

**45-E-42
40-44 Pine Street
West End Place
Redfern**

#2012-612

Plan References:

1. Plan of the Widow Brackett Dower recorded October 10, 1823 at the Cumberland County Registry of Deeds (CCRD) in Book 126, Page 525.
2. City of Portland Atlas dated 1858, on file at CCRD.
3. City of Portland Atlas, Plate 48C, dated 1872, on file at CCRD.
4. City of Portland Revaluation Plans, dated 1882, recorded October 24, 1884 in CCRD Plan Book 5, Page 45.
5. Sanborn Insurance Maps of Portland, Maine, Volume One, Sheet 52, dated 1909, last revised September 1954, on file at CCRD.
6. "Standard Boundary & Topographic Survey At Reiche School, Pine St., Brackett St., Spring St. & Clark St., Portland, Maine Made For Portland Parks & Recreation Dept.", dated February 2, 2001, revised February 27, 2001 by Owen Haskell, Inc., Portland Maine.
7. "Boundary Survey, Pine St & Brackett St, Portland, Maine Prepared For Merle Clarke, Clarke Properties, Inc.", dated February 2006 by TKM Land Surveyors, Inc., recorded March 1, 2006 in CCRD Plan Book 206, Page 130.
8. "110 Winter Street Condominium Located At 110 Winter Street, Portland, Maine Made For Jill Keefe", dated September 19, 2005 by Northeastern Land Surveying, Gorham, Maine, recorded May 16, 2006 in CCRD Plan Book 206, Page 308.
9. "Condominium Plat, Pine And Winter St. Condominiums, #34 Pine Street & #118, #124 & #126 Winter Street, Portland, Maine Made For Record Owner Vail Properties LLC", dated January 10, 2006, recorded October 26, 2006 in CCRD Plan Book 206, Page 675.

Locus Deed References:

Kenneth S. Ray
To
Clarke Properties, Inc.
dated November 25, 2008 and recorded November 26, 2008 at the Cumberland County Registry of Deeds in Book 26474, Page 295.

Locus Parcel A
45-E-41
40 Pine Street

Katherine R. Ward
To
Merle W. Clarke
dated October 25, 2005 and recorded October 28, 2005 at the Cumberland County Registry of Deeds in Book 23324, Page 178.

Locus Parcel B
45-E-41
189 Brackett Street

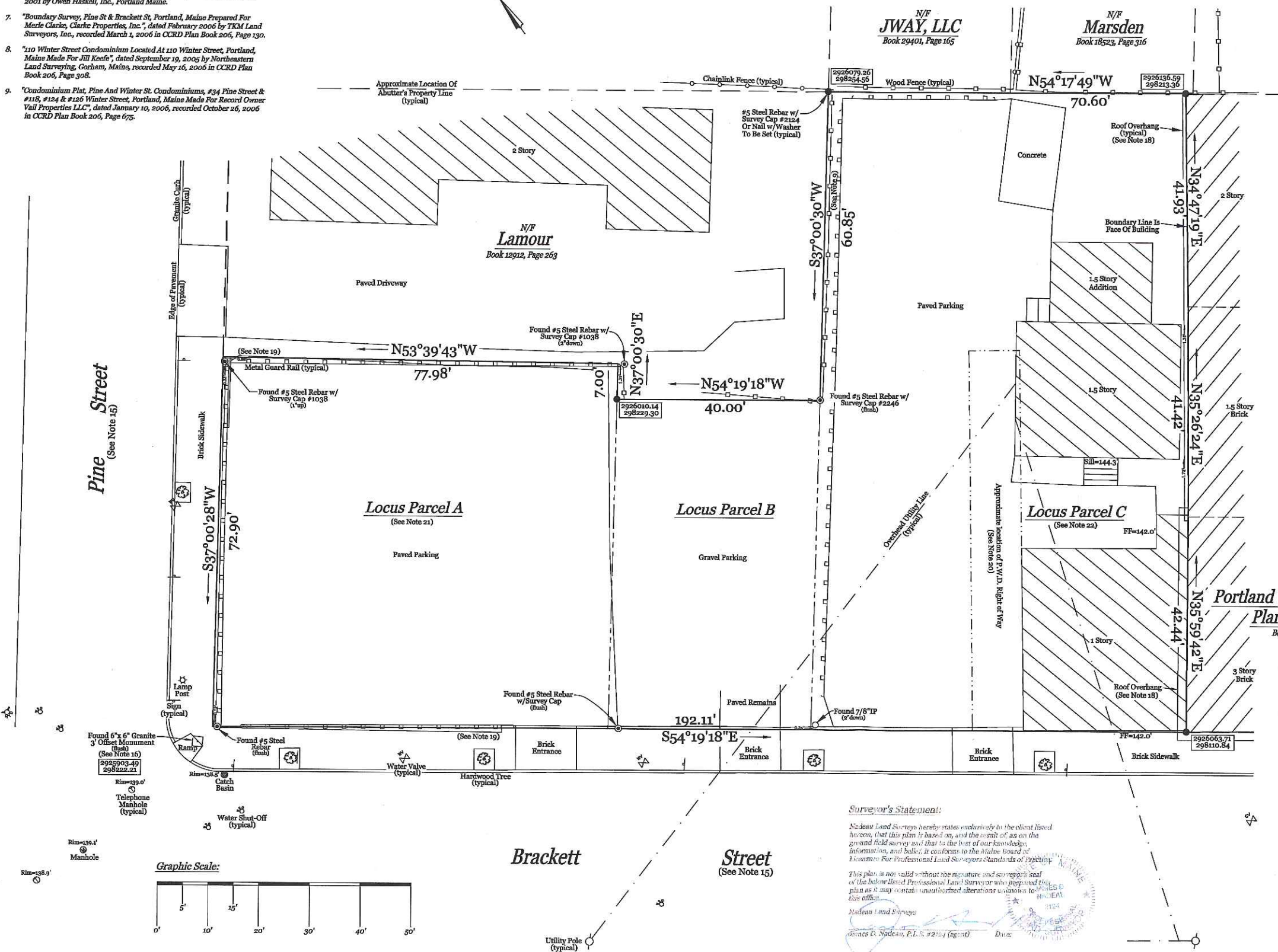
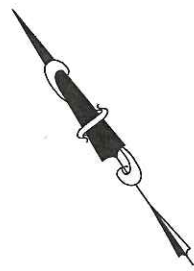
James F. Ward
To
Daniel W. Stevens & John R. Jordan
dated and recorded March 15, 1996 at the Cumberland County Registry of Deeds in Book 12401, Page 1.

Locus Parcel C
45-E-39+40
183 Brackett Street

General Notes:

1. This plan is not intended to depict limits or extent of fee title ownership. An opinion of title should be rendered by a title attorney.
2. This office reserves the right to be held harmless by all 3rd party claims.
3. This survey does not purport to reflect any of the following:
a. easements other than those that are visible or specifically stated in the referenced documents.
b. building setback compliance or restrictive covenants.
c. zoning or other land use regulations.
d. the location of any underground utilities or structures.
4. This office reserves the right to be held harmless for unknown or unobtainable private records which could affect the results of this survey.
5. Reference is made to "Contract For Land Surveying Services" between Nadeau Land Surveys and the below listed client(s), which shall be considered an integral part of this survey.
6. N/F is an abbreviation for Now or Formerly.
7. All deeds referenced on this plan are recorded at the Cumberland County Registry of Deeds (CCRD).
8. This office does not accept any liability for errors in the Plan References listed herein.
9. Abutter's wood fence appears to encroach on Locus Parcel.
10. Total area of Locus Parcels is 17,388 square feet (0.40 acre).
11. The apparent right of way lines depicted on this plan are based on the Plan References listed hereon and monumentation found in the field, and City of Portland Engineering Street Notes.
12. The Locus Parcel does not scale in a Special Flood Hazard Area per FEMA Flood Insurance Rate Map Community-Panel Number 230051 0013B, index dated December 8, 1998. The parcel scales in Zone C.
13. All building corner offsets to boundary lines are from cornerboards and not building foundation, unless noted.
14. Call 1-888-DIGSAFE at least three business days before performing ANY excavation.
15. Per City of Portland Records Vol. 2, Page 425, Pine Street was accepted March 26, 1827 as 50 feet wide. Per City of Portland Records Vol. 3, Page 112, Brackett Street was accepted April 15, 1830 as 49.5 feet wide.
16. Vertical Datum is NGVD29. Benchmark is T130-55-137, El. 139.180', granite 3ft offset monument per DPW Engineering Control.
17. The underground utilities shown have been located from field survey information and existing drawings. This office makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in-service or abandoned. The underground utilities shown are approximate location and are located as accurately as possible from information available. This office has not physically located the underground utilities.
18. See CCRD Book 3016, Page 503, dated August 10, 1967, from George H. Bartlett to Charles B. Turner, for abutter's easement to maintain, repair, and replace building, roof, and gutters.
19. Locus Parcel's paved parking appears to encroach on abutting property.
20. See CCRD Book 2677, Page 390, dated May 3, 1962, from Charles B. & Bernice E. Turner to Portland Water District, for a ten foot wide right of way centered on an existing water service pipe (not found or field located). This office recommends a discussion with PWD as to status of this right of way.
21. See CCRD Book 26903, Page 76, dated May 18, 2009, for Right To Purchase Agreement between Clarke Properties, Inc. and 188 State Street LLC.
22. See CCRD Book 27335, Page 166, dated October 13, 2009, for Affidavit Of Ethan Strimling.

Grid North
MSPC NAD83, 1802 (West Zone)



Portland West Neighborhood Planning Council
Book 10496, Page 260
(See Note 18)

Surveyor's Statement:
Nadeau Land Surveys hereby states exclusively to the client listed hereon, that this plan is based on, and the result of, as on the ground field survey and that to the best of our knowledge, information, and belief, it conforms to the Maine Board of Licensure For Professional Land Surveyors Standards of Practice.
This plan is not valid without the signature and surveyor's seal of the below listed Professional Land Surveyor who prepared this plan as it may contain unauthorized alterations unknown to this office.
Nadeau Land Surveys
James D. Nadeau, P.L.S. #2154 (reg-11) Date: _____

Revised 1-10-2013: Added coordinates and adjusted title

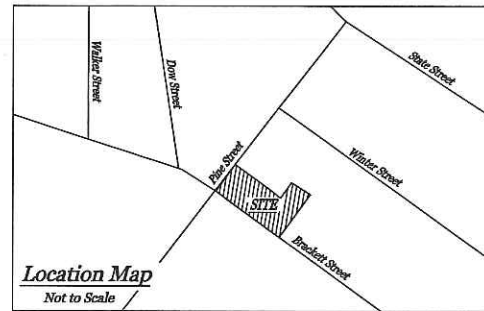
Plan Depicting The Results Of A Boundary Survey & Existing Conditions Survey Made For Harborview Development, LLC
Southeasterly Sideline Of Pine Street & Northeasterly Sideline Of Brackett Street
Portland, Maine

PREPARED BY:
Nadeau Land Surveys
Professional Land Surveyors
Certified Floodplain Managers

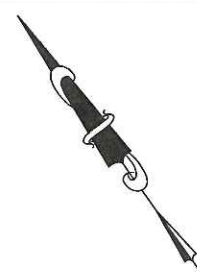
918 BRIGHTON AVENUE
PORTLAND, ME 04102

PH: (207) 878-7870
FAX: (207) 878-7871

RECORD OWNER: Clarke Properties, Inc., Merle W. Clarke, and Daniel W. Stevens & John R. Jordan c/o 40 Portland Pier #2 Portland, Maine 04101	DRAWN BY: TPB	PLAN DATE: 08/20/2012
FIELD BOOK: FB 398 & Topcon Kanger	CHECKED BY: JDN/MLC	SURVEY DATE: July 2012
JOB No.: 2121305BTR1	INSR: Topcon GPT-3003W & Topcon Hyper II GPS	SCALE: 1" = 10'
		SHEET No.: 1 of 1



Grid North
MSPC NAD83, 1802 (West Zone)



Locus Deed References:

