



# LEARNINGWORKS

## 181 BRACKETT STREET, PORTLAND, MAINE

**LEARNINGWORKS**  
181 BRACKETT STREET, PORTLAND, MAINE

**BIRBURN**  
architecture for life  
20 High St. Suite 201 Portland, ME 04101 | 207-776-6422

### DETAILED PHASING PLAN & DESCRIPTION OF WORK

#### PHASE 1 – ROOFING & WINDOWS

- **MANSARD ROOF:** STRIP ALL EXISTING ROOFING, UNDERLAYMENT AND FLASHING FROM LOW-SLOPE ROOF OVER CORNICE, AND STEEP-SLOPE PORTION OF MANSARD ROOF. REPLACE ANY DAMAGED/ROTTING SHEATHING WITH EXTERIOR GRADE PLYWOOD TO MATCH THICKNESS OF EXISTING ADJACENT SHEATHING MATERIAL. REPLACE ANY DAMAGED/ROTTING WOODWORK/TRIM WITH COMPOSITE TRIM MATERIAL TO EXACTLY MATCH PROFILES OF EXISTING. ASSESS CONDITION OF STRUCTURE WHERE EXPOSED DUE TO REPLACEMENT OF EXTERIOR ELEMENTS, NOTIFY ARCHITECT/OWNER'S REP OF ANY SIGNS OF STRUCTURAL DAMAGE TO WOOD FRAMING MEMBERS OR MASONRY. REPLACE DAMAGED/ROTTING EXTERIOR WOOD TRIM AT MANSARD ROOF TRANSITION WITH COMPOSITE TRIM MATERIAL TO EXACTLY MATCH SIZE AND PROFILES OF EXISTING. INSTALL SELF-ADHERED WATERPROOF ROOFING UNDERLAYMENT CONTINUOUS FROM EDGE OF EAVE AT CORNICE, UP FACE OF STEEP-SLOPED MANSARD ROOF TO TRIM BAND AT ROOF SLOPE TRANSITION AND OVER SIDES OF DORMER WALLS. INSTALL METAL DRIP-EDGE AND METAL ROOFING OVER LOW-SLOPE ROOF OVER CORNICE TURNED UP FACE OF MANSARD ROOF AND FLASHED OVER TOP EDGE. INSTALL NEW ASPHALT SHINGLES TO STEEP-SLOPE PORTION OF MANSARD ROOF (CERTAINTED HATTERAS, 18" X 36" FIBERGLASS REINFORCED ASPHALT SHINGLE WITH 8" EXPOSURE). INSTALL NEW WOOD/COMPOSITE MATERIAL TRIM AT SIDES OF DORMER WALLS AND AT CORNERS OF ROOF. FASTEN ALL NEW TRIM WITH STAINLESS STEEL FASTENERS OR COMPOSITE SCREWS WITH PLUGS.
  - REPOINT MASONRY AS REQUIRED ON (4) CHIMNEYS OF 3-STORY BUILDING – MORTAR TO MATCH ORIGINAL.
- **3RD FLOOR WINDOWS:** REPLACE (10) WINDOWS ON 3RD FLOOR OF 3-STORY BUILDING. REMOVE EXISTING STORM WINDOWS AND ORIGINAL WOOD WINDOWS INCLUDING FULL FRAME AND WEIGHT POCKETS. REPLACE WITH CUSTOM ALUMINUM-CLAD WOOD WINDOWS TO MATCH EXISTING SIGHTLINES AS CLOSELY AS POSSIBLE. SIMULATED DIVIDED LIGHTS. REMOVE EXTERIOR WOOD WINDOW SILLS AND REPLACE WITH COMPOSITE MATERIAL. REPLACE ALL EXTERIOR WOOD WINDOW TRIM WITH COMPOSITE TRIM MATERIAL TO EXACTLY MATCH SIZE AND PROFILES OF EXISTING. REPAINT ALL EXTERIOR TRIM (NEW AND EXISTING) AT CORNICE, THIRD FLOOR WINDOWS, AND MANSARD ROOF IN DARK COLOR (LOW CONTRAST WITH BRICKWORK) TO BE DETERMINED BY ARCHITECT AND AS APPROVED BY PORTLAND HISTORIC PRESERVATION BOARD.
  - REMOVE EXISTING GUTTERS TO ALLOW WORK TO ROOF IDENTIFIED ABOVE. RE-INSTALL GUTTERS ON (4) SIDES OF ROOF WITH (4) DOWNSPOUTS. (2) EACH ON NORTH AND SOUTH SIDES OF BUILDING WITH ELBOW ABOVE GROUND AND DIVERTERS AT GROUND LEVEL TO DIRECT WATER AWAY FROM BUILDING.
- **HIP ROOF:** ASSESS CONDITION OF LOW-SLOPE HIP PORTION OF MANSARD ROOF. REPLACE PER ABOVE IF REQUIRED. PHOTOS DATED 10/30/14 APPEAR TO SHOW SHINGLES IN GOOD CONDITION.
- **GABLE ROOF 2-STORY BUILDING:** STRIP ALL EXISTING ROOFING, UNDERLAYMENT AND FLASHING FROM BOTH PITCHES OF ROOF. REPLACE ANY DAMAGED/ROTTING SHEATHING WITH EXTERIOR GRADE PLYWOOD TO MATCH THICKNESS OF EXISTING ADJACENT MATERIAL. REPLACE ANY DAMAGED/ROTTING WOODWORK/TRIM WITH COMPOSITE TRIM MATERIAL TO EXACTLY MATCH PROFILES OF EXISTING. ASSESS CONDITION OF STRUCTURE WHERE EXPOSED DUE TO REPLACEMENT OF EXTERIOR ELEMENTS, NOTIFY ARCHITECT/OWNER'S REP OF ANY SIGNS OF STRUCTURAL DAMAGE TO WOOD FRAMING MEMBERS OR MASONRY. INSTALL SELF-ADHERED WATERPROOF ROOFING UNDERLAYMENT IN TWO COURSES (6" TOTAL WIDTH) AT EAVES, ONE COURSE (3" WIDTH) AT RAKES AND AROUND SKYLIGHTS AND OTHER PENETRATIONS. INSTALL 30LB ROOFING FELT OVER REMAINDER OF ROOF. INSTALL METAL DRIP-EDGE AND STEP FLASHING AT ABUTMENT WITH 3-STORY BRICK BUILDING. INSTALL NEW ASPHALT SHINGLE ROOFING (3-TAB FIBERGLASS REINFORCED ASPHALT SHINGLE).
  - REMOVE AND REPLACE ALL EXTERIOR WOOD TRIM ON LOWER ROOF: EAVE, SOFFIT, FASCIA. REPLACE WITH COMPOSITE TRIM TO MATCH ORIGINAL PROFILES. REPAINT ALL EXTERIOR TRIM AT CORNICE IN DARK COLOR (LOW CONTRAST WITH BRICKWORK) TO BE DETERMINED BY ARCHITECT AND AS APPROVED BY PORTLAND HISTORIC PRESERVATION BOARD.
  - INSTALL NEW GUTTER ON (2) SIDES OF ROOF WITH (2) DOWNSPOUTS. (1) EACH ON NORTH AND SOUTH SIDES OF BUILDING WITH ELBOW ABOVE GROUND AND DIVERTERS AT GROUND LEVEL TO DIRECT WATER AWAY FROM BUILDING.
  - REPOINT MASONRY AT TOP OF WALL WHERE DAMAGED BY WATER INFILTRATION. REPLACE ANY DAMAGED BRICK WITH NEW/SALVAGED BRICK TO MATCH EXISTING.
  - PRIOR TO COMMENCING ANY MASONRY WORK ON BUILDING EXTERIOR CONDUCT ANALYSIS OF ORIGINAL MORTAR TO DETERMINE COMPOSITION AND STRENGTH. NEW MORTAR FOR POINTING AND BEDDING NEW/REPLACEMENT/REPAIRED BRICKWORK TO MATCH EXISTING MORTAR AS CLOSELY AS POSSIBLE IN TERMS OF COLOR, COMPOSITION AND STRENGTH. CONTRACTOR TO BUILD A TEST PANEL FOR HPB APPROVAL OF BRICK AND MORTAR.

