jst@portlandmaine.gov

SUBDIVISION/SITE DEVELOPMENT
Cost Estimate of Improvements to be covered by Performance Guarantee

Date: 2/28/18

Name of Project: 1 Joy Place
 Address/Location: Brachett St Portland Me
 Application ID #: 201800098
 Developer: Renew Housing / ONEJOY PLACE LLC
 Form of Performance Guarantee: LDC
 Type of Development: Subdivision _____ Site Plan (Level I, II or III) _____

TO BE FILLED OUT BY THE APPLICANT:

Item	PUBLIC			PRIVATE		
	Quantity	Unit Cost	Subtotal	Quantity	Unit Cost	Subtotal
1. STREET/SIDEWALK						
Road/Parking Areas			\$ 600.00	55 yds	\$ 48	16,800.00
Curbing	27	\$ 23.00		67	73	1541.00
Sidewalks	22 sq yd	134	\$ 3058.00	213 sq yd	139.00	\$ 29,607.00
Esplanades						
Monuments						
Street Lighting						
Street Opening Repairs						
Other	3	2500	7500	1	2500	2500.00
2. EARTH WORK						
Cut				230 yds	\$ 23.00	5290.00
Fill				342	\$ 69.00	23,598.00
3. SANITARY SEWER						
Manholes				1	3500	\$ 3500.00
Piping						
Connections						
Main Line Piping						
House Sewer Service Piping				170	36	\$ 6120.00
Pump Stations						
Other						
4. WATER MAINS						
Fire/Domestic				330	\$ 112.00	36,960.00
5. STORM DRAINAGE						
Manholes						
Catchbasins				2	4000	\$ 8000.00
Piping 12" + 8"				224	55.00	12,320.00
Retention Basin						
Stormwater Quality Units						
Other Footing Drain				254	14.00	\$ 3556.00
			11,179.00			147,292.00

Pole
Billards

6. SITE LIGHTING	<u>excavate / Backfill only</u>		
7. EROSION CONTROL			
Silt Fence			
Check Dams			
Pipe Inlet/Outlet Protection			
Level Lip Spreader			
Slope Stabilization			
Geotextile			
Hay Bale Barriers			
Catch Basin Inlet Protection			
8. RECREATION AND OPEN SPACE AMENITIES			
9. LANDSCAPING / <u>La quin / Seed</u>			
(Attach breakdown of plant materials, quantities, and unit costs)			
10. MISCELLANEOUS			
TOTAL:	<u>\$ 36,79</u>		
GRAND TOTAL:			

1		
6		
241	16	\$ 3865.00
45		\$ 1500.00
45	2.500	2500.00
		7865
		<u>\$ 162,657</u>

INSPECTION FEE (to be filled out by the City)

	PUBLIC	PRIVATE	TOTAL
A: 2.0% of totals:			
or			
B: Alternative Assessment:			
Assessed by:			
	(name)	(name)	

SUBDIVISION/SITE DEVELOPMENT
Cost Estimate of Improvements to be covered by Performance Guarantee

Date: 2/28/18

Name of Project: 1 Joy Place
 Address/Location: Brackett St Portland Me
 Application ID #: 201800098
 Developer: RENEWAL HOUSING / ONEJOY PLACE LLC
 Form of Performance Guarantee: LDC
 Type of Development: Subdivision _____ Site Plan (Level I, II or III) _____

TO BE FILLED OUT BY THE APPLICANT:

Item	PUBLIC			PRIVATE		
	Quantity	Unit Cost	Subtotal	Quantity	Unit Cost	Subtotal
1. STREET/SIDEWALK						
Road/Parking Areas			\$ 621.00	357 yds	\$ 48	16,800.00
Curbing	27	\$ 25.00		67	\$ 33	1,541.00
Sidewalks	22 sq yds	134	\$ 3028.00	2135 y	139.00	\$ 225,607.00
Esplanades						
Monuments						
Street Lighting						
Street Opening Repairs			7500 ←	3	2500	\$ 7500
Other						
2. EARTH WORK						
Cut				230 yds	\$ 230	5290.00
Fill				342	\$ 69.00	23,598.00
3. SANITARY SEWER						
Manholes				1	3500	\$ 3500.00
Piping						
Connections						
Main Line Piping						
House Sewer Service Piping				170	36	\$ 6120.00
Pump Stations						
Other						
4. WATER MAINS						
Fire/Domestic				330'	\$ 112.00	36,960
5. STORM DRAINAGE						
Manholes						
Catchbasins				2	4800	\$ 9600.00
Piping 12" + 8"				224'	55.00	12,320
Detention Basin						
Stormwater Quality Units						
Other Footing Drain				254	14.00	\$ 3556.00
			11,179			\$ 159,792

6. SITELIGHTING	<u>excavate / Back fill only</u>	<u>245</u>	<u>16.5</u>	<u>3865.00</u>
7. EROSION CONTROL				
Silt Fence	_____	<u>45</u>		<u>1500.00</u>
Check Dams	_____			
Pipe Inlet/Outlet Protection	_____			
Level Lip Spreader	_____			
Slope Stabilization	_____			
Geotextile	_____			
Hay Bale Barriers	_____			
Catch Basin Inlet Protection	_____			
8. RECREATION AND OPEN SPACE AMENITIES	_____			
9. LANDSCAPING / <u>Low water / Seed</u>	_____	<u>45</u>	<u>2500</u>	<u>2500.00</u>
(Attach breakdown of plant materials, quantities, and unit costs)				
			<u>+ 3983</u>	<u>11,848</u>
10. MISCELLANEOUS				
TOTAL:	<u>\$ 36,79</u>	<u>11,179</u>	<u>\$ 162,657</u>	<u>171,640</u>
GRAND TOTAL:				

INSPECTION FEE (to be filled out by the City)

Total \$182,819 ^{OK} _{3/21/18} } \$179,140

	PUBLIC	PRIVATE	TOTAL
A: 2.0% of totals:	<u>\$ 223.58</u>	<u>\$ 3432.80</u>	<u>\$ 3656.38</u>
or			
B: Alternative Assessment:	_____	_____	_____
Assessed by:	<u>Paul [Signature]</u>	_____	<u>3/21/18</u>
	(name)	(name)	

1 Joy Place Photometric

1 message

Jean Fraser <jf@portlandmaine.gov>

Tue, Mar 27, 2018 at 11:41 AM

To: Michael Tadema-Wielandt <mtw@terradyconsultants.com>

Cc: talexander@renewalhousing.com

Michael

I am OK in general terms with the location and type of the lighting, but the details don't quite "add up".

It appears that you have moved up the lights on the back of the building so that the light hitting the ground is less, but I am still concerned about the glare of the source light.

Regarding the bollards, why has the first bollard (nearest Brackett) gone up to 4.5? Also the "watts" level is still listed at 24 and I would have thought that would be reduced.


I think the best way forward on this is that I will approve this photometric subject to a condition on the main building permit that provides for a review of the lighting prior to the CO, and if there is glare that impacts a neighbor we will ask for a lower level bulb to be substituted (or a shield if the bulb change is not possible).

Thank you
Jean

--
Jean Fraser, Planner
City of Portland
874 8728

2 attachments

 not approved P-1.0 Photometrics Lighting Plan 3.20.18.pdf
1203K

 approved sub to cond on BP P-1.0 Photometrics Lighting Plan.pdf
1203K

cond on
PG

Phil - could you
pl. put this
cond. on the
development
permit before
signing off - they
are closing this wk
so paying the PG.
Thanks Jean



Jean Fraser <jf@portlandmaine.gov>

Fwd: One Joy Place- tree

1 message

Jean Fraser <jf@portlandmaine.gov>
To: "Fraser, Jean" <jf@portlandmaine.gov>

Fri, Jul 6, 2018 at 2:32 PM

----- Forwarded message -----
From: **Tuck O'Brien** <sgo@portlandmaine.gov>
Date: Thu, Jul 5, 2018 at 12:09 PM
Subject: Re: One Joy Place- tree
To: Jean Fraser <jf@portlandmaine.gov>

I am actually using my computer too! So yeah!

Yes I spoke to Jeff T and let Todd remove the tree with the understanding he would replace it with quality landscaping and understood it may be changed in the future and he might be responsible for doing the work.

-
Tuck O'Brien
City Planning Director
Department of Planning and Urban Development
Office: (207) 874-8724
Cell: (207) 553-0255

--
Jean Fraser, Planner
City of Portland
874 8728

*need Todd, Tuck
+ Jeff T to agree
the replacement
planting ^{incl} on city land
(looks very bare now - July)*

CONSTRUCTION MANAGEMENT PLAN

Project:

Onejoy Place
1 Joy Place
Portland, Maine 04101

Applicant:

Onejoy Place, LLC
c/o Renewal Housing Associates
2 Union Street, 5th Floor
Portland, Maine 04101

Prepared By:

Terradyn Consultants, LLC
565 Congress Street, Suite 310
Portland, Maine 04101

Construction Manager:

TBD

A. Construction Management Principles

The following narrative provides an overview of the construction management principles that the Applicant and Contractor have identified to minimize impacts from the construction of Onejoy, such as noise, vibrations, ground movement, truck traffic, and other construction related factors to the surrounding building and communities.

B. Performance Guarantees, Inspection Fees, Preconstruction Meeting, and Permits

Prior to scheduling a preconstruction meeting and the issuance of any city required permits, the Applicant and Contractor shall meet all of the requirements contained in Section 14-530. Development review fees and post approval requirements and 14-532. General requirements and enforcement of Portland's Land Use Code.

Other permits, as applicable, include:

1. **Street Opening and Street Occupancy Permits:** Construction activity in the public right-of-way are controlled by Chapter 25 and sewer and stormwater system connections are controlled by Chapters 24 and 32 of the Land Use Code. All required permits shall be obtained through the Department of Public Works and the requests shall conform with the approved construction management plan.

C. Construction Administration and Communication

The Applicant and Contractor will work diligently to implement a communication strategy as outlined below. The communication strategy is intended to ensure that all construction operations are performed in accordance with all agreements, ordinances and special permits applicable to this project.