Kenneth S. Ray
to
Clarke Properties, Inc.
dated November 25, 2008 and recorded November 26, 2008 at the Cumberland County Registry of Deeds in Book 20474, Page 295.
Locus Parcel A
45-E-42+50
40 Pine Street

Katherine R. Ward
to
Merle W. Clarke
dated October 25, 2005 and recorded October 28, 2005 at the Cumberland County Registry of Deeds in Book 23324, Page 179.
Locus Parcel B
45-E-41
189 Brackett Street

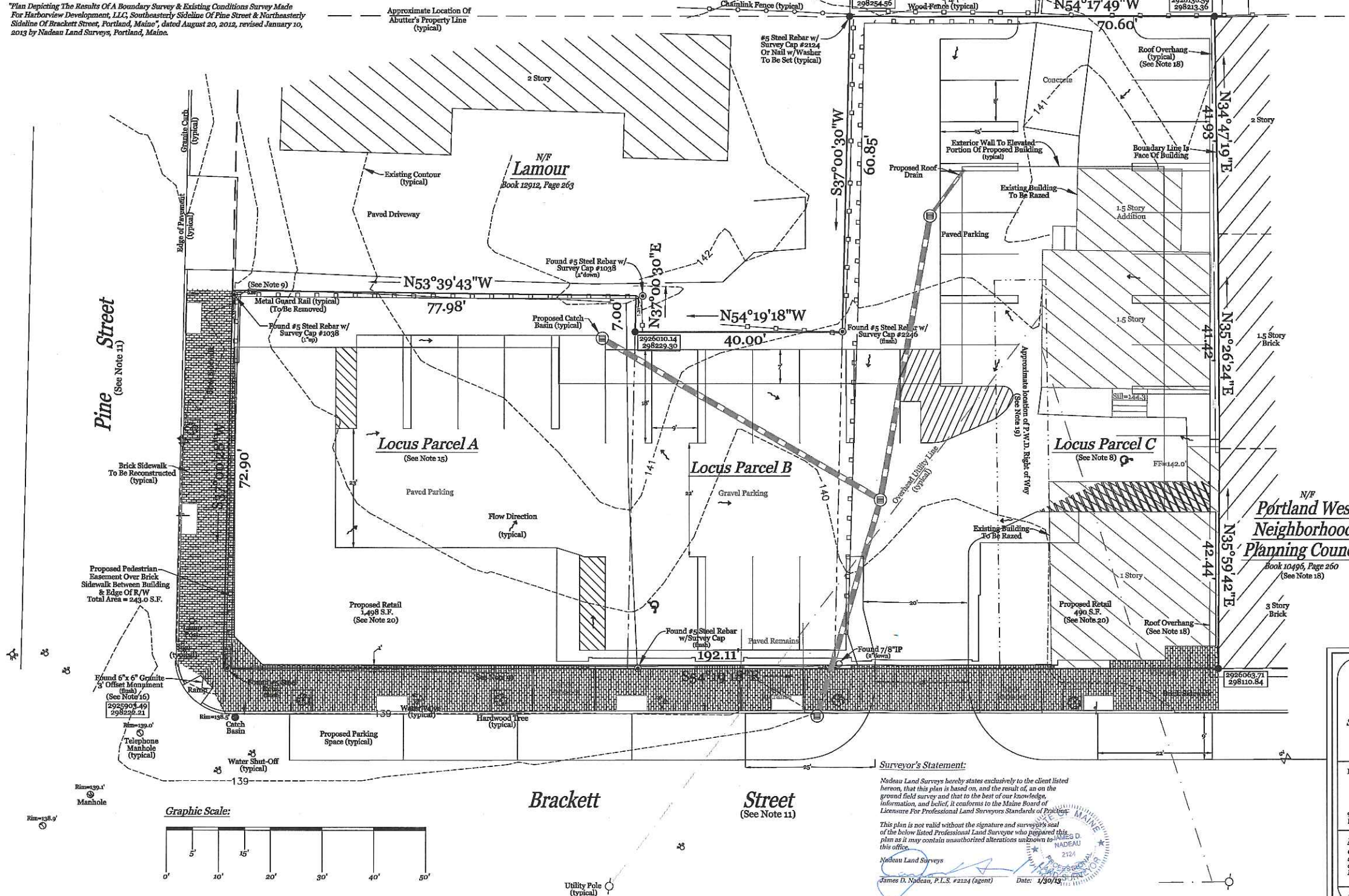
James F. Ward
to
Daniel W. Stevens & John R. Jordan
dated and recorded March 15, 1996 at the Cumberland County Registry of Deeds in Book 12401, Page 1.
Locus Parcel C
45-E-39+40
183 Brackett Street

General Notes:

- This plan is not intended to depict limits or extent of fee title ownership. An opinion of title should be rendered by a title attorney.
- This office reserves the right to be held harmless by all 3rd party claims.
- This survey does not purport to reflect any of the following:
 - assessments other than those that are visible or specifically stated in the referenced documents.
 - building setback compliance or restrictive covenants.
 - zoning or other land use regulations.
 - the location of any underground utilities or structures.
- This office reserves the right to be held harmless for unknown or unobtainable private records which could affect the results of this survey.
- Reference is made to "Contract For Land Surveying Services" between Nadeau Land Surveys and the below listed client(s), which shall be considered an integral part of this survey.
- N/F is an abbreviation for Now or Formerly.
- All deeds referenced on this plan are recorded at the Cumberland County Registry of Deeds (CCRD).
- See CCRD Book 27335, Page 166, dated October 13, 2009, for Affidavit Of Eban Strimling.
- Locus Parcel's paved parking appears to encroach on abutting property.
- Total area of Locus Parcels is 17,388 square feet (0.40 acre).
- The apparent right of way lines of the two accepted city streets depicted on this plan are based on the Plan References listed herein, monumentation found in the field, and City of Portland Engineering Street Notes.
- The Locus Parcel does not scale in a Special Flood Hazard Area per FEMA Flood Insurance Rate Map Community-Panel Number 230051 0013B, index dated December 8, 1998. The parcel scales in Zone C.
- All building corner offsets to boundary lines are from cornerboards and not building foundation, unless noted.
- Call 1-888-DIGSAFE at least three business days before performing ANY excavation.
- See CCRD Book 26903, Page 76, dated May 18, 2009, for Right To Purchase Agreement between Clarke Properties, Inc. and 183 State Street LLC.
- Vertical Datum is NGVD29. Benchmark is T30-55-137, EL 139.180', granite silt offset monument per DPW Engineering Control.
- The underground utilities shown have been located from field survey information and existing drawings. This office makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in-service or abandoned. The underground utilities shown are approximate locations and are located as accurately as possible from information available. This office has not physically located the underground utilities.
- See CCRD Book 3016, Page 502, dated August 10, 1967, from George H. Bartlett to Charles B. Turner, for abutter's agreement to maintain, repair, and replace building, roof, and gutters.
- See CCRD Book 2677, Page 590, dated May 3, 1962, from Charles B. & Bernice E. Turner to Portland Water District, for a ten foot wide right of way centered on an existing water service pipe (not found or field located). This office recommends a discussion with PWD as to status of this right of way.
- Locus Parcel is located in Zone B1. The proposed building shall contain 39 rental apartments on floors 2, 3, and 4, with 2 retail suites on the ground floor. Reference should be made to design plans prepared by other consultants for location and sizes of units.

Plan Reference:

"Plan Depicting The Results Of A Boundary Survey & Existing Conditions Survey Made For Harborview Development, LLC, Southeastery Sideline Of Pine Street & Northeastery Sideline Of Brackett Street, Portland, Maine", dated August 20, 2012, revised January 10, 2013 by Nadeau Land Surveys, Portland, Maine.

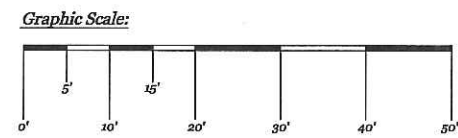


Approved By The City Of Portland Planning Board:

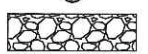
Name: _____ Date: _____

Plan Depicting A Proposed Subdivision:
West End Place
Southeasterly Sideline Of Pine Street & Northeastery Sideline Of Brackett Street
Portland, Maine

PREPARED BY: 918 BRIGHTON AVENUE PORTLAND, ME 04102		Nadeau Land Surveys Professional Land Surveyors Certified Floodplain Managers PH (207) 876-7870 FAX (207) 878-7871	
RECORD OWNER: Clarke Properties, Inc., Merle W. Clarke, and Daniel W. Stevens & John R. Jordan 270-40 Portland Pier #2 Portland, Maine 04101	DRAWN BY: TFB CHECKED BY: JDN/MLC INSTR: Topcon GPT-3003W & Topcon Hyper II GPS	PLAN DATE: 1/30/2013 SURVEY DATE: July 2012 SCALE: 1" = 10' SHEET No: 1 of 1	FIELD BOOK: FB 398 & Topcon Ranger JOB No: 2121305SUB



LEGEND

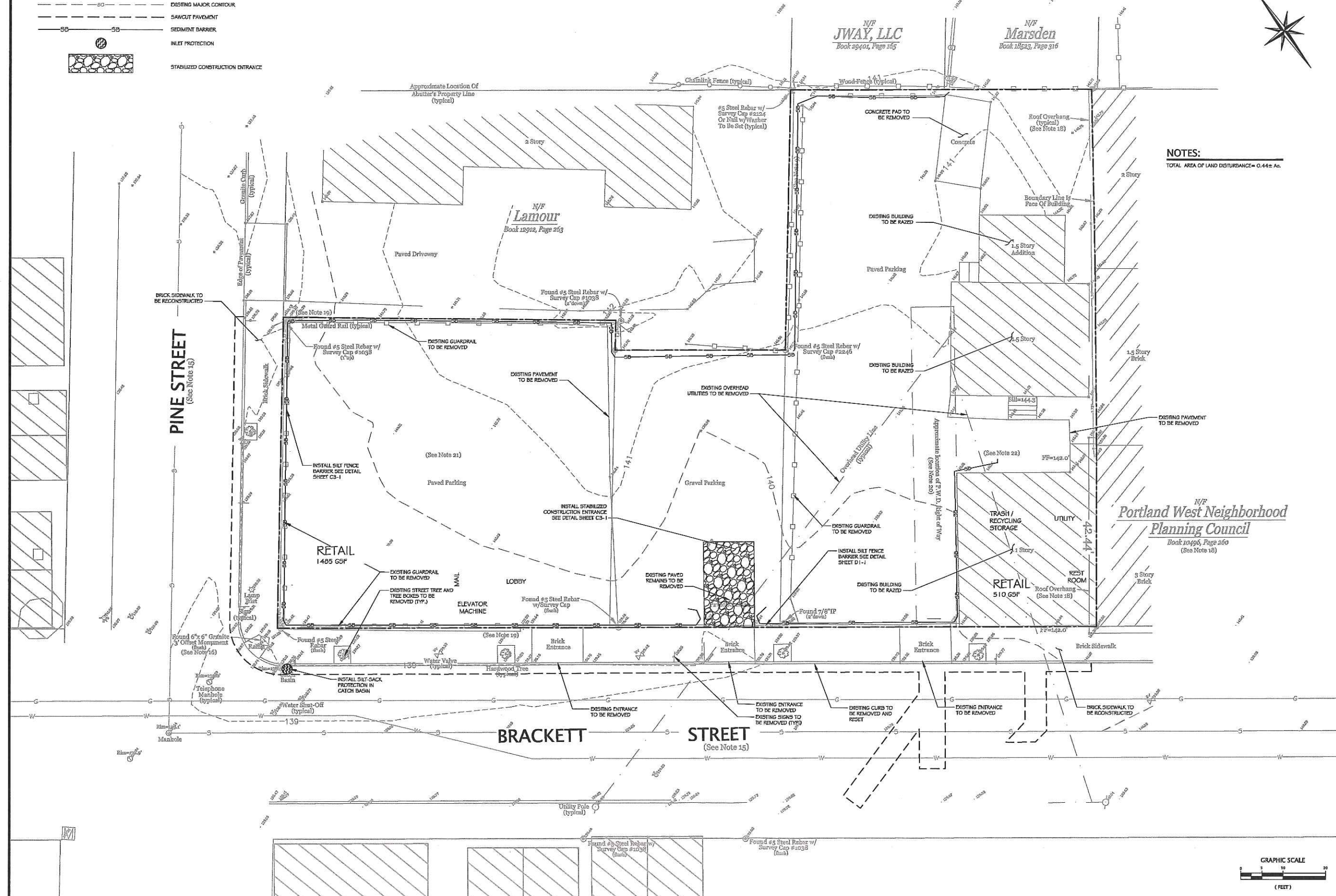
- PROPERTY LINE
- - - - - EXISTING MINOR CONTOUR
- - - - - EXISTING MAJOR CONTOUR
- - - - - SAWCUT PAVEMENT
- S---S--- SEDIMENT BARRIER
- ⊙ INLET PROTECTION
-  STABILIZED CONSTRUCTION ENTRANCE

PLAN REFERENCE:

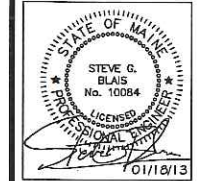
PLAN DEPICTING THE RESULTS OF A BOUNDARY SURVEY & EXISTING CONDITIONS SURVEY MADE FOR HARDORVIEW DEVELOPMENT, LLC. SOUTHEASTERLY SIDELINE OF PINE STREET AND NORTHWESTERLY SIDELINE OF BRACKETT STREET PORTLAND, MAINE. PREPARED BY: NADIAU LAND SURVEY'S PROFESSIONAL LAND SURVEYORS CERTIFIED FLOOD PLAN MANAGERS, 810 BRIGHTON AVENUE, PORTLAND, MAINE 04102. PLAN DATE: 08/29/2012 SURVEY DATE: JULY 20 12 SCALE: 1"=10' SHEET 1 OF 1



NOTES:
TOTAL AREA OF LAND DISTURBANCE = 0.44± AC.