- **NEW STOREFRONT & ENTRY:** AT (2) 7'-0" +/- WIDE ARCHED OPENINGS REMOVE ALL WINDOWS, WOOD FRAMED & FINISHED WALL AND BRICK INFILL BELOW WINDOW SILLS TO 8" ABOVE GRADE. REPLACE WITH NEW ALUMINUM-CLAD WOOD FIXED WINDOWS TO MATCH ORIGINAL DESIGN: FULL HEIGHT, TRIPARTITE WINDOW WITH paneled wood infill below sill height where ORIGINAL BULKHEAD WINDOWS WERE LOCATED. MODIFY EXISTING CEILING TO SLOPE UP TO ORIGINAL WINDOW HEAD HEIGHT.
  - REMOVE SINGLE DOOR, SURROUNDING INFILL AND '181' SIGN FROM CENTRAL ARCHED OPENING. REPLACE WITH FIXED DOUBLE DOOR PANELS AND TRANSOM WINDOW ABOVE TO MATCH ORIGINAL LAYOUT. INSULATE BEHIND DOOR PANELS AND FINISH INTERIOR TO BLEND WITH ADJACENT FINISHES.
  - REPLACE FULLY-GLAZED DOORS AT CURRENT MAIN ENTRY WITH PART-GLAZED DOORS AND SIDELIGHTS. DOORS TO BE CUSTOM WOOD AS DETAILED IN DRAWINGS. COORDINATE NEW HARDWARE REQUIREMENTS WITH OWNER'S REP.
  - REPLACE FULLY-GLAZED DOOR AT STAIR EXIT WITH PART-GLAZED DOOR. DOOR TO BE CUSTOM WOOD AS DETAILED IN DRAWINGS. COORDINATE NEW HARDWARE REQUIREMENTS WITH OWNER'S REP.
- **ENTRY RAMP:** DEMO EXISTING CONCRETE AND BRICK ENTRY RAMP. EXCAVATE AND INSTALL NEW POURED CONCRETE FROST WALLS AND FOOTINGS TO DEFINE EXTENT OF NEW RAMP TO MATCH SIZE OF EXISTING. POUR NEW CONCRETE RAMP AT 1:12 PITCH WITH LEVEL LANDING AT TOP AND BOTTOM. FACE CONCRETE FROST WALLS AND RAMP SURFACE WITH BRICK PAVERS. INSTALL NEW PAINTED METAL PIPE RAIL.
  - AT DOOR ON SOUTH SIDE OF 2-STORY BRICK BUILDING: FILL VOID SPACE BETWEEN DOOR FRAME AND WALL WITH SPRAY FOAM INSULATION. INSTALL NEW SHEATHING OVER FRAMING, WRB AND PAINTED COMPOSITE MATERIAL TRIM AROUND DOOR. PROVIDE SEALANT BETWEEN TRIM AND MASONRY.

#### PHASE 2 – WINDOW REPLACEMENT & MASONRY REPAIR

- **2ND FLOOR WINDOWS:** REPLACE (12) WINDOWS ON 2ND FLOOR OF 3-STORY BUILDING. REMOVE EXISTING STORM WINDOWS AND ORIGINAL WOOD WINDOWS INCLUDING FULL FRAME AND WEIGHT POCKETS. REPLACE WITH CUSTOM ALUMINUM-CLAD WOOD WINDOWS TO MATCH EXISTING SIGHTLINES AS CLOSELY AS POSSIBLE. SIMULATED DIVIDED LIGHTS AND BRICKMOLD.
  - REPLACE (3) WINDOWS ON 1ST FLOOR OF 3-STORY BUILDING. REMOVE EXISTING STORM WINDOWS AND (1) ORIGINAL WOOD WINDOW AND (2) NON-ORIGINAL WINDOWS IN ORIGINAL DOOR OPENINGS, INCLUDING FULL FRAME AND WEIGHT POCKETS. RE-BUILD WALL FRAMING AND INTERIOR FINISHES AS REQUIRED TO FRAME NEW WINDOW OPENINGS AND PREP TO RECEIVE NEW BRICK INFILL BELOW SILLS. REPLACE WITH CUSTOM ALUMINUM-CLAD WOOD WINDOWS TO MATCH EXISTING/ORIGINAL SIGHTLINES AS CLOSELY AS POSSIBLE. SIMULATED DIVIDED LIGHTS AND BRICKMOLD.
  - REPLACE (11) WINDOWS ON 1ST AND 2ND FLOORS OF 2-STORY BUILDING. REMOVE EXISTING REPLACEMENT WINDOWS AND ORIGINAL WOOD WINDOWS INCLUDING FULL FRAME AND WEIGHT POCKETS. REPLACE WITH CUSTOM ALUMINUM-CLAD WOOD WINDOWS TO MATCH ORIGINAL SIGHTLINES AS CLOSELY AS POSSIBLE. SIMULATED DIVIDED LIGHTS AND BRICKMOLD.
  - CREATE (4) NEW WINDOW OPENINGS ON NORTH SIDE OF 2-STORY BUILDING. INSTALL (4) NEW WINDOWS TO MATCH REPLACEMENT WINDOWS. REFER TO STRUCTURAL DRAWINGS/SPECIFICATIONS. NEW OPENINGS TO ALIGN WITH BRICK COURSING AND MATCH DIMENSIONS OF EXISTING MASONRY OPENINGS ADJACENT. TOOTH-IN SALVAGED BRICKS AT JAMBS TO AVOID EXPOSURE OF CUT BRICK ENDS. MODIFY INTERIOR FINISHES AS REQUIRED. PROVIDE NEW PAINTED WOOD TRIM AT INTERIOR.
  - AT ALL NEW/REPLACEMENT WINDOWS REPAIR INTERIOR FINISHES AS REQUIRED AND REPAINT HEAD, JAMB & SILL RETURNS AND INTERIOR TRIM FOR UNIFORM, FINISHED APPEARANCE.
  - PRIOR TO COMMENCING ANY MASONRY WORK ON BUILDING EXTERIOR CONDUCT ANALYSIS OF ORIGINAL MORTAR TO DETERMINE COMPOSITION AND STRENGTH. NEW MORTAR FOR POINTING AND BEDDING NEW/REPLACEMENT/REPAIRED BRICKWORK TO MATCH EXISTING MORTAR AS CLOSELY AS POSSIBLE IN TERMS OF COLOR, COMPOSITION AND STRENGTH. CONTRACTOR TO BUILD A TEST PANEL FOR HPB APPROVAL OF BRICK AND MORTAR.
  - REPLACE DAMAGED BRICK AND REPOINT AS REQUIRED ON ALL SIDES OF BRICK BUILDINGS – MORTAR TO MATCH ORIGINAL. WHERE POSSIBLE, REPLACEMENT BRICK TO BE SALVAGED FROM NEW OPENINGS CREATED IN NORTH WALL OF 2-STORY BUILDING.
  - TOOTH-IN NEW/SALVAGED BRICK AT JAMBS OF DOOR INSTALLED IN ORIGINAL WINDOW OPENING ON SOUTH SIDE OF 2-STORY BUILDING TO AVOID EXPOSURE OF CUT BRICK ENDS.
  - INFILL WITH BRICK (2) BOARDED UP ORIGINAL DOOR OPENINGS ON SOUTH SIDE OF 3-STORY BUILDING BELOW NEW REPLACEMENT WINDOWS. RECESS BRICKWORK 1/2" BACK FROM FACE OF ORIGINAL BRICK. USE ALL NEW BRICK BEDDED AND POINTED WITH MORTAR TO MATCH ORIGINAL.
  - SCRAPE/BRUSH PAINTED MASONRY AT FIRST FLOOR STREETFRONT TO REMOVE ALL LOOSE/FLAKING PAINT. REPAINT ONLY PREVIOUSLY PAINTED MASONRY WITH LOW-CONTRAST COLOR TO BE DETERMINED BY ARCHITECT AND AS APPROVED BY PORTLAND HISTORIC PRESERVATION BOARD.