1. The Contractor and Owner will work closely with adjacent abutters, businesses and all parties informed, as far in advance as possible, of scheduled work, particularly work anticipated to cause significant noise, vibrations, or dust.

2. The Contractor or Owner shall provide notice to abutters, including the City of Portland and the Reiche School, prior to the start of construction. Notifications to the City of Portland shall be sent to Phil Dipierro in the Planning Division. Notice to the Reiche School shall be sent to Doug Sherwood, Facilities Coordinator, at the Portland Public School District.
3. The Contractor and Owner shall be responsible for scheduling an on-site meeting with the property owners of 167 and 169 Brackett Street prior to the start of construction. At the meeting, the owners of 167 and 169 Brackett shall be provided information regarding construction schedules, construction fencing, and how access between Joy Place the respective properties will be maintained. The Contractor and Owner shall also be responsible for scheduling and holding an on-site meeting with the Reiche School Team Leaders prior to the start of construction.

A Construction Manager for Onejoy Place has not been selected. Once selected, a Contact Person, who will be available 24 hours in the event of an emergency, will be identified and the City shall be notified:

CONTACT PERSON:

To Be Determined

Construction Signage shall be posted at the site with Contact Information for the Contractor. Construction site signage shall be removed at project completion.

D. Construction Schedule

1. The contractor shall submit a schedule or time line for the construction project, including any Phasing, prior to construction.
2. The target start date for construction is April 10th. The construction completion date is on or around March 10th (11 month schedule). The Construction Management Plan prohibits the delivery of materials and vehicle lane closures on Brackett Street around school start and end times.
3. Hours of Construction: Construction may occur during the daytime hours as defined in Section 17-18 of the City Code (Construction Activities) and Section 25-129 of the City Code (Noise, dust and debris).
4. Extended Hours or Night Work: Pursuant to Section 17-18, this section does not apply to emergency utility work or "Situations where the public works authority or the office of building inspections determines that the construction activity is of a unique character which cannot reasonably be completed or performed during the permitted hours and which is not of a recurring nature, provided that prior to engaging in such activity the contractor or his representatives gives notice of the time and scope of such proposed activity, the notice to be given in a manner approved by the public works authority."

5. **Material Deliveries:** Delivery of materials shall take place during the Hours of Construction listed above and shall be stored outside the Joy Place right of way in the locations noted on the Construction Management Plan (Sheet C-2.3). See Section I below for restrictions on delivery of materials around school drop off and pick up times.

E. Security & Public Safety

1. The Contractor shall erect the temporary barriers and access gates shown on the Construction Management Plan (Sheet C-2.3) with the intent of separating pedestrian and vehicle circulation from the construction site.
2. The Applicant or Contractor shall purchase and install a Knox padlock from the Portland Fire Department to allow access by the Portland Fire Department at the primary access gate.
3. Structures undergoing construction, alteration, or demolition operations, including those in underground locations, shall comply with NFPA 1 Chapter 16. *Safeguarding Construction, Alteration, and Demolition Operations.*
4. **Fire Safety Program.** An overall construction or demolition fire safety program shall be developed. Essential items to be emphasized include the following:
 - Good Housekeeping
 - On-site security
 - Installation of new fire protection systems as construction progresses
 - Preservation of existing systems during demolition
 - Organization and training of an on-site fire brigade
 - Development of a pre-fire plan with the local fire department
 - Rapid communication
 - Consideration of special hazards resulting from previous occupancies
 - Protection of existing structures and equipment from exposure fires resulting from construction, alteration, and demolition operations
5. Any temporary security lighting fixtures shall feature full cutoff optics to reduce light trespass onto abutting properties.

F. Construction Permitting and Traffic Control Plans

1. Construction Activity in Public Streets: Underground utility installation in Brackett Street will require temporary lane closures. This work shall be scheduled and sequenced to minimize the duration of street occupancy, but is expected to take up to 2 days. Construction activity in the public right-of-way is controlled by Chapter 25 Article VII of the City Code of Ordinances. Required licenses and permits, restrictions on activity, and fees & area are outlined in that Chapter. Rules and Regulations for Excavation Activity are available through the Street Opening Clerk at the Department of Public Works. At no time can construction activity including delivery vehicles close or block streets or affect public safety access without prior notice and approval of the Department of Public Works.

2. Lane Closures: Travel lanes in Brackett Street may only be closed for utility connections; both lanes shall remain open otherwise. Site work that will impact vehicle traffic on Brackett Street shall be scheduled between school start and completion times at the Reiche School to minimize impacts. Street openings on Brackett Street for utility connections shall be scheduled to coincide with school vacation days. The contractor and owner shall coordinate with the City of Portland to obtain the necessary permits and approvals to allow Brackett Street openings to occur on school vacation days.
3. Public Sidewalk Closures: The Brackett Street sidewalk at the intersection of Joy Place will be reconstructed as part of the proposed project. Short term closure of the sidewalk is expected to be required for underground utility installation and sidewalk reconstruction. Sidewalk closures shall be scheduled to coincide with school vacation days to the extent practical. Total sidewalk closure time is expected to be up to 5 days. During this time, one on-street parking space, located on the east side of Brackett Street, immediately south of Joy Place, will be temporarily unavailable. Construction shall be scheduled and sequenced to minimize the duration of sidewalk closures. Temporary pedestrian walkway accommodations, as shown on the Construction Management Plan, shall be implemented during this time.
4. Work on Private Property: No construction easements are expected to be necessary for work on private property. An existing agreement with the owner of 165 Brackett Street allows for construction to take place in order to improve the existing parking space adjacent to the Joy Place right of way.
5. Sewer and Stormwater: Sewer and stormwater system connections are controlled by Chapters 24 and 32 of the City Code of Ordinance. Required permits for new connections and/or abandonment of existing connections are available through the Street Opening Clerk at the Department of Public Works. Rules and Regulations for these utility systems are available through the City Engineer's office of the Department of Public Works and in Section II of the Technical Manual.
6. Work within City Right of Way: Construction activity that impacts the existing public street system must be controlled to protect the safety of the construction workers and all modes of the traveling public.

Construction operations shall provide for the safe passage of the public through or along the construction work zone. The Contractor shall employ the appropriate techniques and devices as called for in the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD). In addition:

- Construction speed signing may be used as needed to slow traffic
- Traffic Control signs shall not be placed where they are an obstruction to bicycles or pedestrians.
- During times of lane closures, flaggers shall be employed to direct traffic safely through the construction zone.

All existing modes of travel in work zone area shall be accommodated if impacted by the activity. The safe passage of pedestrians, bicyclists, transit providers, and motorists are of equal importance when planning out the work zone; no pre-existing travel mode may be eliminated without the express approval of the Department of Public Works.

- Traffic control bicycle and pedestrian facilities or routes through work zones shall be maintained until the bicycle and pedestrian facilities or routes are ready for safe operation. Traffic control will not be removed to allow auto travel at the expense of bicycle and pedestrians.
- Barrier systems utilized to separate the construction activity from the public street and /or sidewalk shall not inhibit sight distances, particularly for visibility of pedestrians and bicyclists.
- ADA compliance shall be maintained.

Use of public parking spaces or the blockage of any portion of sidewalk for the purpose of construction activity shall require an occupancy permit and appropriate fee as assessed by the Department of Public Works.

G. Site Management and Controls

The construction site must be maintained in a safe condition at all times and shall include the following:

1. A solid waste dumpster shall be located on site for the disposal of trash and debris.
2. The Brackett Street and Joy Place rights of way shall be swept regularly to control the tracking of mud onto public streets.
3. Dust controls: The construction shall comply with Portland's requirements under Section 25-129 on Noise, dust and debris.
4. Noise: The construction shall comply with Portland's requirements under Section 17-18 of the City Code and Section 25-129 on Noise, dust and debris.
5. Rodent Control will be provided, if applicable, by a professional exterminator and consistent with Chapter 22 of the City Code.
6. Snow Removal: Pursuant to Section 25-173 Contractors to ensure a safe means of travel within the work zone.
 - 1) Snow/ice removal or commence automatically from (1" of snow and up) or Ice
 - 2) Remove snow as needed within the work zone, including parking spaces & not to block any driveways or site lines with the piles of snow.
 - 3) Clear all walks & ramps with the work zone
 - 4) Sand or Salt as needed
 - 5) Clear all basin or drainage to help snow melt
 - 6) This would include Monday-Friday Sat/Sunday/Holidays