REVISIONS	
NO.	DESCRIPTION
1	12/20/12 REVISED PER COMMENT



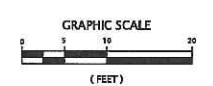
Blais civil engineers
780 BROADWAY, SO. PORTLAND, ME 04106 (207) 767-7300
© 2012 BLAIS CIVIL ENGINEERS, PA

EXISTING CONDITIONS, DEMOLITION, E&SC PLAN
WEST END PLACE
BRACKETT STREET PORTLAND, MAINE
PREPARED FOR:
REDFERN LWS, LLC
P.O. BOX 8816
PORTLAND, MAINE 04101

LATEST REVISION SEE REV. NUMBER:
DATE: OCTOBER 09, 2012
DESIGNED BY: JW
DRAWN BY: MW
CHECKED BY: SB
BCE PROJECT NO: 12137

C1-1

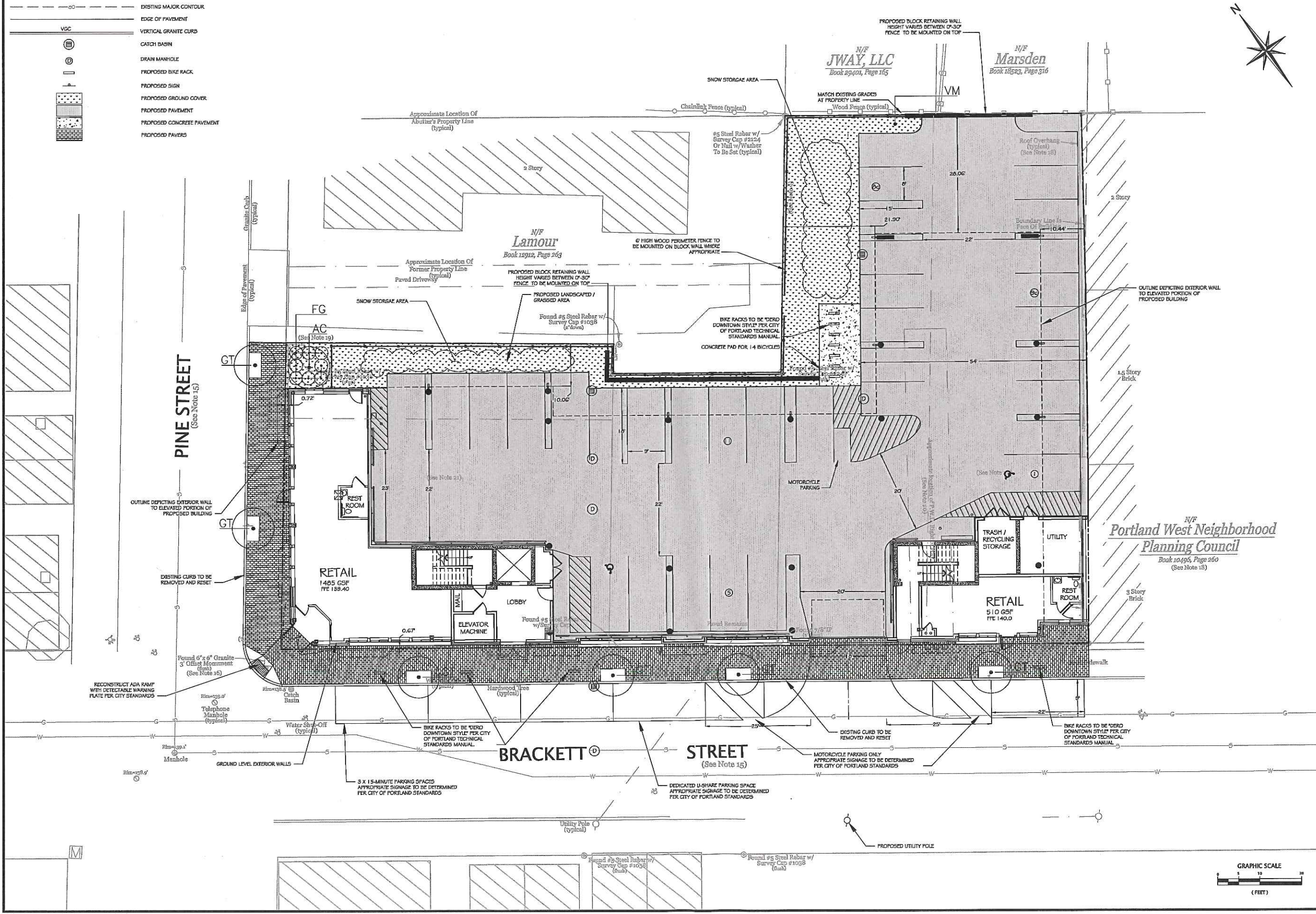
ISSUED FOR SUBMITTAL TO CITY 01/18/2013



LEGEND

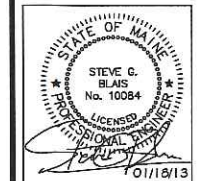
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	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EDGE OF PAVEMENT
	VERTICAL GRANITE CURB
	CATCH BASIN
	DRAIN MANHOLE
	PROPOSED BIKE RACK
	PROPOSED SIGN
	PROPOSED GROUND COVER
	PROPOSED PAVEMENT
	PROPOSED CONCRETE PAVEMENT
	PROPOSED PAVERS

NOTES:
 1. ALL WORK WITHIN THE ROAD RIGHT OF WAY WILL MEET CITY OF PORTLAND TECHNICAL MANUAL STANDARDS.



REVISIONS

No.	DATE	DESCRIPTION



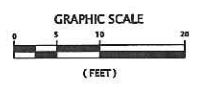
Blais
 civil engineers
 760 BROADWAY, 50. PORTLAND, ME 04106 (207) 767-7300
 © 2012 BLAIS CIVIL ENGINEERS, P.A.

LAYOUT & MATERIALS PLAN
WEST END PLACE
BRACKETT STREET PORTLAND, MAINE
 PREPARED FOR:
REDFERN LWS, LLC
 P.O. BOX 8816
 PORTLAND, MAINE 04101

LATEST REVISION (SEE REV. LOG):
 DATE: OCTOBER 09, 2012
 DESIGNED BY: JW
 DRAWN BY: MV
 CHECKED BY: SB
 BCE PROJECT NO: 12137

C1-2

ISSUED FOR SUBMITTAL TO CITY 01/18/2013



LEGEND

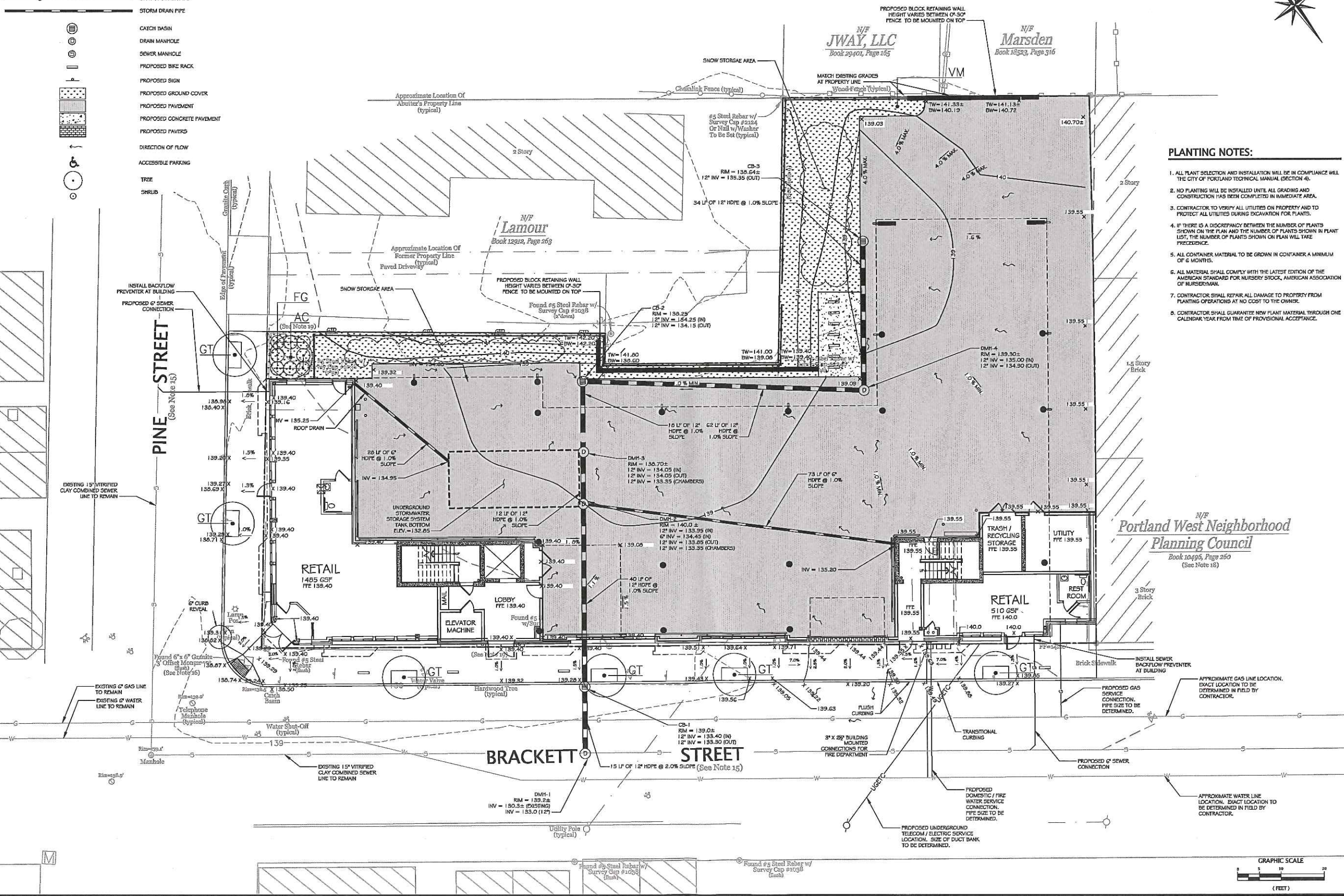
- PROPERTY LINE
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- G ----- GAS LINE
- W ----- WATERLINE
- S ----- GRAVITY SEWER PIPE
- STORM DRAIN PIPE
- CATCH BASIN
- DRAIN MANHOLE
- SEWER MANHOLE
- PROPOSED BIKE RACK
- PROPOSED SIGN
- PROPOSED GROUND COVER
- PROPOSED PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- PROPOSED PAVERS
- DIRECTION OF FLOW
- ACCESSIBLE PARKING
- TREE
- SHRUB