- **WOOD BUILDING:** REMOVE EXISTING DOUBLE EXTERIOR DOORS AND (2) WINDOWS ABOVE ON WEST SIDE OF WOOD BUILDING. REMOVE EXISTING EXTERIOR OSB SHEATHING AND INSPECT FRAMING FOR SIGNS OF DAMAGE/DECAY. REPLACE AS REQUIRED. FRAME NEW SINGLE OPENING AND INSTALL NEW DOUBLE EXTERIOR DOOR WITH TRANSOM LIGHT. INSTALL NEW EXTERIOR SHEATHING AND WRB. FINISH WITH NEW WOOD CLAPBOARD SIDING TO MATCH EXISTING.

PHASES 3A, 3B MAY OCCUR INDEPENDENTLY AND NON-SEQUENTIALLY WITH EACH OTHER

#### PHASE 3A – REPAIRS TO WOOD BUILDING

- SCRAPE, PRIME, AND REPAINT ALL SIDING AND TRIM ON ALL (4) SIDES OF WOOD BUILDING
- SCRAPE, PRIME, AND REPAINT ALL EXISTING WOOD WINDOWS OF WOOD BUILDING.
- REPLACE EXISTING 6/6 WOOD WINDOWS ON SOUTH ELEVATION WITH NEW Z/2 ALUMINUM CLAD WOOD WINDOWS.

#### PHASE 3B – INTERIOR RENOVATIONS 3RD FLOOR

- SCOPE OF INTERIOR WORK DEPENDENT ON OUTCOME OF DISCUSSIONS WITH CODE ENFORCEMENT OFFICIALS
- PRIME/PAINT WALLS, CEILINGS, DOORS, WINDOWS AND TRIM AS APPLICABLE THROUGHOUT 3RD FLOOR
- DEMO ALL EXISTING BATHROOM FIXTURES
- INSTALL NEW SINK AND TOILET
- VERIFY INTEGRITY OF ALL INTERIOR FINISHES. REPAIR AS NEEDED
- ANY CEILINGS IN BAD SHAPE TO BE REPLACED WITH ACT BELOW
- NEW WOODS, PAINTING PER OTHER SCOPES
- NEW ASPH
- UPGRADE ELECTRICAL AS REQUIRED
- UPGRADE FIRE ALARM SYSTEM AS REQUIRED
- INSULATE EXTERIOR WALLS AND ROOF

\*PHASING SUBJECT TO CONTRACTOR PRICING AND OWNER FUNDING

**HISTORIC PRESERVATION BOARD REVIEW NOT FOR CONSTRUCTION**

SYMBOL LEGEND	
	DETAIL NUMBER BUILDING SECTION DRAWING NUMBER
	DETAIL NUMBER CALL OUT DRAWING NUMBER
	CENTERLINE
	DOOR TAG
	ELEVATION INDICATOR
	ELEVATION TAG
	ELEVATION TAG
	NORTH ARROW
	REVISION
	ROOM TAG WITH NUMBER
	STRUCTURAL GRID BUBBLE
	WALL TAG
	WINDOW TAG

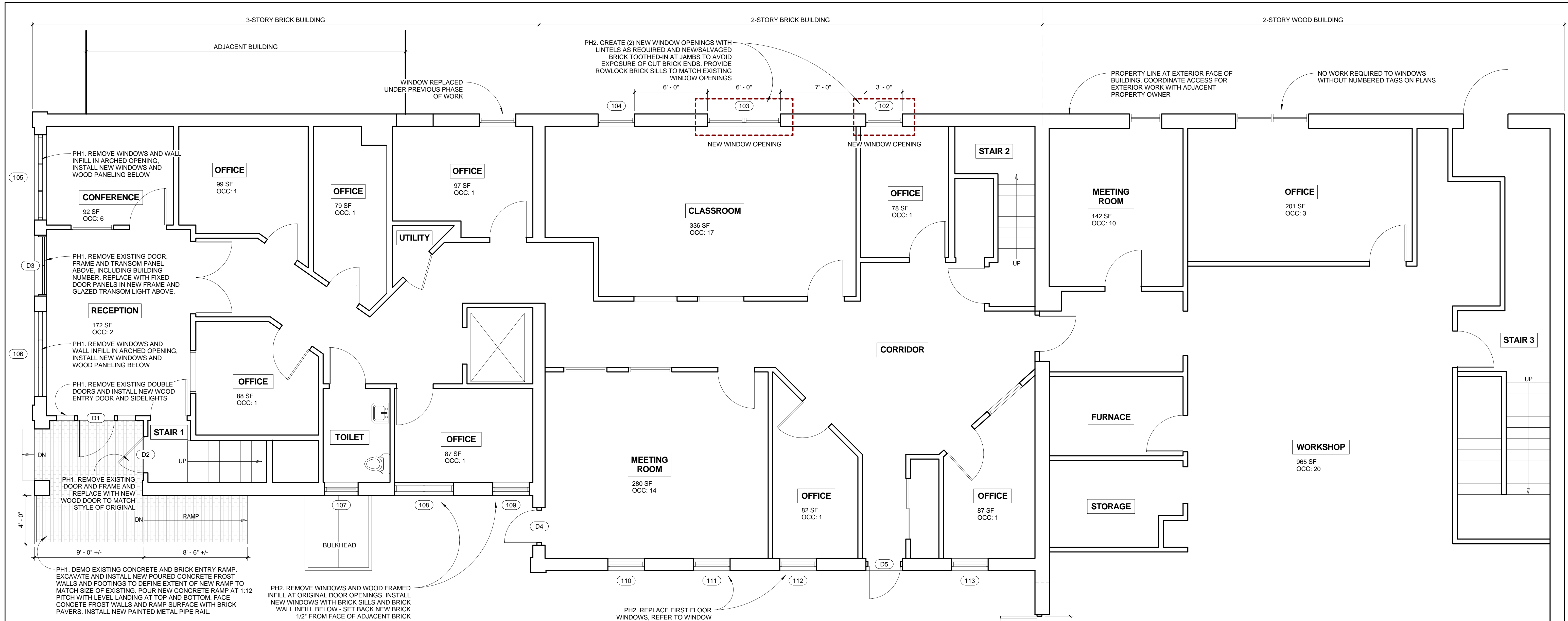
DRAWING LIST	
NUMBER	SHEET TITLE
A001	COVER SHEET
A101	FIRST FLOOR PLAN
A102	SECOND FLOOR PLAN
A103	THIRD FLOOR PLAN
A201	ELEVATIONS
A202	ELEVATIONS & WINDOW SCHEDULE
A401	STOREFRONT DETAILS
A402	ARCH WINDOW DETAILS
A403	3RD FLOOR WINDOW DETAILS
A501	DOOR SCHEDULE
A601	EXISTING CONDITIONS PHOTOGRAPHS