H. Erosion Control and Preservation of Trees

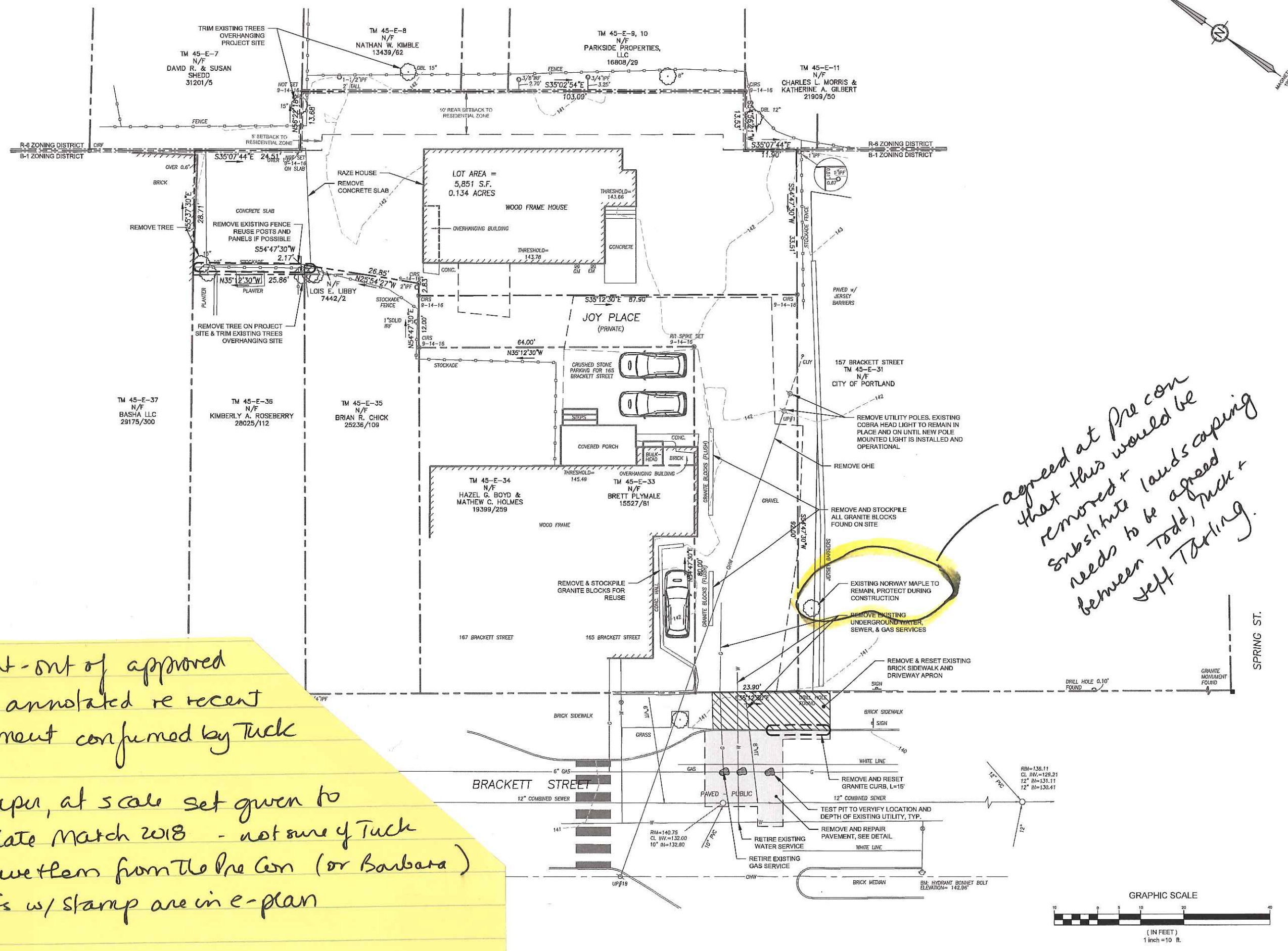
1. The Contractor shall install all erosion and sedimentation controls as depicted on the approved erosion and sedimentation control plan prior to the pre-construction meeting for inspection by the City. The Contractor shall regularly inspect the control measures, no less than weekly and after significant storm events, and maintain any installed temporary or permanent stormwater management systems in working order. The Contractor shall document all inspection activities and corrective actions and be prepared to provide these documents for inspection by the City, Maine Department of Environmental Protection or the U.S. Environmental Protection Agency upon request.
2. The Contractor shall maintain all tree and landscaping preservation measures as depicted on the Landscape Plan (Sheet L-1) within the area of construction.
3. The storage of materials shall be located in the areas depicted on the Construction Management Plan (Sheet C-2.3) and avoid being located under/near trees.

I. Construction Staging and Deliveries

1. A location for material storage and lay down is shown on the Construction Management Plan. Additional areas may be utilized as available as long as they do not interfere with material deliveries.
2. Deliveries are prohibited during school drop off times:
 - i. 30 minutes prior to the posted school start time to 15 minutes after the posted school start time.
 - ii. 15 minutes prior to the posted school end time to 30 minutes after the posted school end time.

J. Parking During Construction

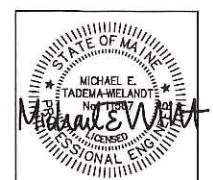
1. Construction Parking: Construction workers may park on the 1 Joy Place property. Vehicles shall not be parked within the Joy Place private drive, unless expressly agreed to in advance by residents of 165 and 167 Brackett Street, who retain an easement right to utilize Joy Place to access their properties. To the extent vehicles are parked in the private drive on a temporary basis, travel lanes to and from 1 Joy Place and parking areas serving 165 and 167 Brackett Street shall remain open at all times. Construction workers must secure their own off-street parking spaces. Vehicles shall not be parked in the municipal parking lot located at 157 Brackett Street during posted restricted times (7:00 am to 4:00 pm). If contractor desires to reserve on-street parking space(s) on Brackett Street for a fee, it must seek approval from the Department of Public Works.
2. Parking: Residents of 165 Brackett Street utilize Joy Place to access parking areas. These parking areas, as identified on the Construction Management Plan, shall remain unobstructed unless agreed to by the abutting property owner. Work that will affect the parking areas or access to the parking areas shall be coordinated in advance with the abutting property owner.



agreed at pre con that this would be removed + subsh into landscapng needs to be agreed between Todd, Mike + Jeff Torking.

This is print-out of approved plan set, annotated re recent tree amendment confirmed by Tuck stamped, paper, at scale set given to Phil in late March 2018 - not sure if Tuck may have them from the pre con (or Barbara) also pdfs w/ stamp are in e-plan

Sean.



P.E. MICHAEL E. TADEMA-WIELANDT
DATE: 3/20/2018

NO.	DATE	REVISIONS
1	4-25-2017	SUBMITTED TO CITY OF PORTLAND FOR REVIEW
2	8-7-2017	REVISED PER STAFF & PEER REVIEW COMMENTS
3	8-29-2017	REVISED SIDEWALK ON ADJUTING CITY PARCEL
4	9-13-2017	ISSUED FOR BID
5	1-11-2018	REVISED PER STAFF COMMENTS
6	2-22-2018	ISSUED FOR BID
7	3-20-2018	REVISED PER CITY OF PORTLAND STAFF COMMENTS

565 CONGRESS STREET
SUITE 310
PORTLAND, ME 04102

P.O. BOX 339
111 ROSEBERRY LANE
NEW GLOUCESTER, ME 04260

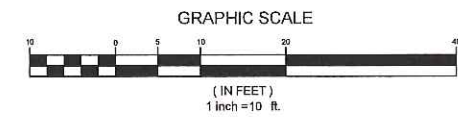
OFFICE: (207) 926-5111 FAX: (207) 221-1317
www.terradynconsultants.com

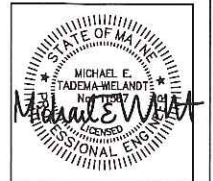
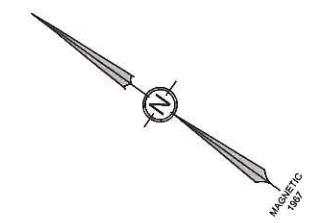
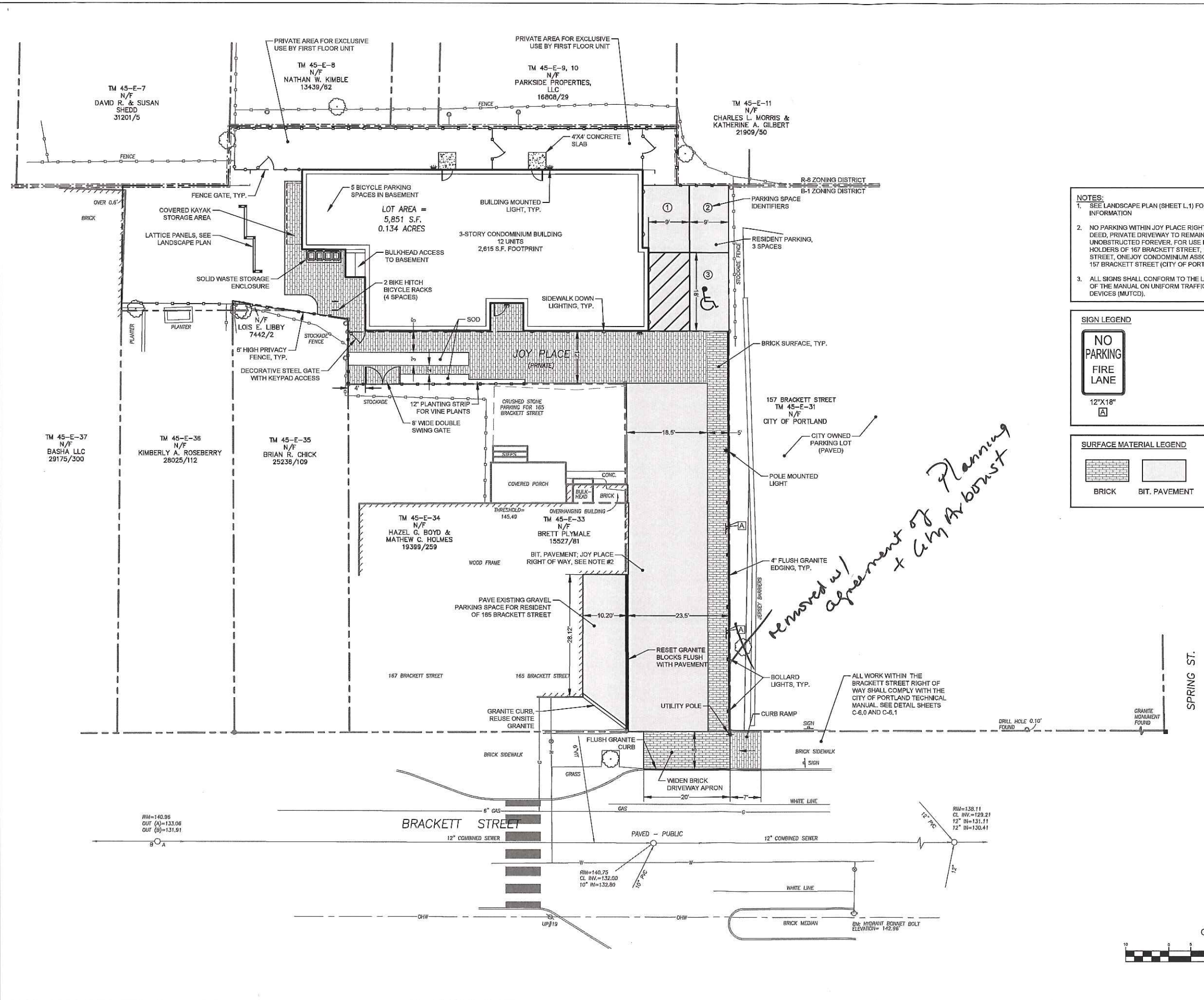