NOTES:

1. EXISTING UTILITY LOCATIONS REFERENCED FROM "RECONSTRUCTION OF BRACKETT STREET - DANFORTH ST TO PINE ST, PLAN AND PROFILE, SHEET 9 OF 25", PREPARED FOR PORTLAND RENOVAL AUTHORITY BY HUNTER-BALLEW ASSOCIATES, DATED 8-1-175.
2. EXISTING UTILITY LOCATIONS APPROXIMATE ONLY. EXACT SIZE AND LOCATION OF EXISTING UTILITIES TO BE FIELD DETERMINED BY CONTRACTOR PRIOR TO CONSTRUCTION.
3. PROPOSED UTILITY POLE TO HAVE 3 X 100 SVA POLE-MOUNTED TRANSFORMERS, AS DISCUSSED IN THE FIELD WITH CMP ON SEPTEMBER 27TH, 2012
4. BRICK SIDEWALK HATCH NOT SHOWN ON THIS PLAN FOR CLARITY

PROPOSED PLANT LIST:

Symbol	Botanical Name	Common Name	Quantity	Size	Comment
AC	TR225	Shadblow	1	6" Ø	B/B
GT	Anemone canadensis	Honey Locust	6	2.5" cal.	B/B
FG	SHRUBS	Dwarf Witchhazel	8	5 gal.	
VM	Ground Cover	Penwink	1,620	plug	

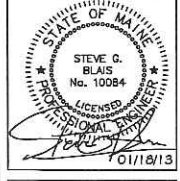


PLANTING NOTES:

1. ALL PLANT SELECTION AND INSTALLATION WILL BE IN COMPLIANCE WITH THE CITY OF PORTLAND TECHNICAL MANUAL (SECTION 4).
2. NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN IMMEDIATE AREA.
3. CONTRACTOR TO VERIFY ALL UTILITIES ON PROPERTY AND TO PROTECT ALL UTILITIES DURING EXCAVATION FOR PLANTS.
4. IF THERE IS A DISCREPANCY BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLAN AND THE NUMBER OF PLANTS SHOWN IN PLANT LIST, THE NUMBER OF PLANTS SHOWN ON PLAN WILL TAKE PRECEDENCE.
5. ALL CONTAINER MATERIAL TO BE GROWN IN CONTAINER A MINIMUM OF 6 MONTHS.
6. ALL MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARDS FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERMAN.
7. CONTRACTOR SHALL REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO THE OWNER.
8. CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM TIME OF PROVISIONAL ACCEPTANCE.

REVISIONS

No.	DATE	DESCRIPTION

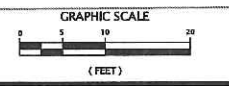


Blais
civil engineers
780 BROADWAY, SO. PORTLAND, ME 04106 (207) 767-7300
© 2012 BLAIS CIVIL ENGINEERS, P.A.





ISSUED FOR SUBMITTAL TO CITY 01/18/2013
UTILITIES, GRADING & LANDSCAPING PLAN
WEST END PLACE
BRACKETT STREET PORTLAND, MAINE
PREPARED FOR:
REDFERN LWS, LLC
P.O. BOX 8816
PORTLAND, MAINE 04101

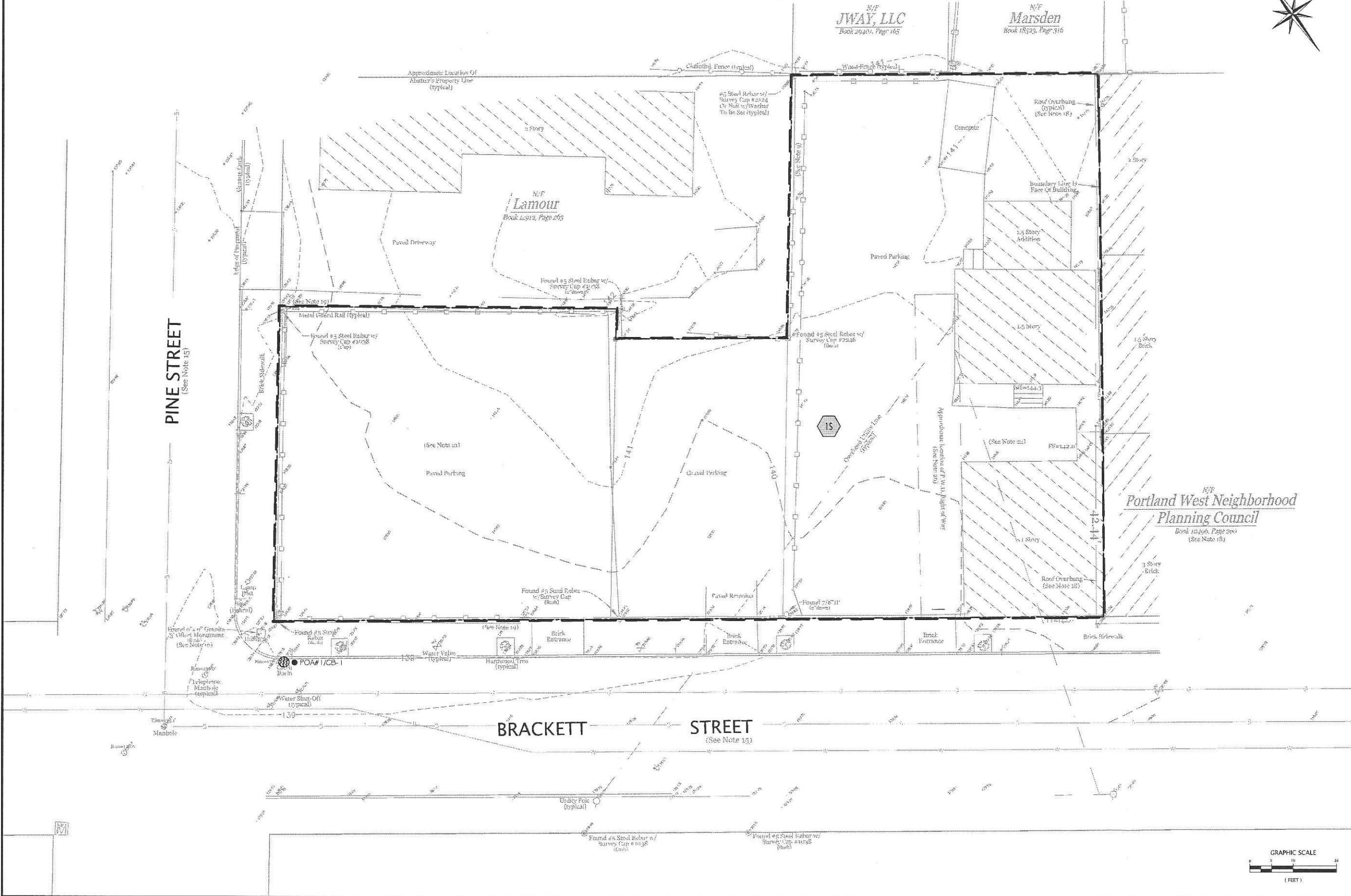
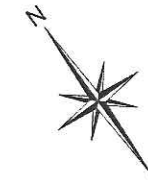
LATEST REVISION: SEE REV. LOG:
DATE: OCTOBER 09, 2012
DESIGNED BY: JW
DRAWN BY: MW
CHECKED BY: SB
PCE PROJECT NO: 12137

C1-3

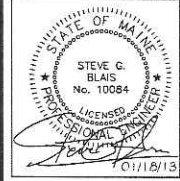


LEGEND

-  EXISTING SUBCATCHMENT LABEL
-  EXISTING SUBCATCHMENT DIVIDE
-  EXISTING POINT OF ANALYSIS
-  DIRECTION OF FLOW



NO.	DATE	REVISIONS DESCRIPTION



Blais
civil engineers

780 BROADWAY, SO. PORTLAND, ME 04106 (207) 767-7300
© 2012 BLAIS CIVIL ENGINEERS, P.A.

ISSUED FOR SUBMITTAL TO CITY 01/18/2013

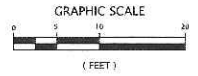
PRE DEVELOPMENT DRAINAGE PLAN

WEST END PLACE

BRACKETT STREET PORTLAND, MAINE

PREPARED FOR:
REDFERN LWS, LLC
P.O. BOX 8816
PORTLAND, MAINE 04101

LATEST REVISION (DATE BY):
DATE: OCTOBER 09, 2012
DESIGNED BY: JW
DRAWN BY: MV
CHECKED BY: SB
BCE PROJECT NO: 12137



D1-1

LEGEND

- SUBCATCHMENT LABEL
- POND LABEL
- SUBCATCHMENT DIVIDE
- POINT OF ANALYSIS
- DIRECTION OF FLOW

NOTES:

- EXISTING UTILITY LOCATIONS REFERENCED FROM "RECONSTRUCTION OF BRACKETT STREET - DANFORTH ST TO PINE ST, PLAN AND PROFILE, SHEET 9 OF 25", PREPARED FOR PORTLAND PERMIT AUTHORITY BY HUNTER BULLWY ASSOCIATES, DATED 6/11/75.
- EXISTING UTILITY LOCATIONS APPROXIMATE ONLY. EXACT SIZE AND LOCATION OF EXISTING UTILITIES TO BE FIELD DETERMINED BY CONTRACTOR PRIOR TO CONSTRUCTION.
- PROPOSED UTILITY POLE TO HAVE 3 X 100 KVA POLE MOUNTED TRANSFORMERS, AS DISCUSSED IN THE FIELD WITH CMP ON SEPTEMBER 27TH, 2012.

PROPOSED PLANT LIST:

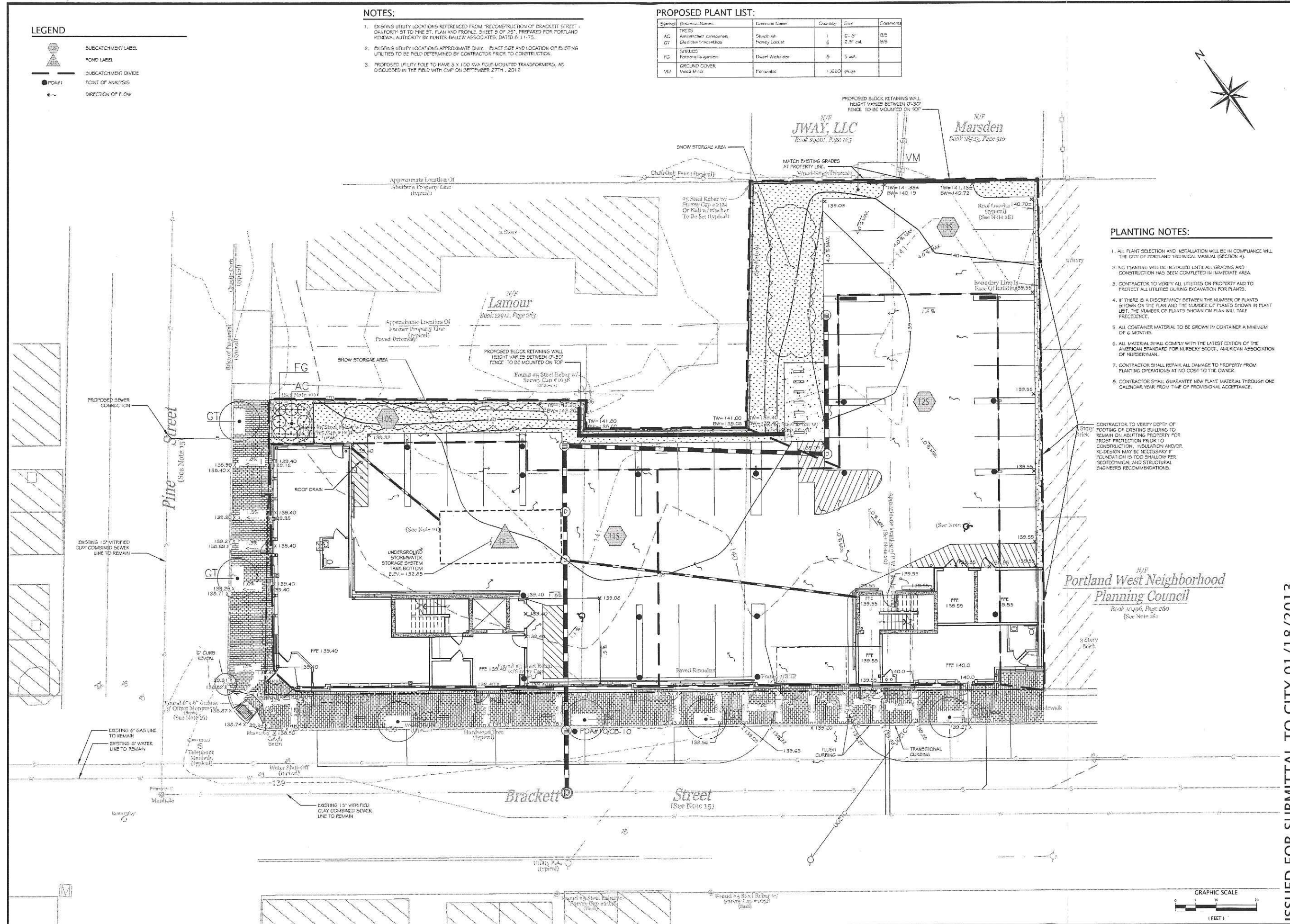
Symbol	Botanical Name	Common Name	Quantity	Size	Comments
TREES					
AC	<i>Asterachne canadensis</i>	Blackish Pony Lavender	1	6" - 8"	8/8
GT	<i>Clethra alnifolia</i>		6	2.5" cal.	8/8
FG	<i>Potamogeton</i>	Dwarf Watercress	8	3 gal.	
VM	<i>Vicia cracca</i>	Parrot's Beak	1,000	pkgs	