### CONSULTANTS:

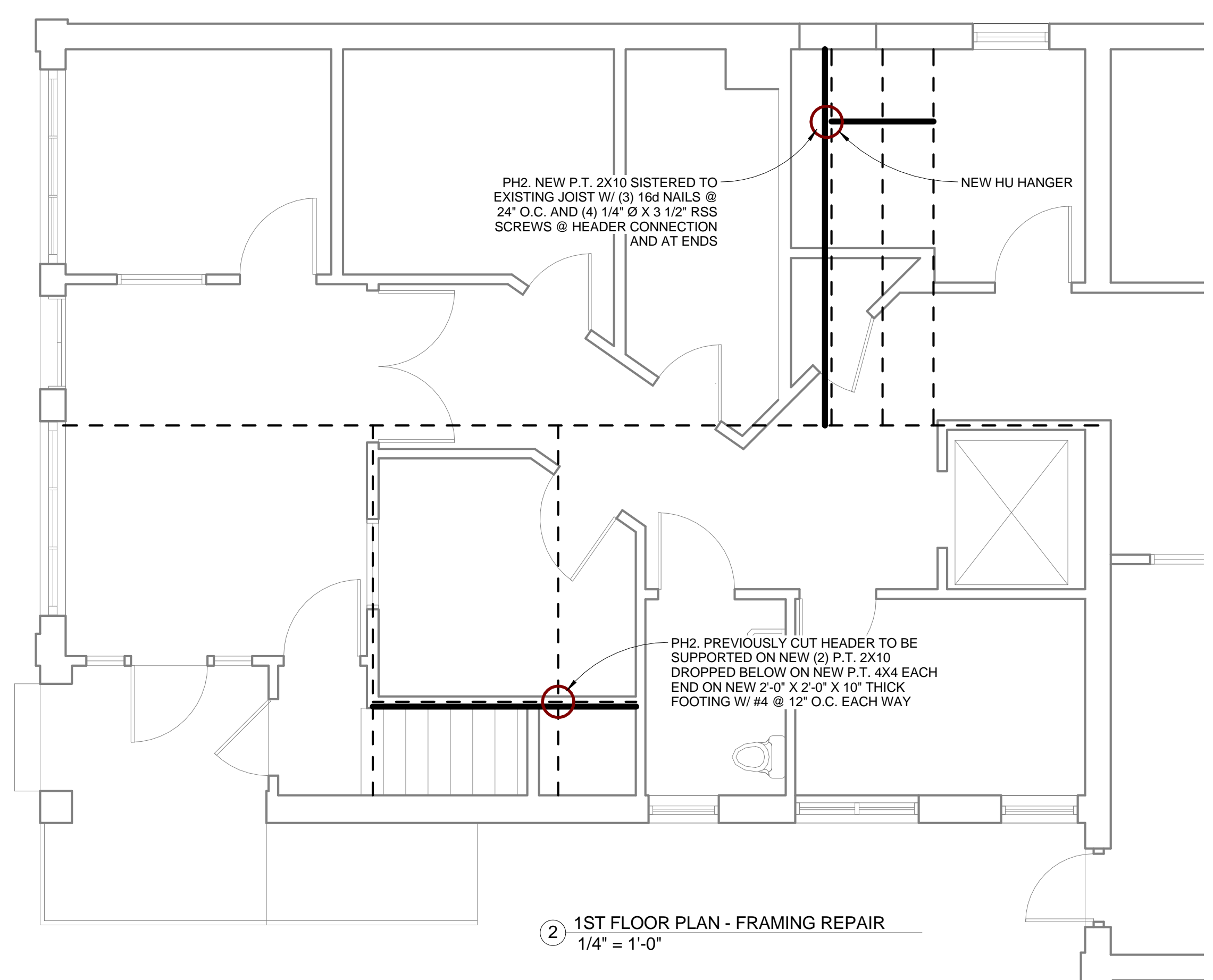
### REVISIONS:

ISSUED: 04/01/15  
PROJECT No: 1503  
DRAWN BY: RJP  
CHECKED BY: HWK  
SHEET TITLE:  
COVER SHEET

**A001**



1 1ST FLOOR PLAN  
1/4" = 1'-0"



**HISTORIC PRESERVATION BOARD REVIEW NOT FOR CONSTRUCTION**

- GENERAL NOTES:**
1. THE BUILDING WILL BE OCCUPIED DURING CONSTRUCTION. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF BUILDING OCCUPANTS THROUGHOUT CONSTRUCTION. ENSURE BUILDING ACCESS AND EGRESS ROUTES ARE MAINTAINED AT ALL TIMES.
  2. GENERAL CONTRACTOR TO PROVIDE DETAILED SCHEDULE OF WORK TO OWNER'S REP TO ALLOW TIME FOR OWNER/BUILDING OCCUPANTS TO VACATE AREAS WHERE CONTRACTOR REQUIRES INTERIOR ACCESS. NO WORK SHALL PROCEED UNTIL SCHEDULE HAS BEEN APPROVED BY OWNER.
  3. THE BUILDING IS WITHIN A PORTLAND HISTORIC DISTRICT AND ALL EXTERIOR WORK HAS BEEN APPROVED BY THE PORTLAND HISTORIC PRESERVATION BOARD PER THESE DRAWINGS. ANY DEVIATIONS FROM THE DRAWINGS MUST BE COORDINATED WITH THE ARCHITECT/ OWNER'S REP.
  4. WORK TO THE NORTH, EAST AND PARTS OF THE SOUTH ELEVATION WILL REQUIRE ACCESS FROM ADJACENT PROPERTIES. GENERAL CONTRACTOR SHALL COORDINATE ACCESS AS REQUIRED.
  5. ON-SITE LAYOUT SPACE IS LIMITED. COORDINATE REQUIRED USE OF OUTDOOR SPACE WITH OWNER'S REP.
  6. REFER TO PHASING PLAN/DESCRIPTION OF WORK ON SHEET A01. PHASING PLAN IS DEPENDENT ON FUNDING AVAILABLE TO OWNER AND IS SUBJECT TO CHANGE.