SHEET DESCRIPTION
ONEJOY PLACE
1 JOY PLACE, PORTLAND, MAINE 04102
EXISTING CONDITIONS & REMOVALS

PREPARED FOR
ONEJOY PLACE, LLC
C/O RENEWAL HOUSING ASSOCIATES, LLC
1000 BOSTON STREET, 5TH FLOOR
PORTLAND, MAINE 04101

DATE: 3/7/2017
SCALE: 1"=10'
DESIGNED: MTW
JOB NO: 1704
FILE: 1704-EC.DWG
SHEET **C-2.2**

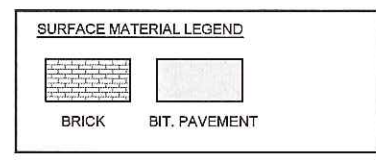
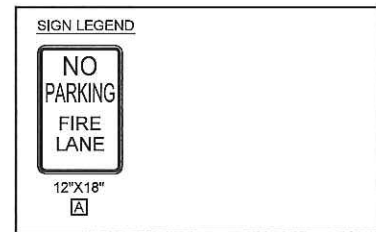




P.E. MICHAEL E. TADEMA-WIELANDT
DATE: 3/20/2018

NO.	DATE	REVISIONS
1		APPROVED BY
2		MTW
3		MTW
4		MTW
5		MTW
6		MTW
7		MTW

- NOTES:**
- SEE LANDSCAPE PLAN (SHEET L.1) FOR FENCE INFORMATION
 - NO PARKING WITHIN JOY PLACE RIGHT OF WAY. BY DEED, PRIVATE DRIVEWAY TO REMAIN OPEN AND UNOBSSTRUCTED FOREVER, FOR USE BY DEED HOLDERS OF 167 BRACKETT STREET, 185 BRACKETT STREET, ONEJOY CONDOMINIUM ASSOCIATION, AND 157 BRACKETT STREET (CITY OF PORTLAND).
 - ALL SIGNS SHALL CONFORM TO THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).



removed w/ agreement of Planning + City Arbust

SEE CONGRESS STREET SITE PLAN FOR BRACKETT STREET, PORTLAND, ME 04102

P.O. BOX 308
111 BLOSSOMBERY LANE
NEW GLoucester, ME 04260

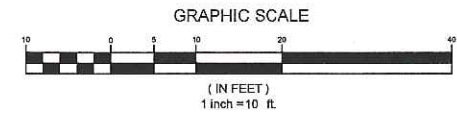
TERRADYN CONSULTANTS, LLC
Civil Engineering • Land Planning • Stormwater Design • Environmental Permitting

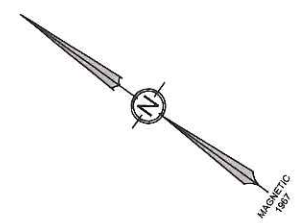
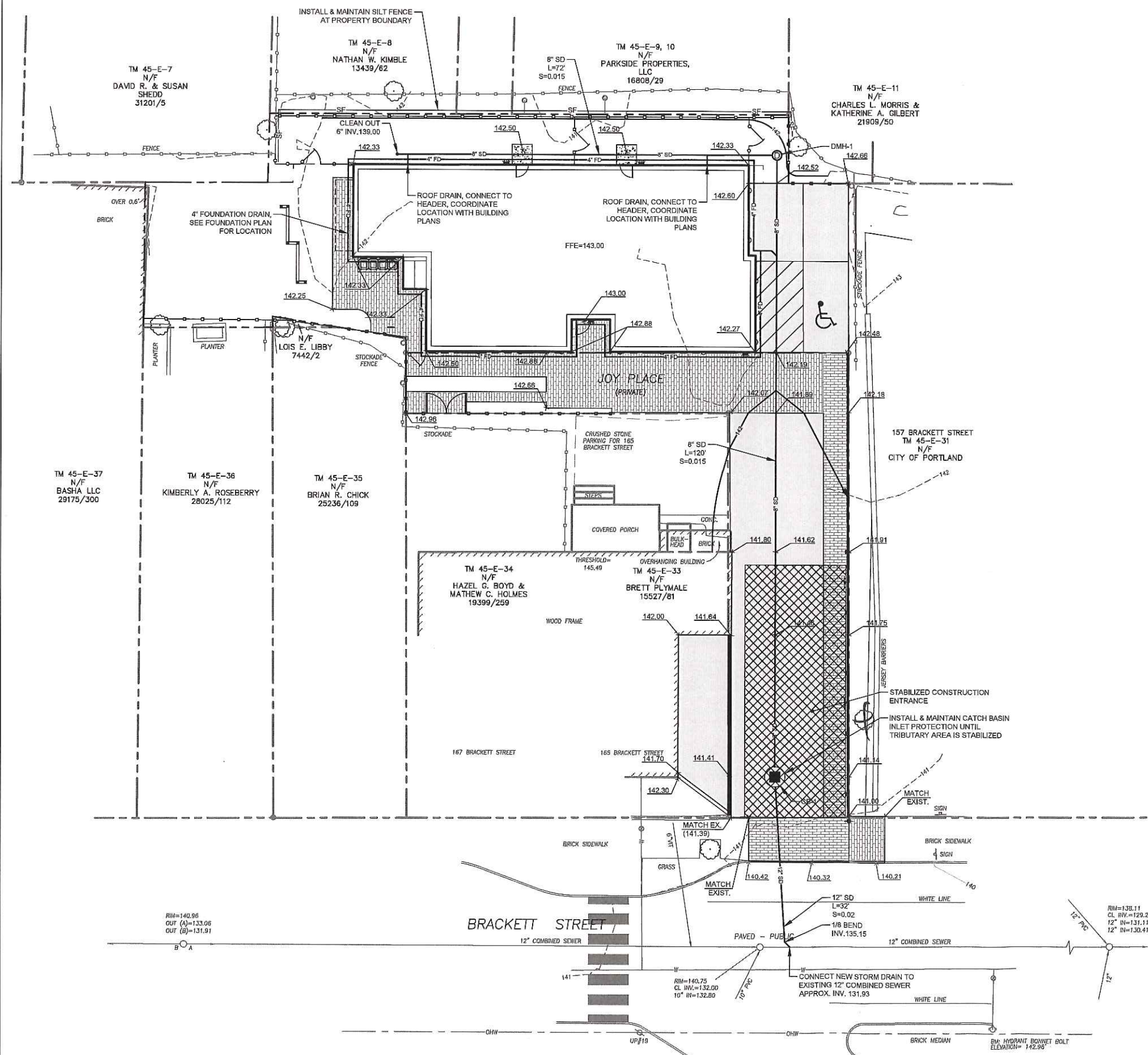
OFFICE: (207) 926-5111 FAX: (207) 221-1317
www.terradynconsultants.com

SHEET DESCRIPTION
ONEJOY PLACE
1 JOY PLACE, PORTLAND, MAINE 04102
SITE LAYOUT PLAN

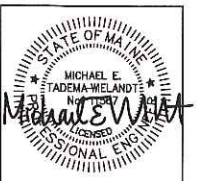
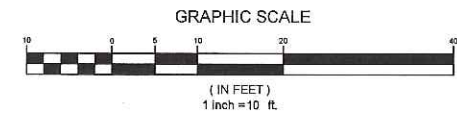
PREPARED FOR
ONEJOY PLACE, LLC
C/O RENEWAL HOUSING ASSOCIATES, LLC
2 UNION STREET, 5TH FLOOR
PORTLAND, MAINE 04101

DATE: 3/7/2017
SCALE: 1" = 10'
DESIGNED: MTW
JOB NO: 1704
FILE: 1704-BASE.DWG
SHEET **C-3.0**





STORM DRAIN APPURTENANCE SCHEDULE				
STRUCTURE	TYPE/DIA.	RIM	INV. IN / DIA. (FROM)	INV. OUT / DIA. (TO)
CB-1	4" TYP. CB (SEE DETAIL)	141.14	136.02 / 8" (DMH-1)	135.77 / 12" (BRACKETT ST.)
DMH-1	24" NYLOPLAST DRAIN BASIN	142.25	137.92 / 8" (ROOF DRAINS)	137.82 / 8" (CB-1)



P.E.: MICHAEL E. TADEIMA-WIELANDT
DATE: 3/20/2018

NO.	DATE	REVISIONS
7	3-20-2018	REVISED PER CITY OF PORTLAND STAFF COMMENTS
6	2-22-2018	REVISED LIGHT POLE LOCATION
5	1-11-2018	ISSUED FOR BID
4	9-13-2017	REVISED PER STAFF COMMENTS
3	8-29-2017	REMOVED SIDEWALK ON ABUTTING CITY PARCEL
2	8-7-2017	REVISED PER STAFF & PEER REVIEW COMMENTS
1	4-25-2017	SUBMITTED TO CITY OF PORTLAND FOR REVIEW