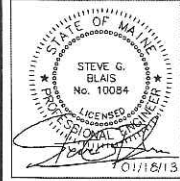
PLANTING NOTES:

- ALL PLANT SELECTION AND INSTALLATION WILL BE IN COMPLIANCE WITH THE CITY OF PORTLAND TECHNICAL MANUAL SECTION 4.
- NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN IMMEDIATE AREA.
- CONTRACTOR TO VERIFY ALL UTILITIES ON PROPERTY AND TO PROTECT ALL UTILITIES DURING EXCAVATION FOR PLANTS.
- IF THERE IS A DISCREPANCY BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLAN AND THE NUMBER OF PLANTS SHOWN IN PLANT LIST, THE NUMBER OF PLANTS SHOWN ON PLAN WILL TAKE PRECEDENCE.
- ALL CONTAINER MATERIAL TO BE GROWN IN CONTAINER A MINIMUM OF 6 MONTHS.
- ALL MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERMEN.
- CONTRACTOR SHALL REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO THE OWNER.
- CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM TIME OF PROVISIONAL ACCEPTANCE.

CONTRACTOR TO VERIFY DEPTH OF FOOTING OF EXISTING BUILDING TO REMAIN ON ADJUTING PROPERTY FOR FROST PROTECTION PRIOR TO CONSTRUCTION. INSULATION AND/OR RE-DESIGN MAY BE NECESSARY IF FOUNDATION IS TOO SHALLOW PER GEOTECHNICAL AND STRUCTURAL ENGINEERS RECOMMENDATIONS.



NO.	DATE	DESCRIPTION

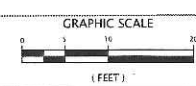


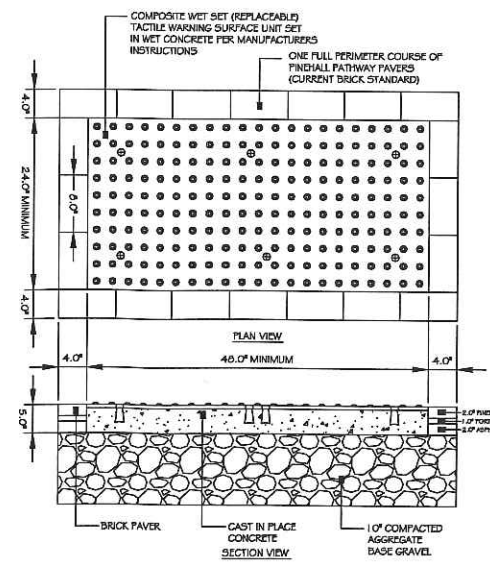
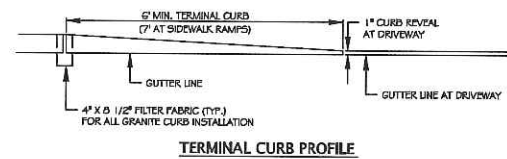
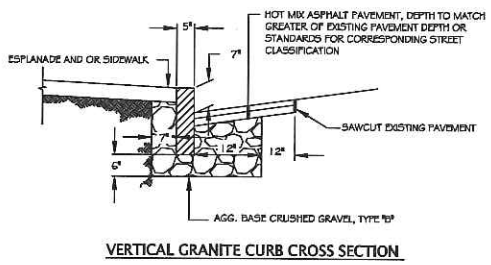
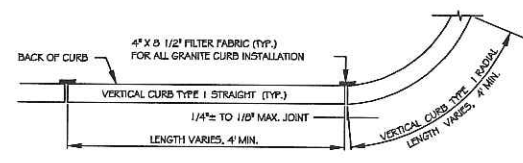
Blais
civil engineers
780 BROADWAY, SO. PORTLAND, ME 04106 (207) 767-7300
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ISSUED FOR SUBMITTAL TO CITY 01/18/2013
POST DEVELOPMENT DRAINAGE PLAN
WEST END PLACE
BRACKETT STREET PORTLAND, MAINE
PREPARED FOR:
REDFERN LWS, LLC
P.O. BOX 8816
PORTLAND, MAINE 04101

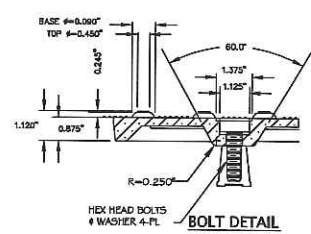
LATEST REVISION (SEE THE NOTES):
DATE: OCTOBER 05, 2012
DESIGNED BY: MW
DRAWN BY: MW
CHECKED BY: SB
RCE PROJECT NO: 12137

D1-2



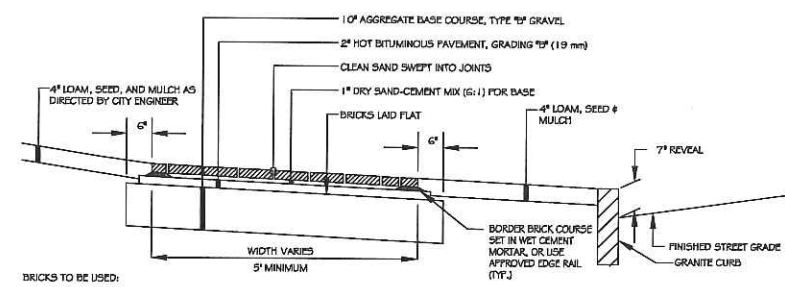


- NOTES:
1. COMPOSITE WET SET (REPLACABLE) DETECTABLE WARNING PANELS SHALL BE AS MANUFACTURED BY ADA SOLUTIONS, INC. (WWW.ADATILE.COM), OR APPROVED EQUAL.
 2. CAST IN PLACE CONCRETE SHALL MEET SPECIFICATIONS FOR MDOT CLASS A STRUCTURAL CONCRETE, MINIMUM COMPRESSIVE STRENGTH 4,000 PSI. THE CONCRETE SHALL BE SEALED PRIOR TO SETTING PANELS.
 3. TRUNCATED DOMES SHALL BE ALIGNED IN ROWS, PARALLEL AND PERPENDICULAR TO THE PREDOMINANT DIRECTION OF TRAVEL. NO OTHER DETECTABLE WARNING DESIGN OR CONFIGURATION IS ALLOWED.
 4. FOR ALL DETECTABLE WARNING PANELS, WITHIN OR ADJACENT TO HISTORIC DISTRICTS AND HISTORIC LANDSCAPES, DARK GRAY COLORED (#96118) PANELS SHALL BE USED. FOLLOW MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.
 5. THE DETECTABLE WARNING PANEL SHALL HAVE ONE FULL COURSE OF PINHALL PATHWAY PAVERS (THE CURRENT BRICK STANDARD) AROUND THE FULL PERIMETER OF THE PANEL. THIS PERIMETER COURSE SHALL BE SET USING PORTLAND MORTAR CEMENT TO CREATE A FLUSH SURFACE BETWEEN THE BRICK AND THE PANEL.
 6. SIZE: THE DETECTABLE WARNING PANELS SHALL EXTEND 24 INCHES MINIMUM IN THE DIRECTION OF TRAVEL AND THE FULL WIDTH OF THE CURB RAMP, LANDING, OR BLENDED TRANSITION TO THE STREET.
 7. ORIENTATION: THE DETECTABLE WARNING PANEL SHALL BE LOCATED SO THAT THE EDGE NEAREST TO THE CURB LINE IS 6 INCHES MINIMUM AND 8 INCHES MAXIMUM FROM THE CURB LINE. THE PANEL SHALL BE ORIENTED TO THE DIRECTION OF TRAVEL AS IDENTIFIED BY THE POINT OF EGRESS.



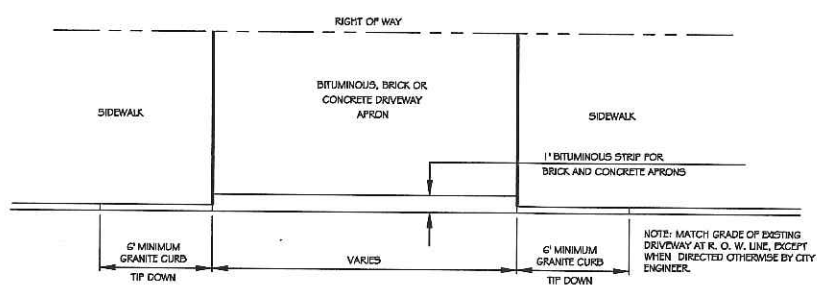
1 VERTICAL GRANITE CURB INSTALLATION IN EXISTING STREETS
NOT TO SCALE

4 SIDEWALK RAMP DETECTABLE WARNING PANEL FOR (HISTORIC DISTRICTS AND LANDSCAPES)
NOT TO SCALE

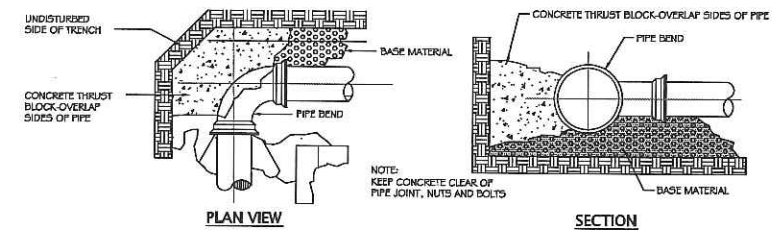


BRICKS TO BE USED:
NEW CONSTRUCTION: 4x6" PINE HALL PATHWAY PAVER BRICK, MFG. BY PINE HALL BRICK CO., MADISON, NORTH CAROLINA. LACHANCE ITEM # T53623, PINE HALL PATHWAY PAVER BRICK.
REPAIR/MAINTENANCE TO EXISTING BRICK SIDEWALKS: VERMONT PAVERS, SUPPLIED BY GAGNE AND SONS. SPECIFICATION NUMBER: "VERMONT BACKER BRICK", ITEM NUMBER # VB88