**LEARNINGWORKS**  
181 BRACKETT STREET, PORTLAND, MAINE

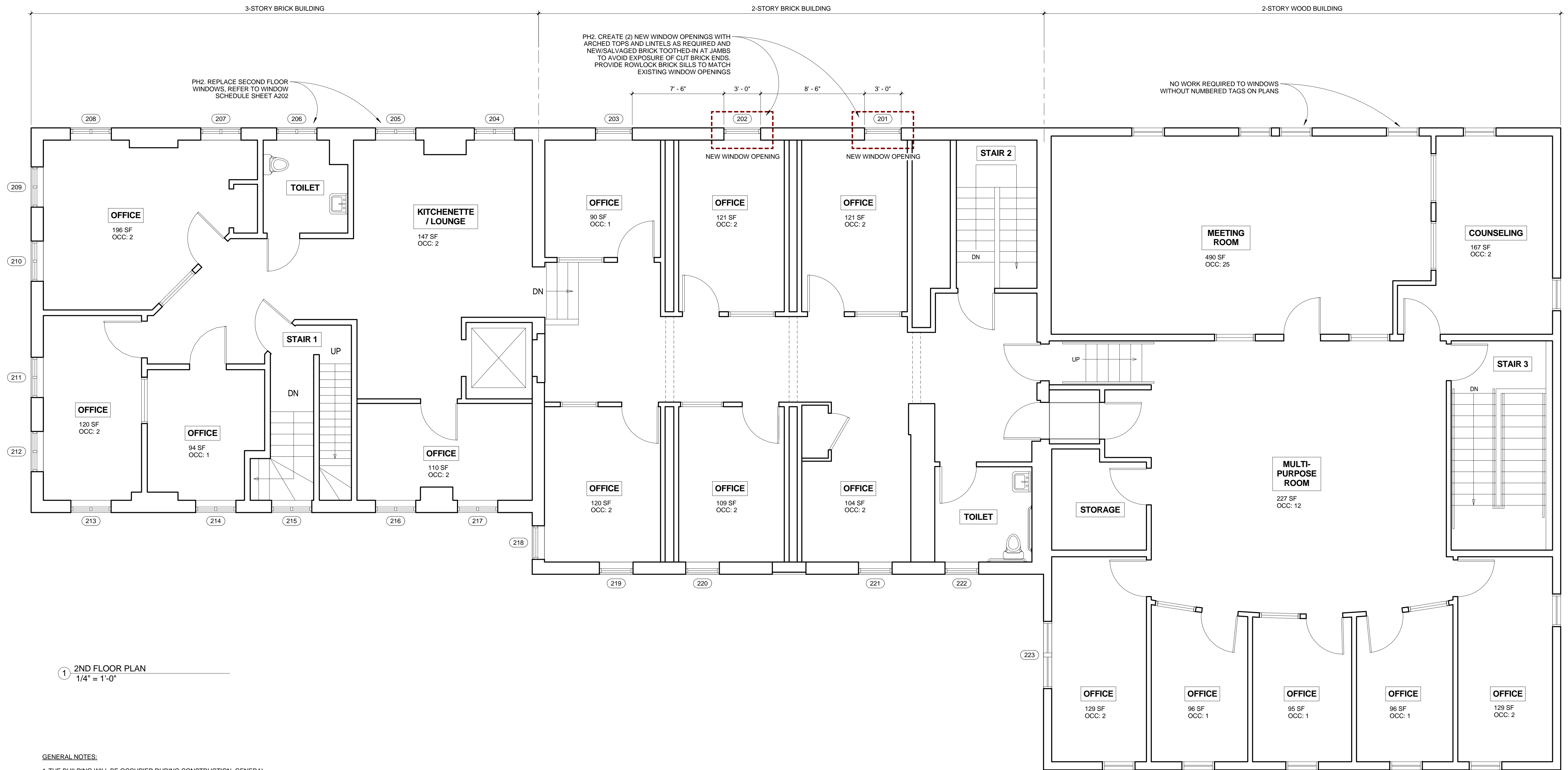
**BR BURN**  
architecture for life  
20 Maple St Suite 201 Portland, ME 04101 207-779-6462

CONSULTANTS:

REVISIONS:

ISSUED: 04/01/15  
PROJECT No: 1503  
DRAWN BY: RJP  
CHECKED BY: HWH  
SHEET TITLE: FIRST FLOOR PLAN

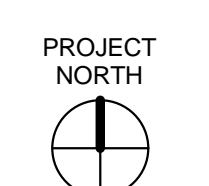
**A101**



1 2ND FLOOR PLAN  
1/4" = 1'-0"

GENERAL NOTES:

1. THE BUILDING WILL BE OCCUPIED DURING CONSTRUCTION. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF BUILDING OCCUPANTS THROUGHOUT CONSTRUCTION. ENSURE BUILDING ACCESS AND EGRESS ROUTES ARE MAINTAINED AT ALL TIMES.
2. GENERAL CONTRACTOR TO PROVIDE DETAILED SCHEDULE OF WORK TO OWNER'S REP TO ALLOW TIME FOR OWNER/BUILDING OCCUPANTS TO VACATE AREAS WHERE CONTRACTOR REQUIRES INTERIOR ACCESS. NO WORK SHALL PROCEED UNTIL SCHEDULE HAS BEEN APPROVED BY OWNER.
3. THE BUILDING IS WITHIN A PORTLAND HISTORIC DISTRICT AND ALL EXTERIOR WORK HAS BEEN APPROVED BY THE PORTLAND HISTORIC PRESERVATION BOARD PER THESE DRAWINGS. ANY DEVIATIONS FROM THE DRAWINGS MUST BE COORDINATED WITH THE ARCHITECT/ OWNER'S REP.
4. WORK TO THE NORTH, EAST AND PARTS OF THE SOUTH ELEVATION WILL REQUIRE ACCESS FROM ADJACENT PROPERTIES. GENERAL CONTRACTOR SHALL COORDINATE ACCESS AS REQUIRED.
5. ON-SITE LAYOUT SPACE IS LIMITED. COORDINATE REQUIRED USE OF OUTDOOR SPACE WITH OWNER'S REP.
6. REFER TO PHASING PLAN/DESCRIPTION OF WORK ON SHEET A001. PHASING PLAN IS DEPENDENT ON FUNDING AVAILABLE TO OWNER AND IS SUBJECT TO CHANGE.



**HISTORIC PRESERVATION BOARD REVIEW NOT FOR CONSTRUCTION**

**LEARNINGWORKS**  
181 BRACKETT STREET, PORTLAND, MAINE

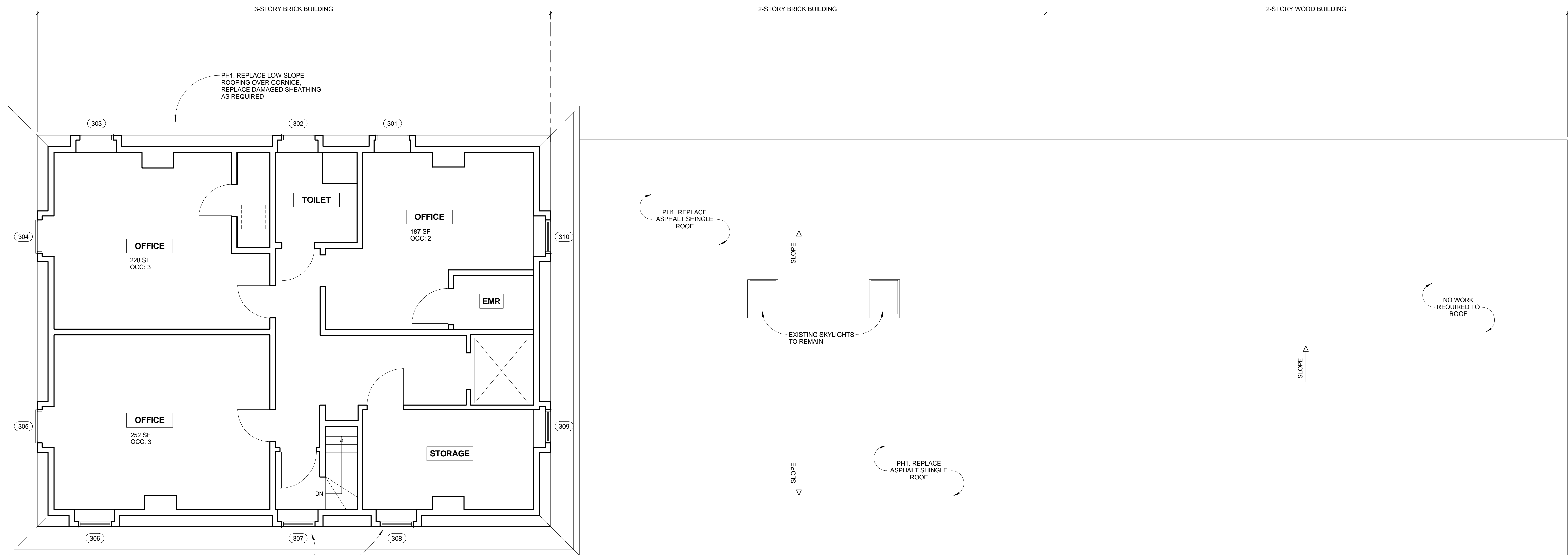


CONSULTANTS:

REVISIONS:

ISSUED: 04/01/15  
PROJECT No: 1503  
DRAWN BY: RIP  
CHECKED BY: HWH  
SHEET TITLE:  
SECOND FLOOR PLAN

**A102**



1 3RD FLOOR PLAN  
1/4" = 1'-0"

**GENERAL NOTES:**

1. THE BUILDING WILL BE OCCUPIED DURING CONSTRUCTION. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF BUILDING OCCUPANTS THROUGHOUT CONSTRUCTION. ENSURE BUILDING ACCESS AND EGRESS ROUTES ARE MAINTAINED AT ALL TIMES.
2. GENERAL CONTRACTOR TO PROVIDE DETAILED SCHEDULE OF WORK TO OWNER'S REP TO ALLOW TIME FOR OWNER/BUILDING OCCUPANTS TO VACATE AREAS WHERE CONTRACTOR REQUIRES INTERIOR ACCESS. NO WORK SHALL PROCEED UNTIL SCHEDULE HAS BEEN APPROVED BY OWNER.
3. THE BUILDING IS WITHIN A PORTLAND HISTORIC DISTRICT AND ALL EXTERIOR WORK HAS BEEN APPROVED BY THE PORTLAND HISTORIC PRESERVATION BOARD PER THESE DRAWINGS. ANY DEVIATIONS FROM THE DRAWINGS MUST BE COORDIANATED WITH THE ARCHITECT/ OWNER'S REP.
4. WORK TO THE NORTH, EAST AND PARTS OF THE SOUTH ELEVATION WILL REQUIRE ACCESS FROM ADJACENT PROPERTIES. GENERAL CONTRACTOR SHALL COORDINATE ACCESS AS REQUIRED.
5. ON-SITE LAYOUT SPACE IS LIMITED. COORDINATE REQUIRED USE OF OUTDOOR SPACE WITH OWNER'S REP.
6. REFER TO PHASING PLAN/DESCRIPTION OF WORK ON SHEET A001. PHASING PLAN IS DEPENDENT ON FUNDING AVAILABLE TO OWNER AND IS SUBJECT TO CHANGE.



**HISTORIC PRESERVATION BOARD REVIEW NOT FOR CONSTRUCTION**

LEARNINGWORKS

181 BRACKETT STREET, PORTLAND, MAINE

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20 Hedges Hill, Suite 202 Portland, ME 04101 207-774-6442

CONSULTANTS:

REVISIONS:

ISSUED: 04/01/15

PROJECT No: 1503

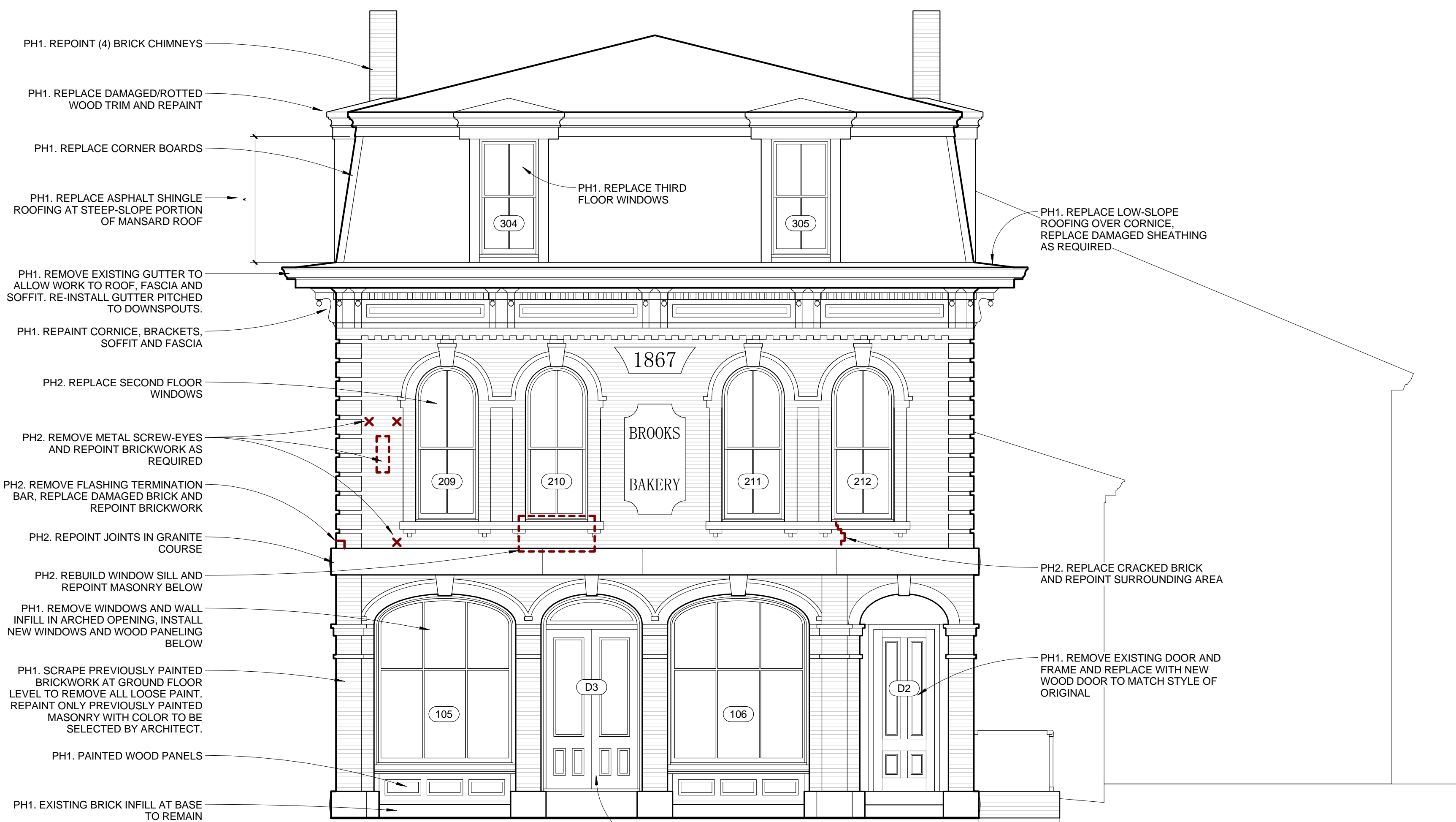
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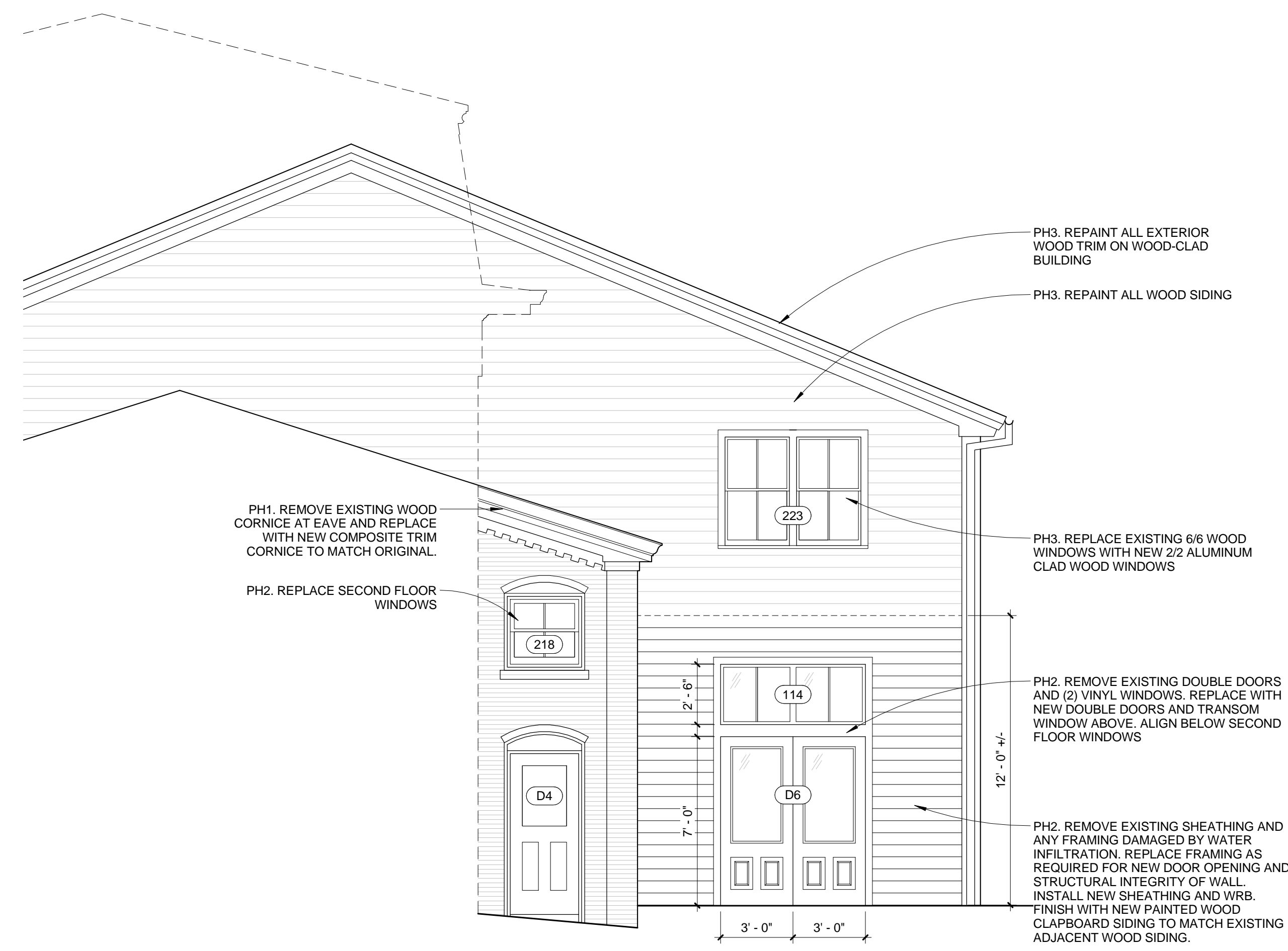
SHEET TITLE:

THIRD FLOOR PLAN

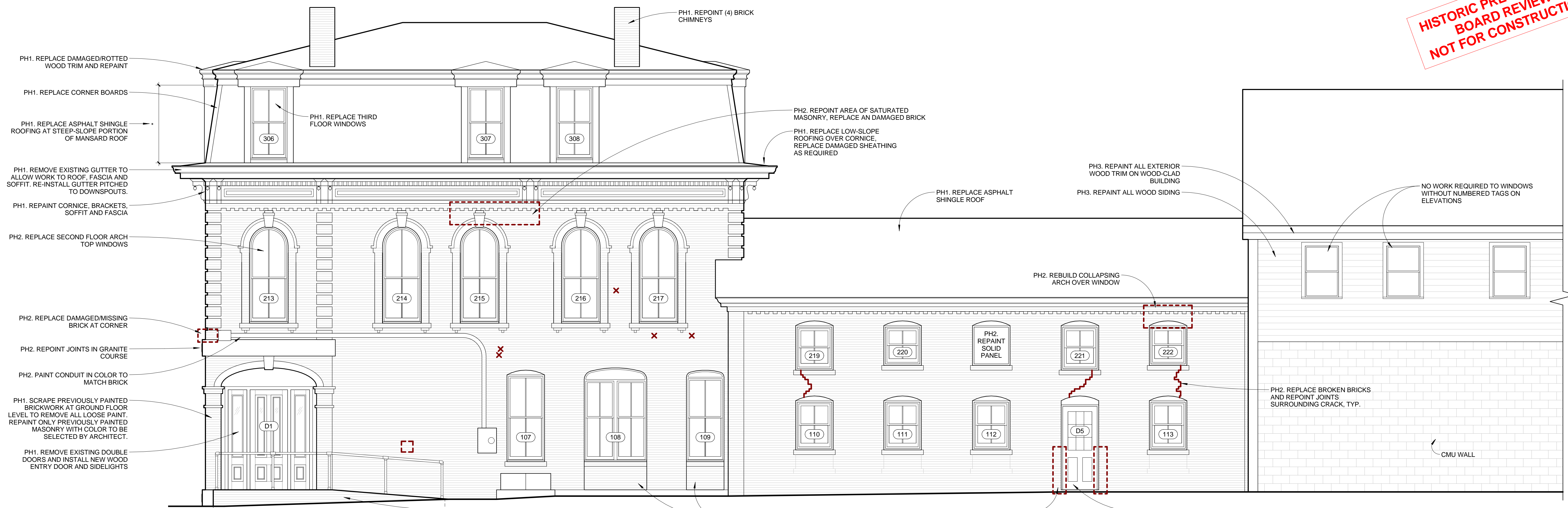
A103



1 WEST ELEVATION - STREETFRONT  
1/4" = 1'-0"



2 WEST ELEVATION - BACK BUILDINGS  
1/4" = 1'-0"



3 SOUTH ELEVATION  
1/4" = 1'-0"

**HISTORIC PRESERVATION  
BOARD REVIEW  
NOT FOR CONSTRUCTION**

WINDOW SCHEDULE							
MARK	M.O. WIDTH	M.O. HEIGHT	TYPE	DESCRIPTION	TRIM	DETAIL REF	
102	3'-0"	4'-1 1/2"	DOUBLE HUNG - 2/2 SDL	NEW WINDOW IN NEW M.O. - MATCH WIN 104	BULLNOSE BRICKMOLD	A404	
103	6'-0"	4'-1 1/2"	DOUBLE HUNG - 2/2 SDL	NEW WINDOW IN NEW M.O. - MATCH WIN 104	BULLNOSE BRICKMOLD	A404	
104	3'-0"	4'-1 1/2"	DOUBLE HUNG - 2/2 SDL	NEW WINDOW IN EXISTING M.O.	BULLNOSE BRICKMOLD	A404	
105	6'-9"	8'-2"	FIXED PICTURE WINDOW ELLIPTICAL TOP - 3/3 SDL	NEW WINDOW TO MATCH ORIGINAL HISTORIC DESIGN	BULLNOSE BRICKMOLD	A401	
106	6'-9"	8'-2"	FIXED PICTURE WINDOW ELLIPTICAL TOP - 3/3 SDL	NEW WINDOW TO MATCH ORIGINAL HISTORIC DESIGN	BULLNOSE BRICKMOLD	A401	
107	3'-0"	6'-11"	DOUBLE HUNG - 2/2 SDL	NEW WINDOW IN EXISTING M.O. - MATCH EXISTING	BULLNOSE BRICKMOLD		
108	5'-0"	6'-6"	(2) MULLED DOUBLE HUNG - 2/2 SDL	NEW WINDOW IN EXISTING M.O. - SIM TO WIN 107	BULLNOSE BRICKMOLD		
109	3'-0"	6'-9"	DOUBLE HUNG - 2/2 SDL	NEW WINDOW IN EXISTING M.O. - SIM TO WIN 107	BULLNOSE BRICKMOLD		
110	3'-0"	3'-11"	DOUBLE HUNG - 2/2 SDL	NEW WINDOW IN EXISTING M.O.	BULLNOSE BRICKMOLD	A404	
111	3'-0"	3'-11"	DOUBLE HUNG - 2/2 SDL	NEW WINDOW IN EXISTING M.O.	BULLNOSE BRICKMOLD	A404	
112	3'-0"	3'-11"	DOUBLE HUNG - 2/2 SDL	NEW WINDOW IN EXISTING M.O.	BULLNOSE BRICKMOLD	A404	
113	3'-0"	3'-11"	DOUBLE HUNG - 2/2 SDL	NEW WINDOW IN EXISTING M.O.	BULLNOSE BRICKMOLD	A404	
114	6'-0"	2'-6"	FIXED	NEW WINDOW IN NEW WOOD FRAMED OPENING	NONE		
201	3'-0"	3'-2"	DOUBLE HUNG - 2/2 SDL	NEW WINDOW IN NEW M.O. - MATCH WIN 203	BULLNOSE BRICKMOLD	A404	
202	3'-0"	3'-2"	DOUBLE HUNG - 2/2 SDL	NEW WINDOW IN NEW M.O. - MATCH WIN 203	BULLNOSE BRICKMOLD	A404	
203	3'-0"	3'-2"	DOUBLE HUNG - 2/2 SDL	NEW WINDOW IN EXISTING M.O.	BULLNOSE BRICKMOLD	A404	
204	3'-1 1/2"	7'-9"	DOUBLE HUNG ARCH TOP - 2/2 SDL	NEW WINDOW IN EXISTING M.O.	BULLNOSE BRICKMOLD	A402	
205	3'-1 1/2"	7'-9"	DOUBLE HUNG ARCH TOP - 2/2 SDL	NEW WINDOW IN EXISTING M.O.	BULLNOSE BRICKMOLD	A402	
206	3'-1 1/2"	7'-9"	DOUBLE HUNG ARCH TOP - 2/2 SDL	NEW WINDOW IN EXISTING M.O.	BULLNOSE BRICKMOLD	A402	
207	3'-1 1/2"	7'-9"	DOUBLE HUNG ARCH TOP - 2/2 SDL	NEW WINDOW IN EXISTING M.O.	BULLNOSE BRICKMOLD	A402	
208	3'-1 1/2"	7'-9"	DOUBLE HUNG ARCH TOP - 2/2 SDL	NEW WINDOW IN EXISTING M.O.	BULLNOSE BRICKMOLD	A402	
209	3'-1 1/2"	7'-9"	DOUBLE HUNG ARCH TOP - 2/2 SDL	NEW WINDOW IN EXISTING M.O.	BULLNOSE BRICKMOLD	A402	
210	3'-1 1/2"	7'-9"	DOUBLE HUNG ARCH TOP - 2/2 SDL	NEW WINDOW IN EXISTING M.O.	BULLNOSE BRICKMOLD	A402	