585 CONGRESS STREET
SUITE 310
PORTLAND, ME 04102

P.O. BOX 389
ROSEBERRY LANE
NEW GLoucester, ME 04260

TERRADYN
CONSULTANTS, LLC

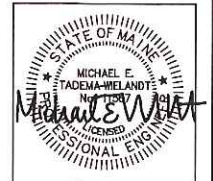
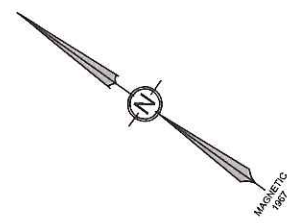
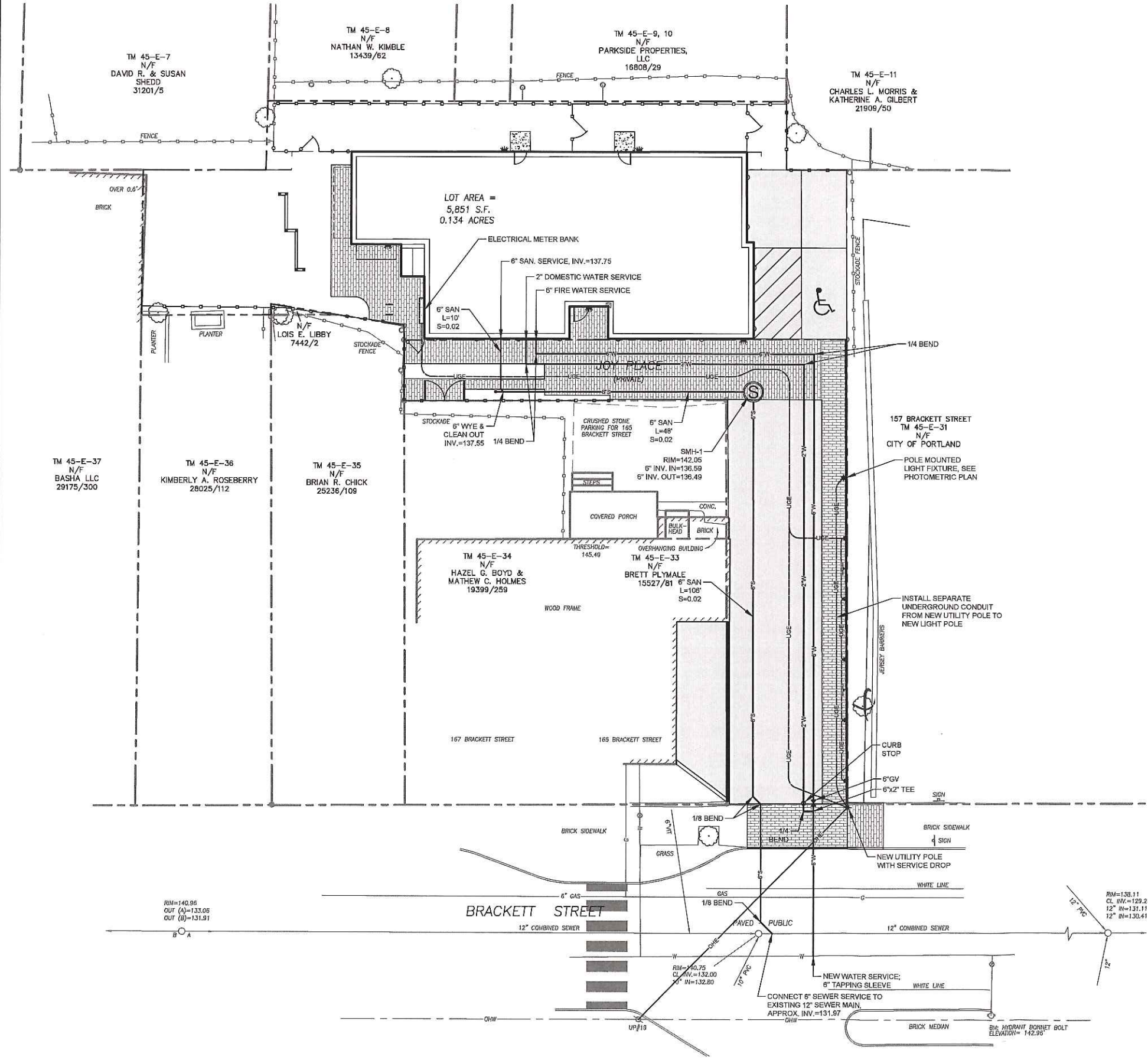
OFFICE: (207) 926-5111 FAX: (207) 221-1317
www.terradynconsultants.com

Civil Engineering - Land Planning - Stormwater Design - Environmental Permitting

SHEET DESCRIPTION
ONEJOY PLACE
1 JOY PLACE, PORTLAND, MAINE 04102
GRADING, DRAINAGE & EROSION CONTROL PLAN

PREPARED FOR
ONEJOY PLACE, LLC
C/O RENAISSANCE HOUSING ASSOCIATES, LLC
2 UNION STREET, 6TH FLOOR
PORTLAND, MAINE 04101

DATE: 3/7/2017
SCALE: 1" = 10'
DESIGNED: MTW
JOB NO: 1704
FILE: 1704-BASE.DWG
SHEET **C-4.0**



P.E. MICHAEL E. TADEMA-WIELANDT
DATE: 3/20/2018

NO.	DATE	REVISIONS
1	4-25-2017	MTW
2	8-29-2017	MTW
3	8-29-2017	MTW
4	8-13-2017	MTW
5	1-11-2018	MTW
6	2-22-2018	MTW
7	3-20-2018	MTW

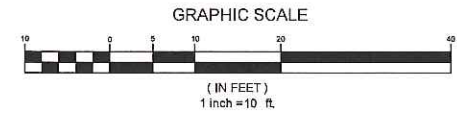
855 CONGRESS STREET
PORTLAND, ME 04102
P.O. BOX 359
NEW GLoucester, ME 04260
OFFICE: (207) 926-5111 FAX: (207) 221-1317
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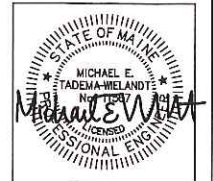
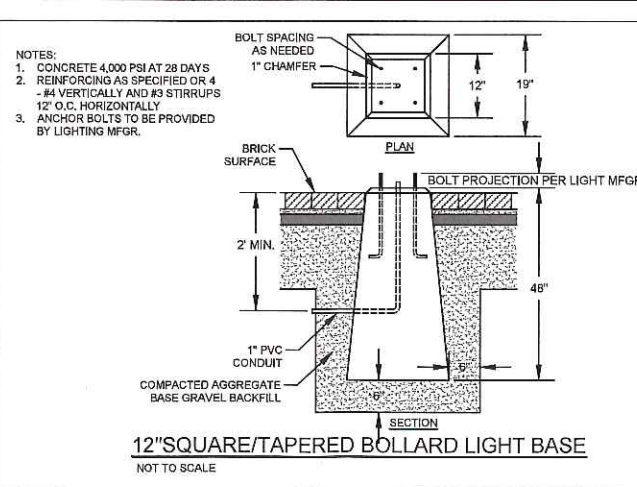
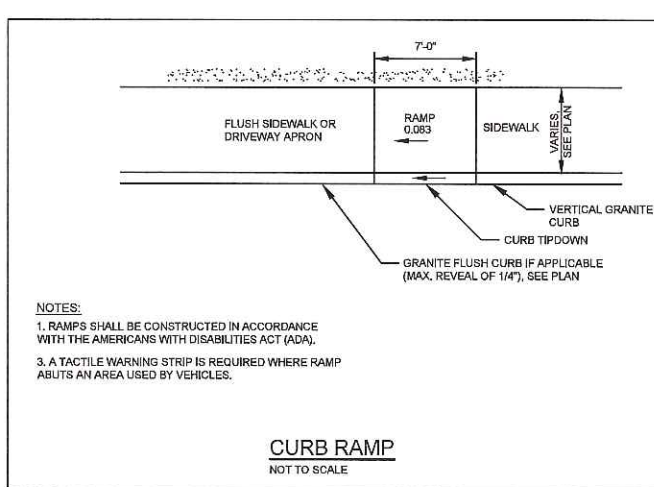
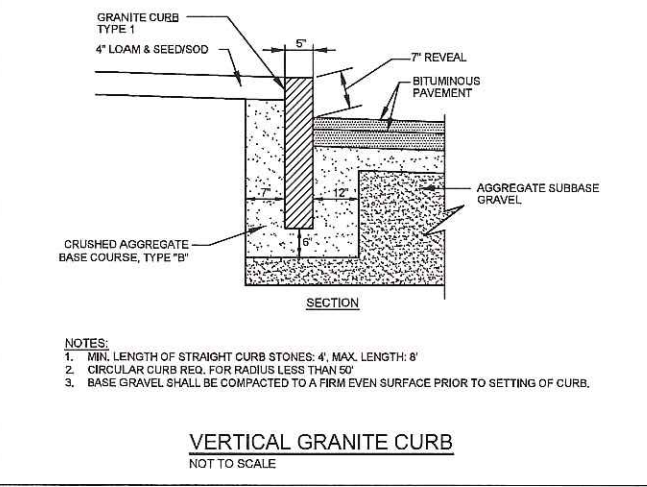
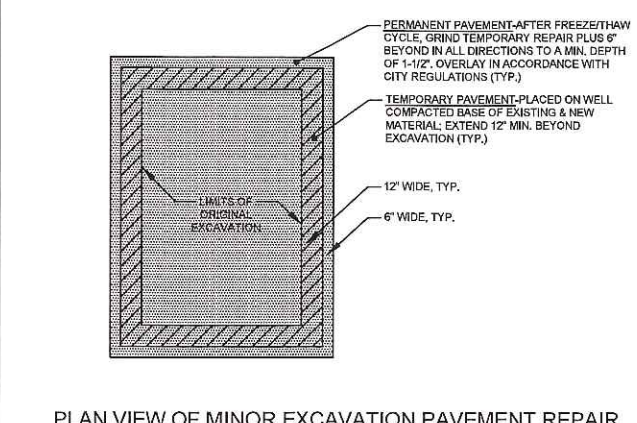
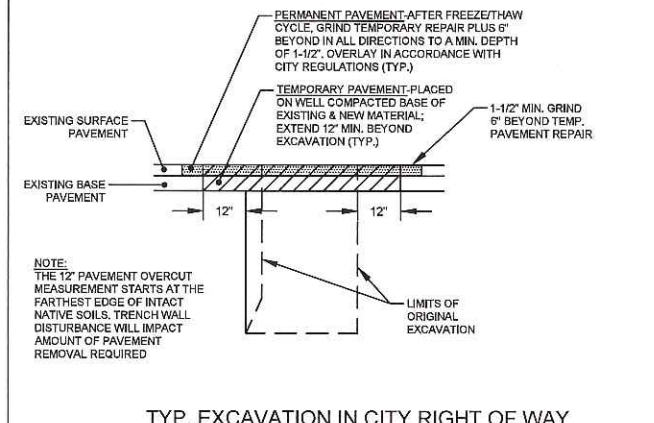
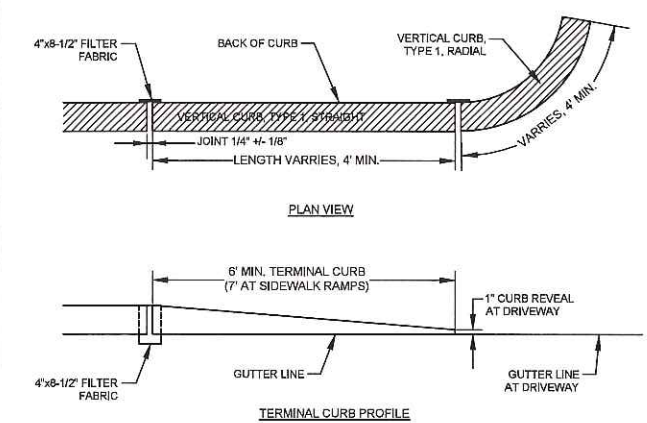
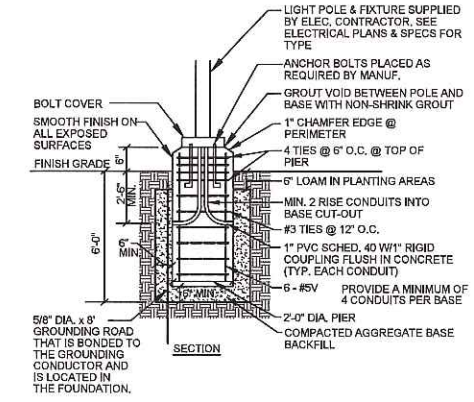
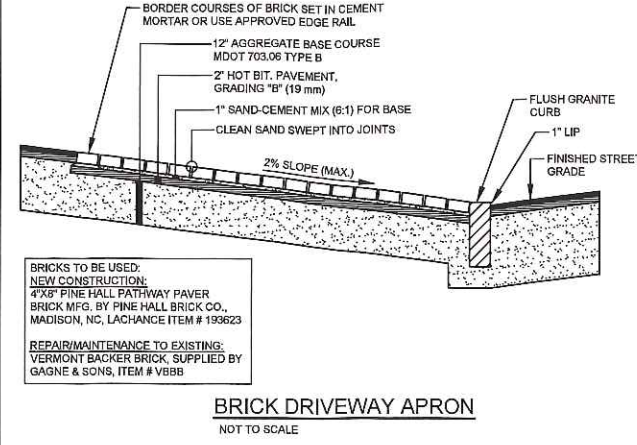
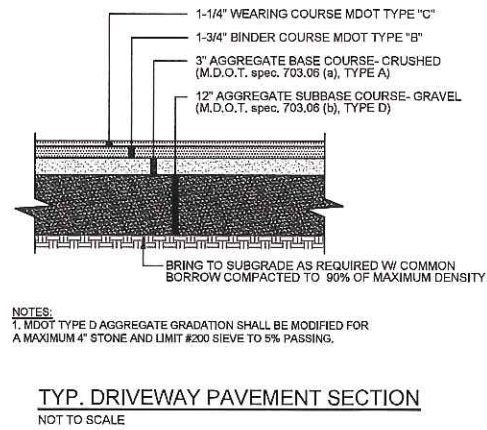
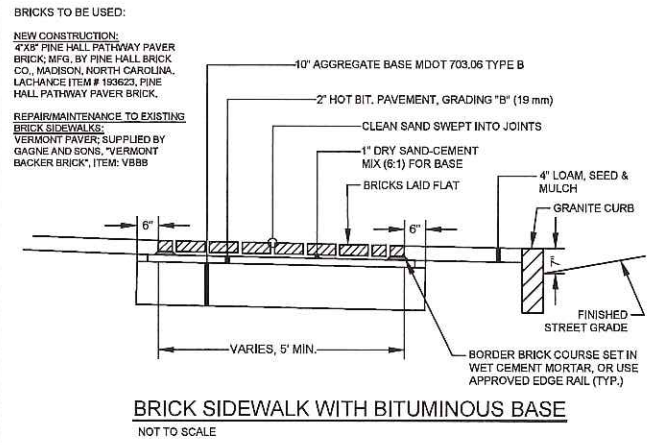