2 BRICK SIDEWALK WITH BITUMINOUS BASE
NOT TO SCALE



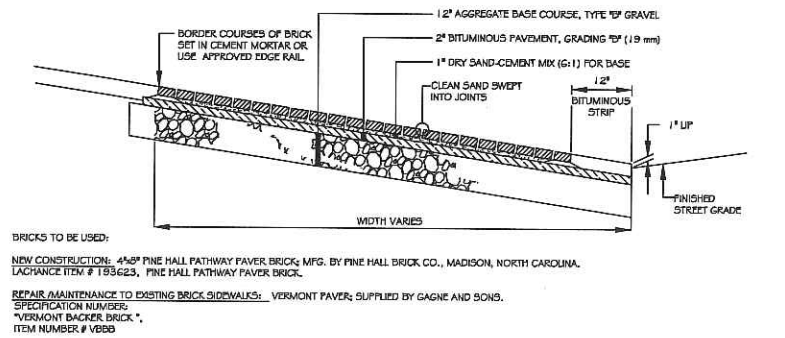
5 DRIVEWAY APRON LAYOUT
NOT TO SCALE



THRUST/RETAINER SCHEDULE

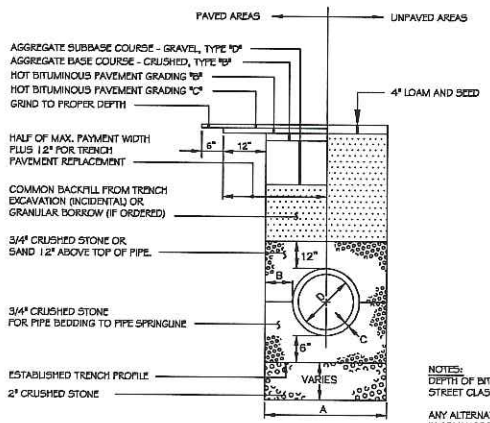
THRUST/RETAINER SCHEDULE	USE
1/4 BEND (90°)	USE FOUR-IN-PLACE THRUST BLOCK w/RETAINERS
1/8 BEND (45°)	THRUST BLOCK w/RETAINERS
1/16 BEND (22 1/2°)	THRUST BLOCK
1/32 BEND (11 1/4°)	THRUST BLOCK

7 FORCE MAIN - CONCRETE THRUST BLOCK PLACEMENT
NOT TO SCALE



BRICKS TO BE USED:
NEW CONSTRUCTION: 4x6" PINE HALL PATHWAY PAVER BRICK, MFG. BY PINE HALL BRICK CO., MADISON, NORTH CAROLINA. LACHANCE ITEM # T53623, PINE HALL PATHWAY PAVER BRICK.
REPAIR/MAINTENANCE TO EXISTING BRICK SIDEWALKS: VERMONT PAVERS, SUPPLIED BY GAGNE AND SONS. SPECIFICATION NUMBER: "VERMONT BACKER BRICK", ITEM NUMBER # VB88

3 BRICK DRIVEWAY APRON WITH BITUMINOUS BASE
NOT TO SCALE



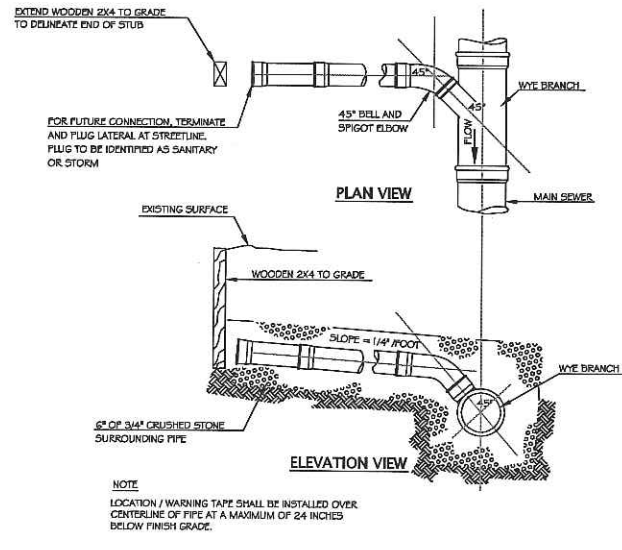
NOTES:

1. ALTERNATIVE CONSTRUCTION METHODS OR PAYMENT METHODS SHALL BE APPROVED IN ADVANCE BY THE CITY.
2. IN PAVED AREAS, DEPTHS OF GRAVEL AND HOT MIX ASPHALT PAVEMENT SHALL MATCH THE GREATER OF EXISTING CONDITIONS OR THE REQUIREMENTS FOR THE CORRESPONDING STREET CLASSIFICATION.
3. DIMENSION B SHALL BE SUFFICIENT TO ALLOW CRUSHED STONE BEDDING TO BE PLACED AND COMPACTED UNDER THE RAUNCHES OF THE PIPE, BUT IN ALL CASES DIMENSION B SHALL BE AT LEAST 9".
4. DIMENSION A IS THE MAXIMUM WIDTH ALLOWED FOR CALCULATING PAY QUANTITIES UNDER GRANULAR BORROW, CRUSHED STONE, STRUCTURAL EARTH EXCAVATION, AND STRUCTURAL ROCK EXCAVATION. DIMENSION A SHALL BE BASED ON PIPE DIAMETER D, AS SET FORTH IN THE FOLLOWING TABLE.

PIPE DIAMETER, D (INCHES)	MAX. TRENCH WIDTH, A (FEET)
4	4.0
6	4.0
8	4.0
10	4.0
12	5.0
15	5.0
18	5.0
21	5.0
24	6.0
27	6.0
30	6.0
36	6.0
42	7.0
48	7.0

NOTES:
DEPTH OF BITUMINOUS PAVEMENT AND AGGREGATE COURSES SHALL BE DETERMINED BY STREET CLASSIFICATION.
ANY ALTERNATE TRENCHING OR PAYMENT METHODS SHALL BE APPROVED IN ADVANCE BY THE CITY OF PORTLAND, DEPARTMENT OF PUBLIC SERVICES.

6 TYPICAL PIPE TRENCH INSTALLATION
NOT TO SCALE

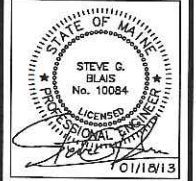


8 TYPICAL LATERAL WYE CONNECTION
NOT TO SCALE

ISSUED FOR SUBMITTAL TO CITY 01/18/2013

REVISIONS

No.	DATE	DESCRIPTION
1	12/07/12	REVISED PER CITY COMMENT
2	01/17/13	UPDATED SHEET

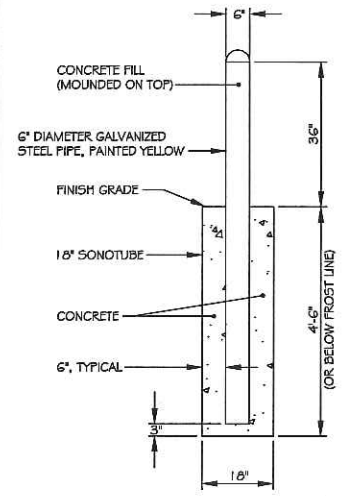


Blais civil engineers
780 BROADWAY, 3D, PORTLAND, ME 04106 (207) 767-7300
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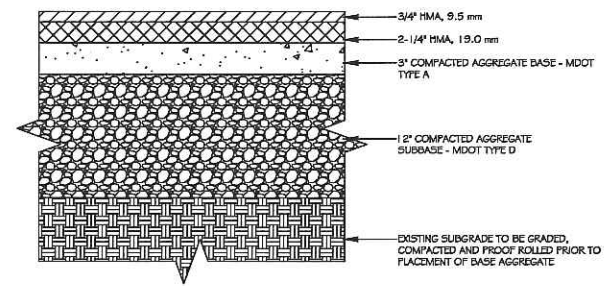
SITE DETAILS
WEST END PLACE
BRACKETT STREET PORTLAND, MAINE
PREPARED FOR: REDFERN LWS, LLC
P.O. BOX 8816
PORTLAND, MAINE 04101

LATEST REVISION: 01/18/2013
DATE: OCTOBER 09, 2012
DESIGNED BY: JW
DRAWN BY: MV
CHECKED BY: SB
BCE PROJECT NO: 12137

C3-2

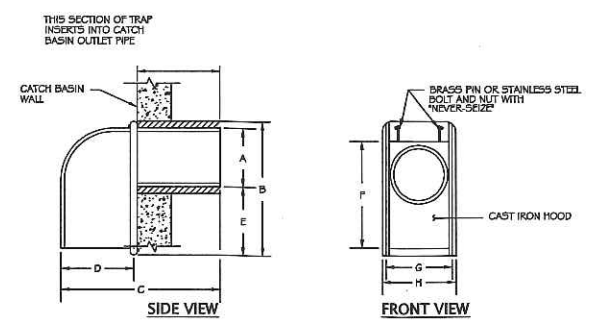


1 BOLLARD DETAIL
NOT TO SCALE



NOTES:
1. CONTRACTOR TO REFER TO GEOTECHNICAL REPORT ENTITLED "WEST END PLACE" - PINE AND BRACKETT STREET, PORTLAND, MAINE, PREPARED BY: SUMMIT GEO-ENGINEERING SERVICES, INC. DATED OCTOBER 2012.

4 NEW PAVEMENT DETAIL
NOT TO SCALE

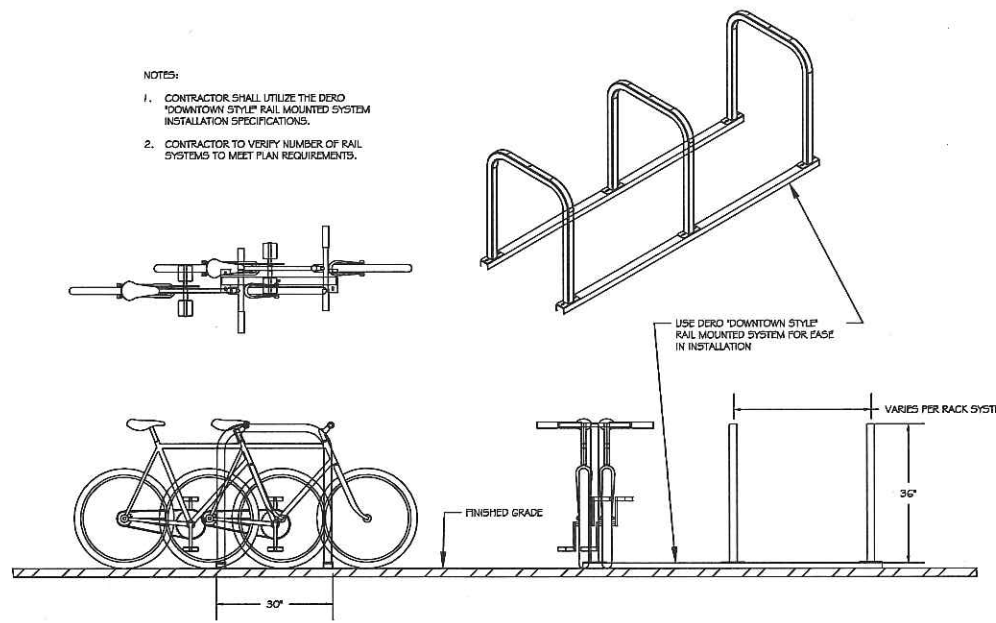


SIZE	A	B	C	D	E	F	G	H
6 in.	5 1/2"	13 3/8"	13 3/4"	5 3/8"	5 7/8"	11 5/8"	6 1/2"	7 1/4"
8 in.	7 1/2"	15"	15 3/8"	5 1/2"	5 3/4"	13 3/4"	8 3/4"	9 3/8"
10 in.	9 1/2"	16"	16 1/4"	6"	4 1/2"	14 1/8"	11 1/2"	12 3/8"
12 in.	11 1/2"	17"	22"	6"	3 1/2"	17"	12 1/2"	13 3/8"

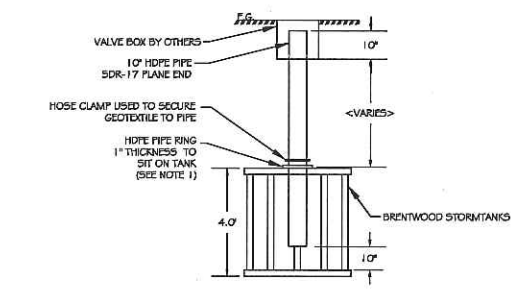
(AS MANUFACTURED BY THE ETHERIDGE FOUNDRY IN PORTLAND, ME.)

NOTE:
CONTRACTOR SHALL UTILIZE THE "CASCO TRAP" AS MANUFACTURED BY THE ETHERIDGE FOUNDRY, OR AN APPROVED EQUIVALENT.

5 CASCO TRAP
NOT TO SCALE

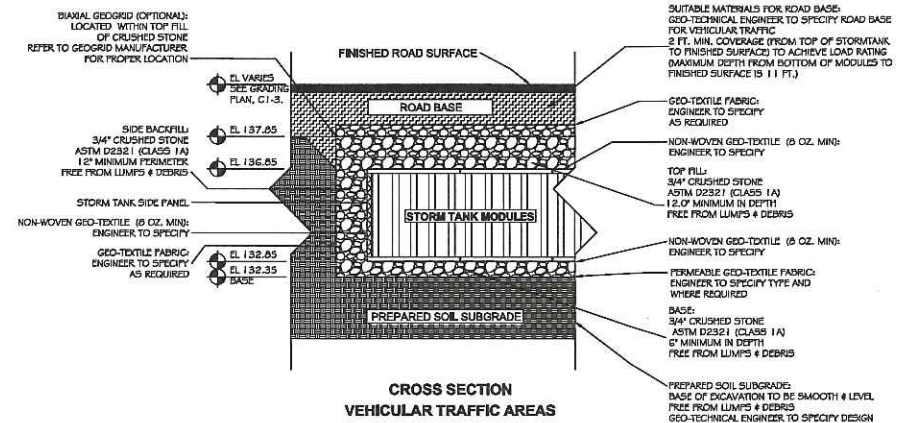


8 DERO "DOWNTOWN STYLE" BIKE RACK
NOT TO SCALE

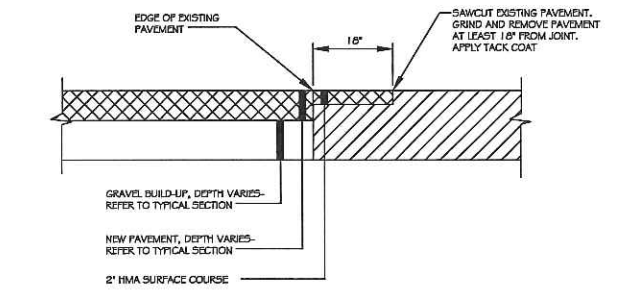


NOTE:
1. THE HDPE RING WILL DISPLACE THE LOAD OF THE OBSERVATION PORT.

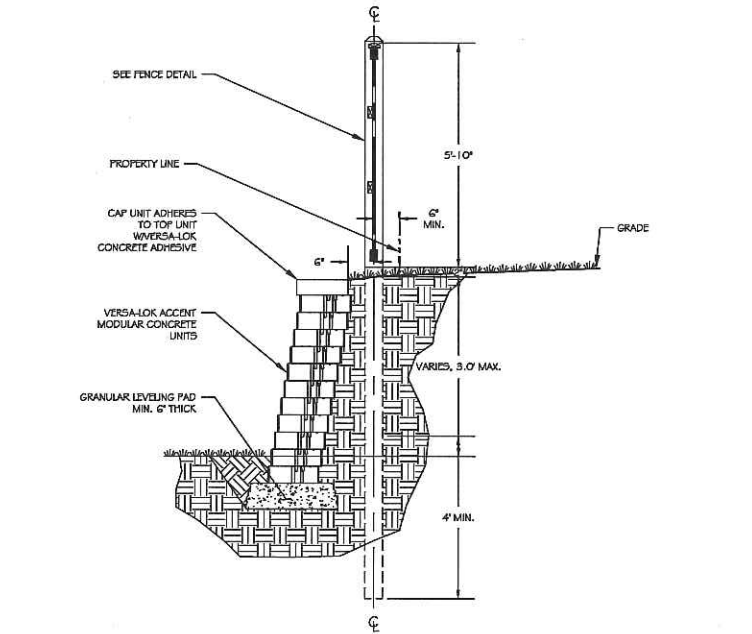
2 STORMTANK - OBSERVATION PORT DETAIL
NOT TO SCALE



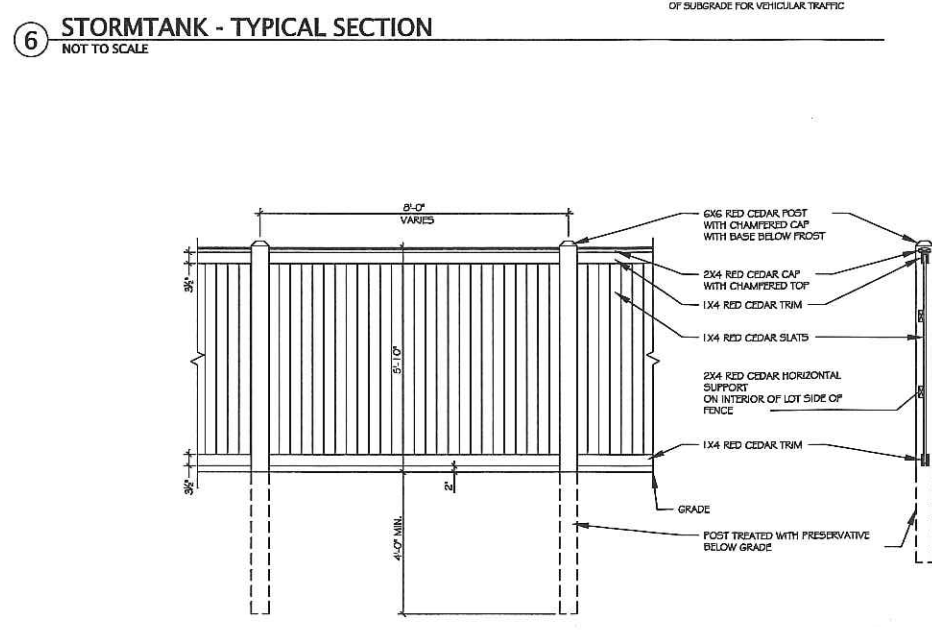
6 STORMTANK - TYPICAL SECTION
NOT TO SCALE



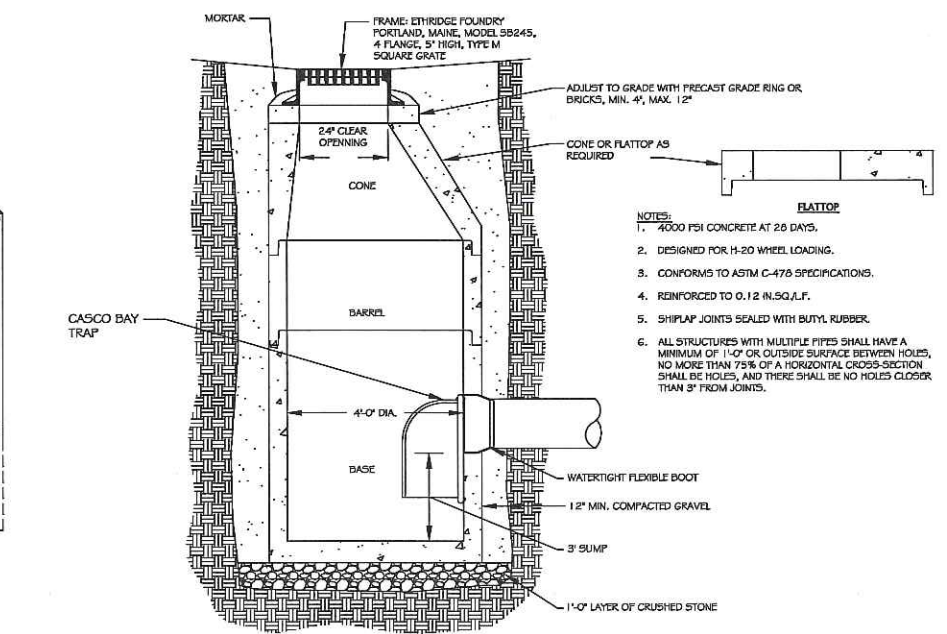
9 PAVEMENT BUTT-JOINT DETAIL
NOT TO SCALE



3 VERSA-LOK RETAINING WALL WITH FENCE - TYPICAL SECTION
NOT TO SCALE

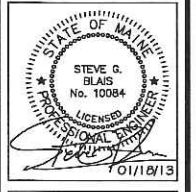


7 TYPICAL FENCE DETAIL
NOT TO SCALE



10 CATCH BASIN OUTSIDE OF R.O.W.
NOT TO SCALE

NO.	DATE	DESCRIPTION
1	12/07/12	REVISED PER CITY COMMENT
2	01/17/13	ADDED DETAIL SHEET



Blais civil engineers
780 BROADWAY, 50, PORTLAND, ME 04108 (207) 767-7300
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SITE DETAILS
WEST END PLACE
BRACKETT STREET PORTLAND, MAINE
PREPARED FOR:
REDFERN LWS, LLC
P.O. BOX 8816
PORTLAND, MAINE 04101

LATEST REVISION: SEE REV. LOG
DATE: OCTOBER 09, 2012
DESIGNED BY: JW
DRAWN BY: MV
CHECKED BY: SB
BCE PROJECT NO: 12137

C3-3

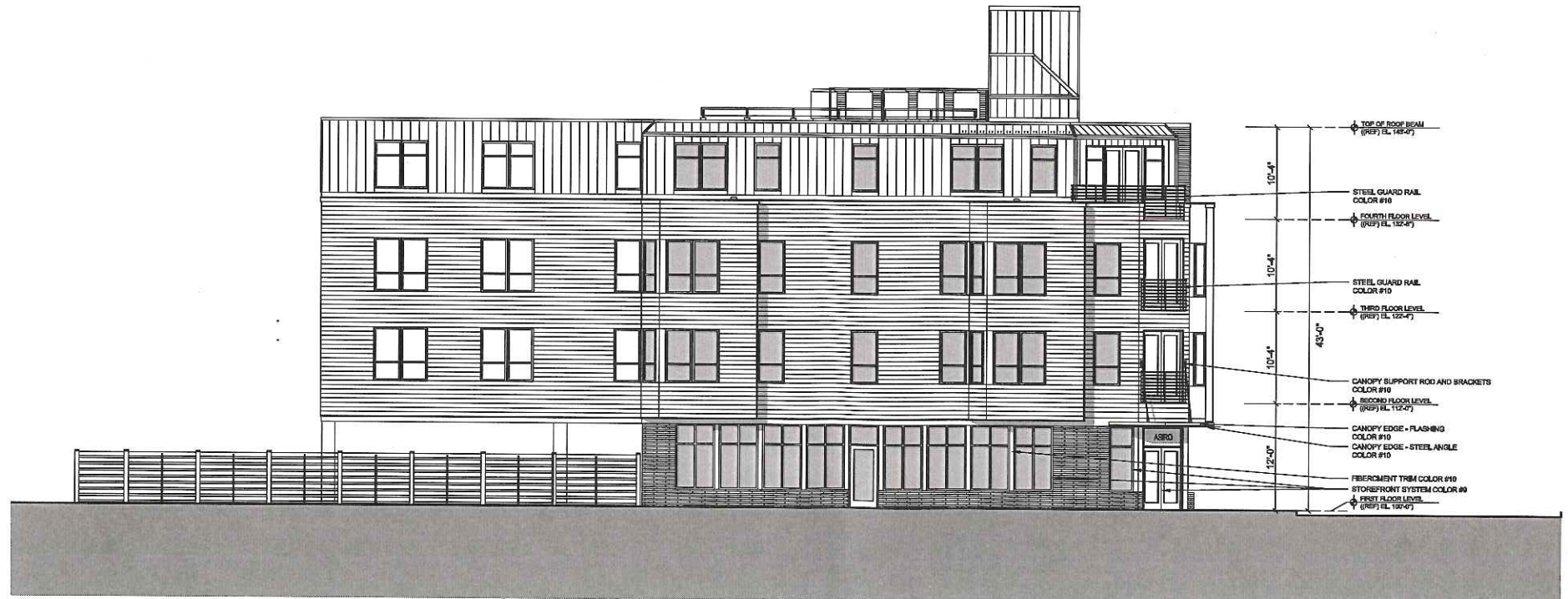
ISSUED FOR SUBMITTAL TO CITY 01/18/2013

WEST END PLACE

OCTOBER 9, 2012



SOUTH ELEVATION (BRACKETT STREET)
SCALE 1/8" = 1'-0"