Civil Engineering - Land Planning - Stormwater Design - Environmental Permitting

SHEET DESCRIPTION
ONEJOY PLACE
1 JOY PLACE, PORTLAND, MAINE 04102
UTILITY PLAN
PREPARED FOR
ONEJOY PLACE, LLC
C/O RENEWAL HOUSING ASSOCIATES, LLC
2 UNION STREET, 5TH FLOOR
PORTLAND, MAINE 04101

DATE: 3/7/2017
SCALE: 1" = 10'
DESIGNED: MTW
JOB NO: 1704
FILE: 1704-BASE.DWG
SHEET **C-5.0**





P.E. MICHAEL E. TADMAWIELAND
 DATE: 3/20/2018

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1	4-25-2017	SUBMITTED TO CITY OF PORTLAND FOR REVIEW
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855 CONGRESS STREET
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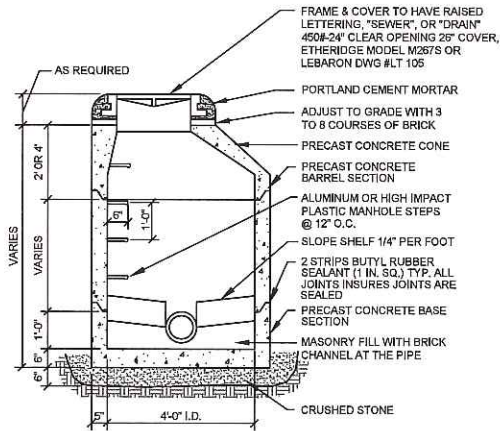
TERRADYN CONSULTANTS, LLC
 Civil Engineering • Land Planning • Stormwater Design • Environmental Permitting

SHEET DESCRIPTION
ONEJOY PLACE
 1 JOY PLACE, PORTLAND, MAINE 04102
SITE DETAILS

PREPARED FOR
ONEJOY PLACE, LLC
 C/O RENEWAL HOUSING ASSOCIATES, LLC
 2 UNION STREET, 5TH FLOOR
 PORTLAND, MAINE 04101

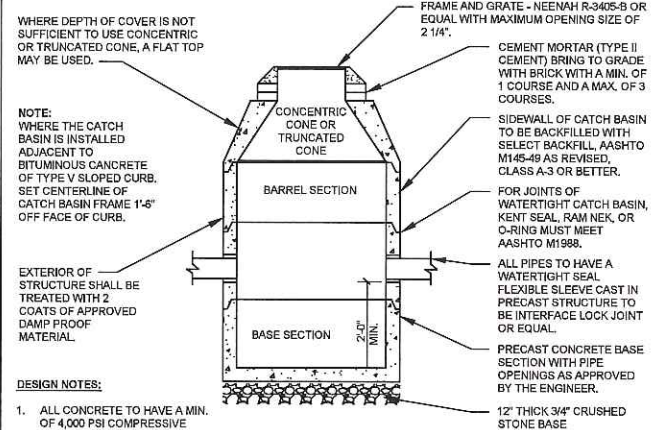
DATE: 3/7/2017
 SCALE: N.T.S.
 DESIGNED: MTW
 JOB NO: 1704
 FILE: 1704-DETAILS.DWG

SHEET **C-6.0**



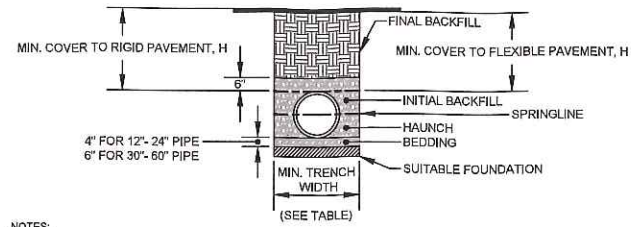
NOTE: PIPE CONNECTIONS SHALL BE WATERTIGHT FLEXIBLE BOOT CONNECTORS PROVIDES LEAKPROOF CONNECTION

PRECAST CONCRETE MANHOLE
NOT TO SCALE



- DESIGN NOTES:**
1. ALL CONCRETE TO HAVE A MIN. OF 4,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS.
 2. DESIGN LOAD FOR H-20 WHEEL LOAD.
 3. CATCH BASIN TO CONFORM TO ASTM-C478 SPECIFICATIONS.
 4. REINFORCE TO 0.12 IN SQ./LF.