WEST ELEVATION (PINE STREET)
SCALE 1/8" = 1'-0"

PROGRESS PRINT
NOT FOR CONSTRUCTION

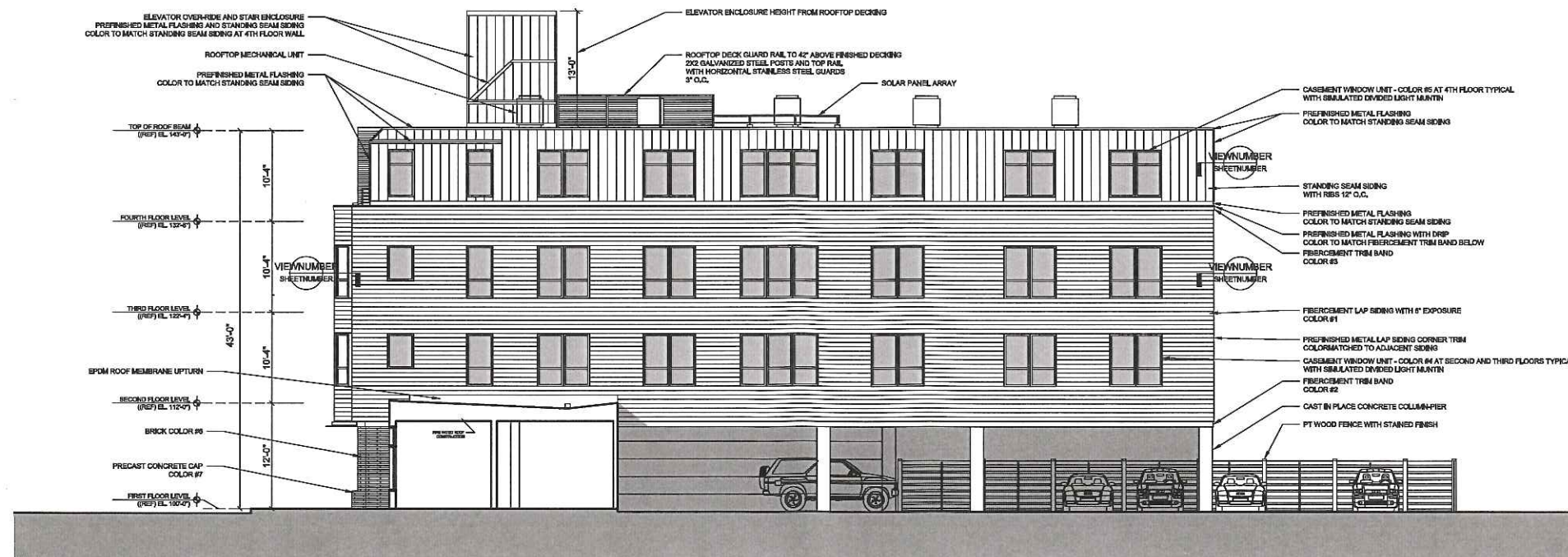
WEST END PLACE

OCTOBER 9, 2012



NORTH ELEVATION

SCALE 1/8" = 1'-0"






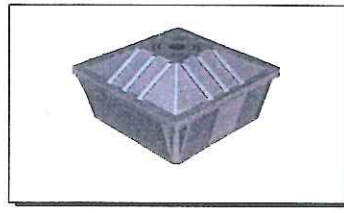
EAST ELEVATION

SCALE 1/8" = 1'-0"

PROGRESS PRINT
NOT FOR CONSTRUCTION



Luminaire Schedule				
Symbol	Qty	Label	LLF	Description
	16	A	0.900	Beacon Products #EDR-24G-UNV-T5RN
	1	B	0.900	Hubbell #LMC-30LU-5K-4-035
	54	C	0.900	WAC #LED-TO24-X-WT



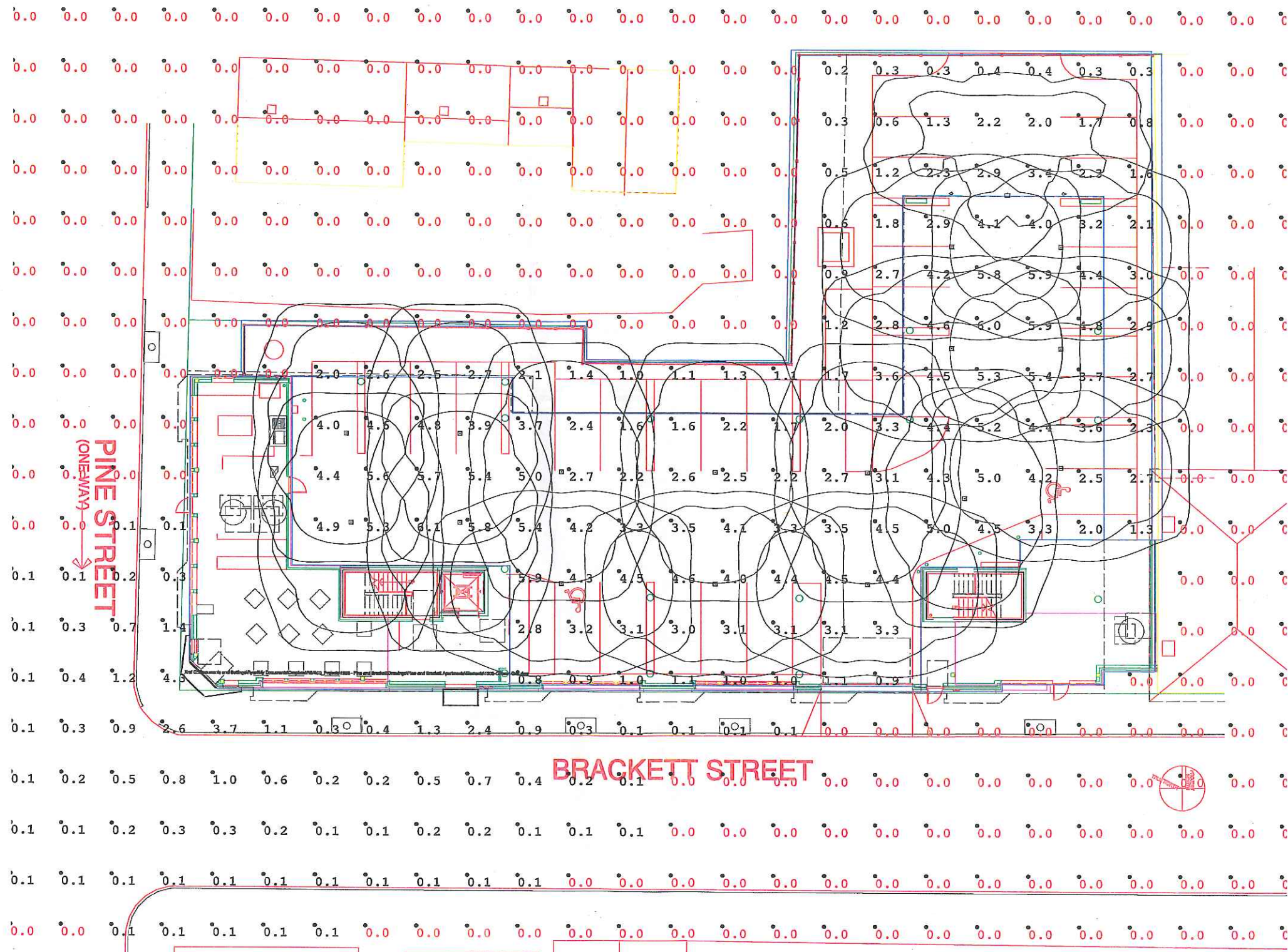
Type A



Type B



Type C



15 Pleasant Hill Rd
P.O. Box 1687
Scarborough, Maine 04070
email: swaneylighting.com
ph: 207-883-7100
fax: 207-883-6905

#	Date	Comments

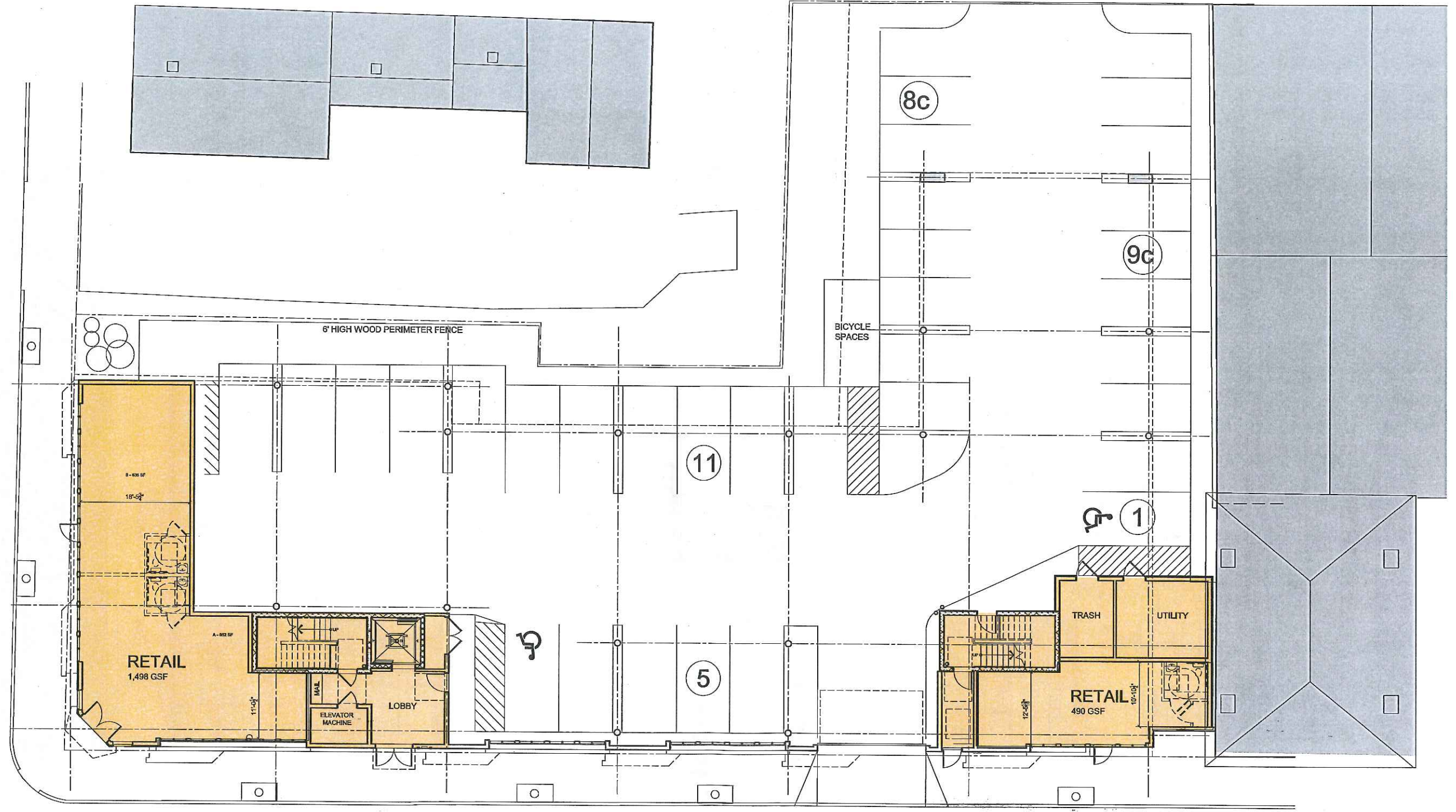
Revisions	

Drawn By: Dave Charron
Not to Scale

West End

WEST END PLACE

OCTOBER 9, 2012



FIRST FLOOR PLAN
SCALE 1/8" = 1'-0"

BRACKETT STREET