TYPICAL CATCH BASIN
NOT TO SCALE



- NOTES:**
1. ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION
 2. MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
 3. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER, AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
 4. BEDDING: SUITABLE MATERIAL SHALL BE CLASS II, II OR III, THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100mm-600mm); 6" (150mm) FOR 30"-60" (750mm-900mm).
 5. INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE, THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
 6. MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATON. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR 54"-60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.
 7. INSULATION: RIGID INSULATION SHALL BE PROVIDED FOR PIPES WITH LESS THAN 4" OF COVER IN ACCORDANCE WITH THE FOLLOWING TABLE:

RECOMMENDED MINIMUM TRENCH WIDTHS

PIPE DIAM.	MIN. TRENCH WIDTH
6"	21"
8"	23"
10"	25"
12"	28"
15"	34"
18"	39"
24"	48"
30"	56"
36"	64"
42"	72"
48"	80"
54"	88"
60"	96"

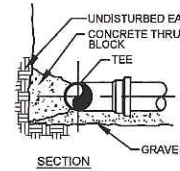
MINIMUM RECOMMENDED COVER BASED ON VEHICLE LOADING CONDITIONS

PIPE DIAM.	H-25 (75T AXLE LOAD)	HEAVY CONSTRUCTION
12" - 48"	12"	48"
54" - 60"	24"	60"

* VEHICLES IN EXCESS OF 75T MAY REQUIRE ADDITIONAL COVER

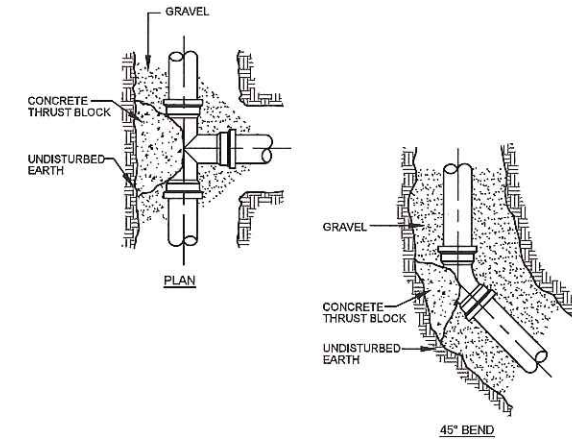
COVER OVER PIPE	INSULATION THICKNESS
12" - 24"	3"
24" - 36"	2"
36" - 48"	1"
48"+	NONE

TYPICAL TRENCH DETAIL
NOT TO SCALE

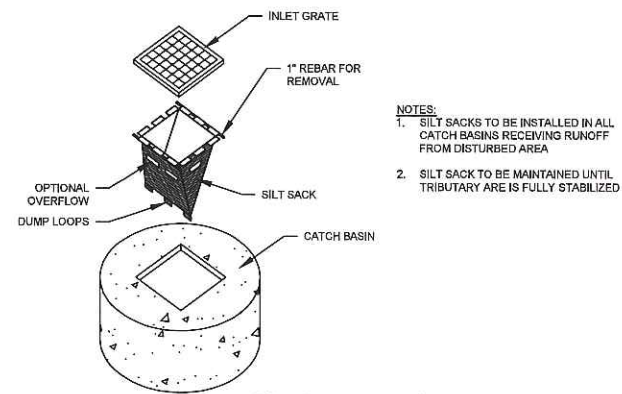


CONCRETE THRUST BLOCK SIZE REQUIREMENTS

FITTINGS	SQ. FT. OF BEARING ON UNDISTURBED SOIL		
	90° BENDS	45° BENDS	TEES AND PLUGS
6"	4.0	2.0	3.0
8"	8.0	4.0	6.0
12"	15	10	10

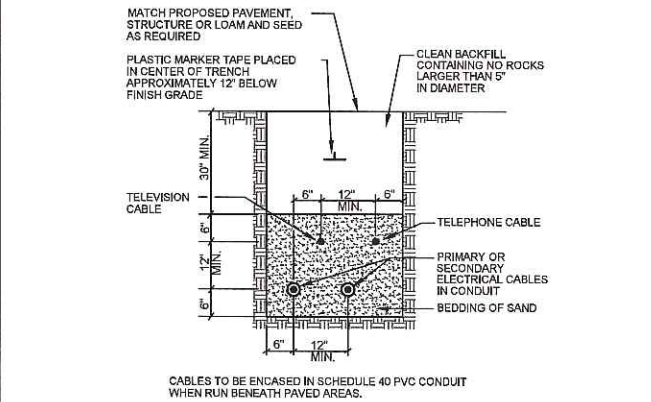


TEE & BEND DETAIL
NOT TO SCALE

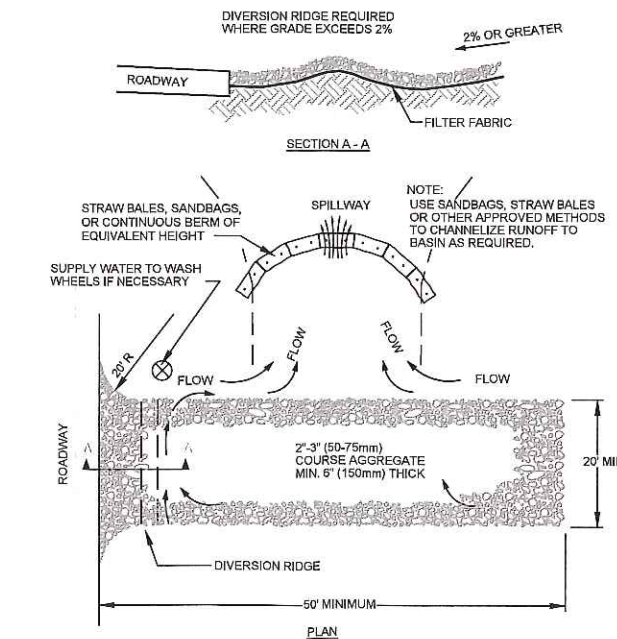


- NOTES:**
1. SILT SACKS TO BE INSTALLED IN ALL CATCH BASINS RECEIVING RUNOFF FROM DISTURBED AREA
 2. SILT SACK TO BE MAINTAINED UNTIL TRIBUTARY ARE IS FULLY STABILIZED

SILT SACK DETAIL
NOT TO SCALE

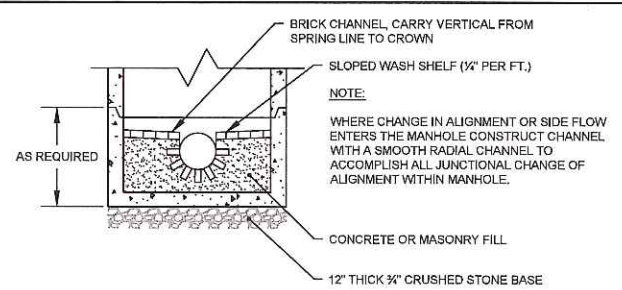


TYPICAL UNDERGROUND CABLE INSTALLATION
NOT TO SCALE

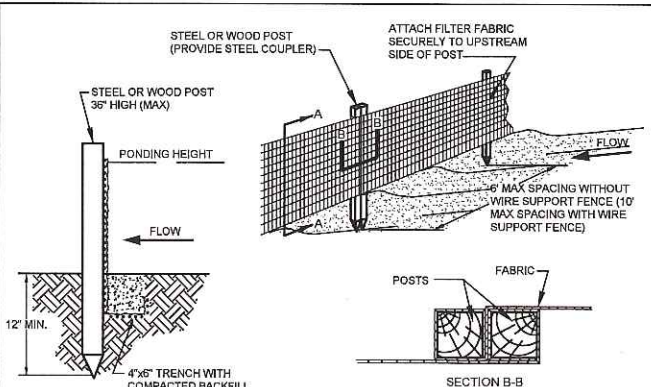


- NOTES:**
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

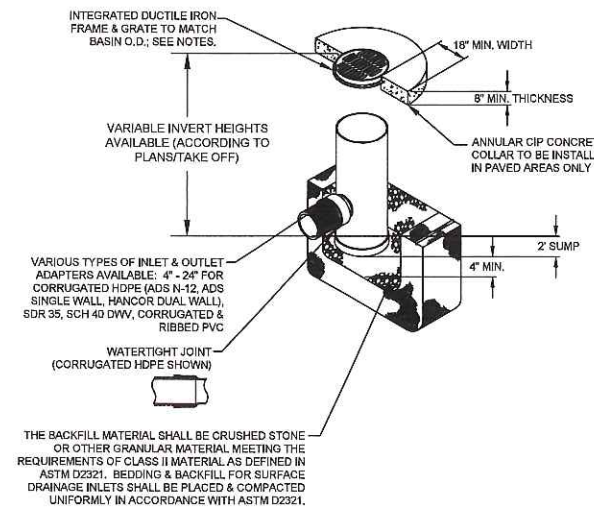
STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



MANHOLE CHANNEL INVERT INSTALLATION
NOT TO SCALE

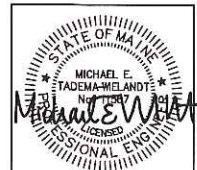


SILT FENCE
NOT TO SCALE



- NOTES:**
1. GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05,
 2. FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05
 3. DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS & HANCOR DUAL WALL) & SDR 35 PVC
 4. ALL CATCH BASINS SHALL HAVE STANDARD H-20 GRATES
 5. ALL DRAIN MANHOLES SHALL HAVE SOLID COVER

NYLOPLAST DRAIN BASIN
NOT TO SCALE



P.E. MICHAEL E. TADEMAWIELAND
DATE: 3/20/2018

NO.	DATE	REVISIONS
1	4-25-2017	SUBMITTED TO CITY OF PORTLAND FOR REVIEW
2	8-7-2017	REVISED PER STAFF & DESIGNER COMMENTS
3	8-29-2017	REVISED PER STAFF COMMENTS
4	8-13-2017	REVISED PER STAFF COMMENTS
5	1-11-2018	ISSUED FOR BID
6	2-22-2018	REVISED LIGHT POLE LOCATION
7	3-20-2018	REVISED PER CITY OF PORTLAND STAFF COMMENTS

SEE CONGRESS STREET
SITE PLAN
PORTLAND, ME 04102

P.O. BOX 398
111 BLOSSOMBERY LANE
NEW GLoucester, ME 04260

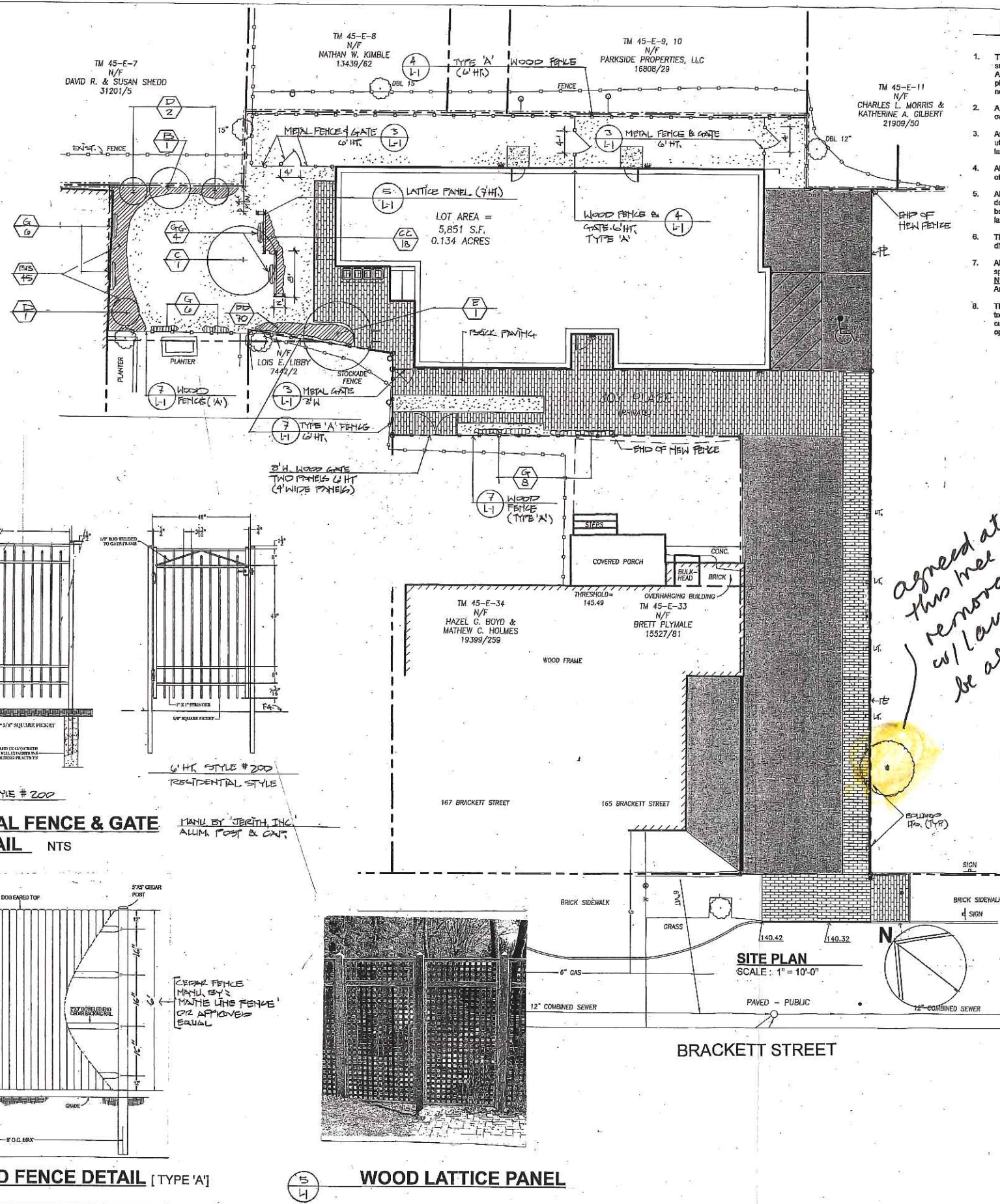
OFFICE: (207) 926-5111 FAX: (207) 221-1317
www.terradynconsultants.com

TERRADYN CONSULTANTS, LLC
Civil Engineering - Land Planning - Stormwater Design - Environmental Permitting

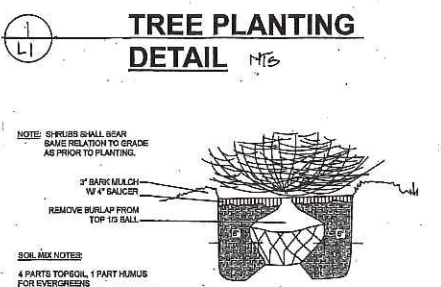
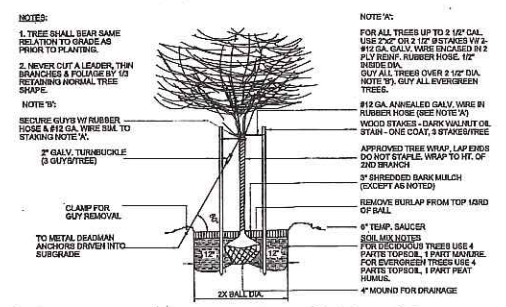
SHEET DESCRIPTION
ONEJOY PLACE
1 JOY PLACE, PORTLAND, MAINE 04102
UTILITY & DRAINAGE DETAILS

PREPARED FOR
ONEJOY PLACE, LLC
C/O RENEWAL HOUSING ASSOCIATES, LLC
2 UNION STREET, 5TH FLOOR
PORTLAND, MAINE 04101

DATE: 3/7/2017
SCALE: N.T.S.
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SHEET **C-6.1**



- ### PLANTING NOTES
1. The contractor shall supply all plants in quantities sufficient to complete the work shown on plan. Any discrepancies between quantities shown on plan and those required by this drawing shall not entitle contractor to additional remuneration.
 2. Any plant substitutions must be approved by the owner.
 3. Any tree or shrub which comes over or under any utility shall be relocated on the site by the landscape architect.
 4. All lawn areas to have 6" of topsoil unless noted otherwise.
 5. All trees and shrubs shall be placed in the designated areas as shown on the plan and before planting shall be approved by the landscape architect.
 6. The contractor shall relocate any tree or shrub as directed by the landscape architect.
 7. All plant material installed shall meet the specifications of the American Standard for Nursery Stock (latest edition) as set forth by the American Association of Nurserymen.
 8. The landscape contractor shall replace or repair to original condition any and all utilities, paving, cutting, etc., damaged as a result of their operations at no additional cost to the owner.



Handwritten notes:
 Agreed at Pro Con
 this tree to be removed - replace with
 w/ land's capping to be agreed Todd/Neil + Jeff Farling (aka Arbaust)

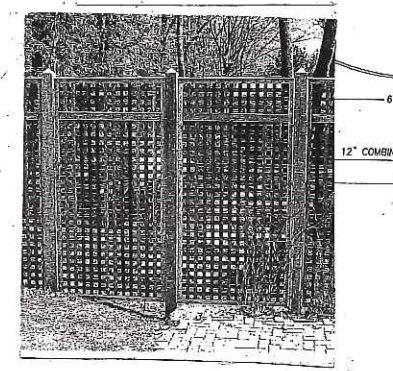
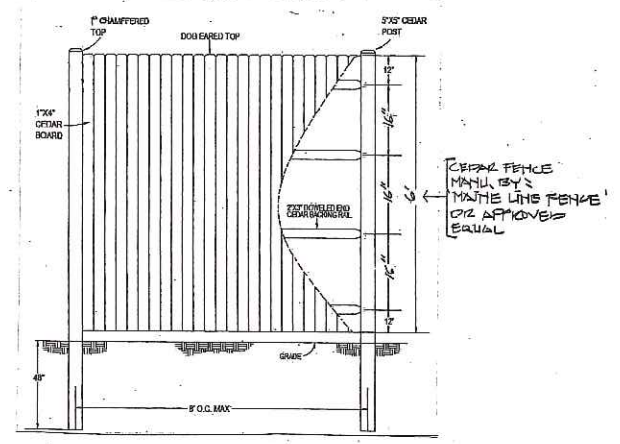
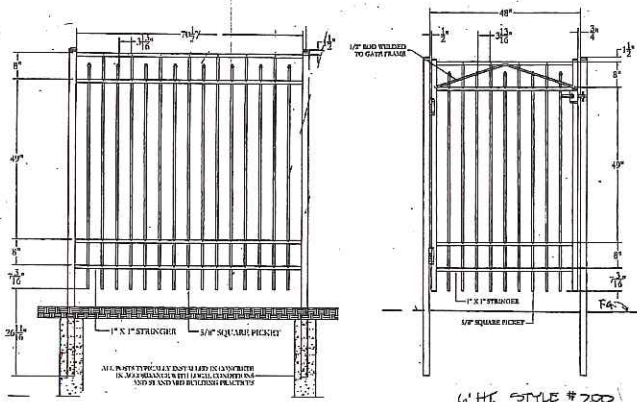
PLANT LIST

TREES, SHRUBS & VINES

KEY	COMMON & BOTANICAL NAME	SIZE	ROOT	QTY	NOTES
B	COCKSPUR THORNLESS HAWTHORNE C. CRUZGALLI 'NERMIS'	1 1/2 Cal.	B&B	1	
C	AMERICAN HORNBEAM CARPINUS CAROLINIANA	1.75" Cal.	B&B	1	SINGLE STEM
D	SHASTA VIBURNUM V. PLICATUM VAR. TOMENTOSUM 'SHASTA'	4-5' HT.	B&B	3	3 CANES
E	CORNELIAN CHERRY C. MAS	4-5' HT.	B&B	1	3 TRUNK
F	'SUMMER SNOWFLAKE' VIBURNUM V. PLICATUM VAR. TOMENTOSUM 'SUMMER SNOWFLAKE'	#5	CONT	2	
G	VIRGINIA CREEPER Parthenocissus Quinquefolia		CONT	18	Vine

PERENNIALS

BB	DAYLILY VAR. HEMEROCALLIS		PTD	45	BLOOM IN JULY THRU SEPT
CC	ASTILBE ASTILBE X ARENDISIS 'WHITE GLORY'		PTD	18	
DD	WILD GINGER ASARUM EUROPEUM		CONT.	70	@ 9" OC



Anthony Muench Landscape Architect
 94 Commercial Street, Portland, ME 04101 (207) 875-1111

NOT FOR CONSTRUCTION

ONEJOY PLACE CONDOMINIUM
 1 JOY PLACE, PORTLAND, MAINE

LANDSCAPE PLAN
L.1
 REV. 7.13.17
 REV. 8.7.17
 REV. 5.28.17