211	3'-1 1/2"	7'-9"	DOUBLE HUNG ARCH TOP - 2/2 SDL	NEW WINDOW IN EXISTING M.O.	BULLNOSE BRICKMOLD	A402	
212	3'-1 1/2"	7'-9"	DOUBLE HUNG ARCH TOP - 2/2 SDL	NEW WINDOW IN EXISTING M.O.	BULLNOSE BRICKMOLD	A402	
213	3'-1 1/2"	7'-9"	DOUBLE HUNG ARCH TOP - 2/2 SDL	NEW WINDOW IN EXISTING M.O.	BULLNOSE BRICKMOLD	A402	
214	3'-1 1/2"	7'-9"	DOUBLE HUNG ARCH TOP - 2/2 SDL	NEW WINDOW IN EXISTING M.O.	BULLNOSE BRICKMOLD	A402	
215	3'-1 1/2"	7'-9"	DOUBLE HUNG ARCH TOP - 2/2 SDL	NEW WINDOW IN EXISTING M.O.	BULLNOSE BRICKMOLD	A402	
216	3'-1 1/2"	7'-9"	DOUBLE HUNG ARCH TOP - 2/2 SDL	NEW WINDOW IN EXISTING M.O.	BULLNOSE BRICKMOLD	A402	
217	3'-1 1/2"	7'-9"	DOUBLE HUNG ARCH TOP - 2/2 SDL	NEW WINDOW IN EXISTING M.O.	BULLNOSE BRICKMOLD	A402	
218	3'-4"	3'-2"	DOUBLE HUNG - 2/2 SDL	NEW WINDOW IN EXISTING M.O.	BULLNOSE BRICKMOLD	A404	
219	3'-0"	3'-6"	DOUBLE HUNG - 2/2 SDL	NEW WINDOW IN EXISTING M.O.	BULLNOSE BRICKMOLD	A404	
220	3'-0"	3'-2"	DOUBLE HUNG - 2/2 SDL	NEW WINDOW IN EXISTING M.O.	BULLNOSE BRICKMOLD	A404	
221	3'-0"	3'-6"	DOUBLE HUNG - 2/2 SDL	NEW WINDOW IN EXISTING M.O.	BULLNOSE BRICKMOLD	A404	
222	3'-0"	3'-2"	DOUBLE HUNG - 2/2 SDL	NEW WINDOW IN EXISTING M.O.	BULLNOSE BRICKMOLD	A404	
223	5'-8"	4'-6"	(2) MULLED DOUBLE HUNG - 2/2 SDL	NEW WINDOW IN EXISTING WOOD FRAMED OPENING	NONE	A403	
301	2'-11"	5'-9"	DOUBLE HUNG - 2/2 SDL	NEW WINDOW IN EXISTING WOOD FRAMED OPENING	NONE	A403	
302	2'-11"	5'-9"	DOUBLE HUNG - 2/2 SDL	NEW WINDOW IN EXISTING WOOD FRAMED OPENING	NONE	A403	
303	2'-11"	5'-9"	DOUBLE HUNG - 2/2 SDL	NEW WINDOW IN EXISTING WOOD FRAMED OPENING	NONE	A403	
304	2'-11"	5'-9"	DOUBLE HUNG - 2/2 SDL	NEW WINDOW IN EXISTING WOOD FRAMED OPENING	NONE	A403	
305	2'-11"	5'-9"	DOUBLE HUNG - 2/2 SDL	NEW WINDOW IN EXISTING WOOD FRAMED OPENING	NONE	A403	
306	2'-11"	5'-9"	DOUBLE HUNG - 2/2 SDL	NEW WINDOW IN EXISTING WOOD FRAMED OPENING	NONE	A403	
307	2'-11"	5'-9"	DOUBLE HUNG - 2/2 SDL	NEW WINDOW IN EXISTING WOOD FRAMED OPENING	NONE	A403	
308	2'-11"	5'-9"	DOUBLE HUNG - 2/2 SDL	NEW WINDOW IN EXISTING WOOD FRAMED OPENING	NONE	A403	
309	2'-11"	5'-9"	DOUBLE HUNG - 2/2 SDL	NEW WINDOW IN EXISTING WOOD FRAMED OPENING	NONE	A403	
310	2'-11"	5'-9"	DOUBLE HUNG - 2/2 SDL	NEW WINDOW IN EXISTING WOOD FRAMED OPENING	NONE	A403	

- NOTES:
1. ALL WINDOW ROUGH OPENING SIZES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR.
  2. ALL REPLACEMENT WINDOWS TO BE CUSTOM ALUMINUM-CLAD WOOD MATCHING SIGHTLINES AND PROFILES OF ORIGINAL WINDOWS AS CLOSELY AS POSSIBLE.
  3. SIMULATED DIVIDED LIGHTS TO BE 7/8" WIDTH WITH "PUTTY GLAZED" PROFILE TO EXTERIOR AND SPACER BAR BETWEEN GLAZING.
  4. ALL WINDOWS TO BE DOUBLE-GLAZED WITH HIGH VLT: 70+



2 NORTH ELEVATION  
1/4" = 1'-0"

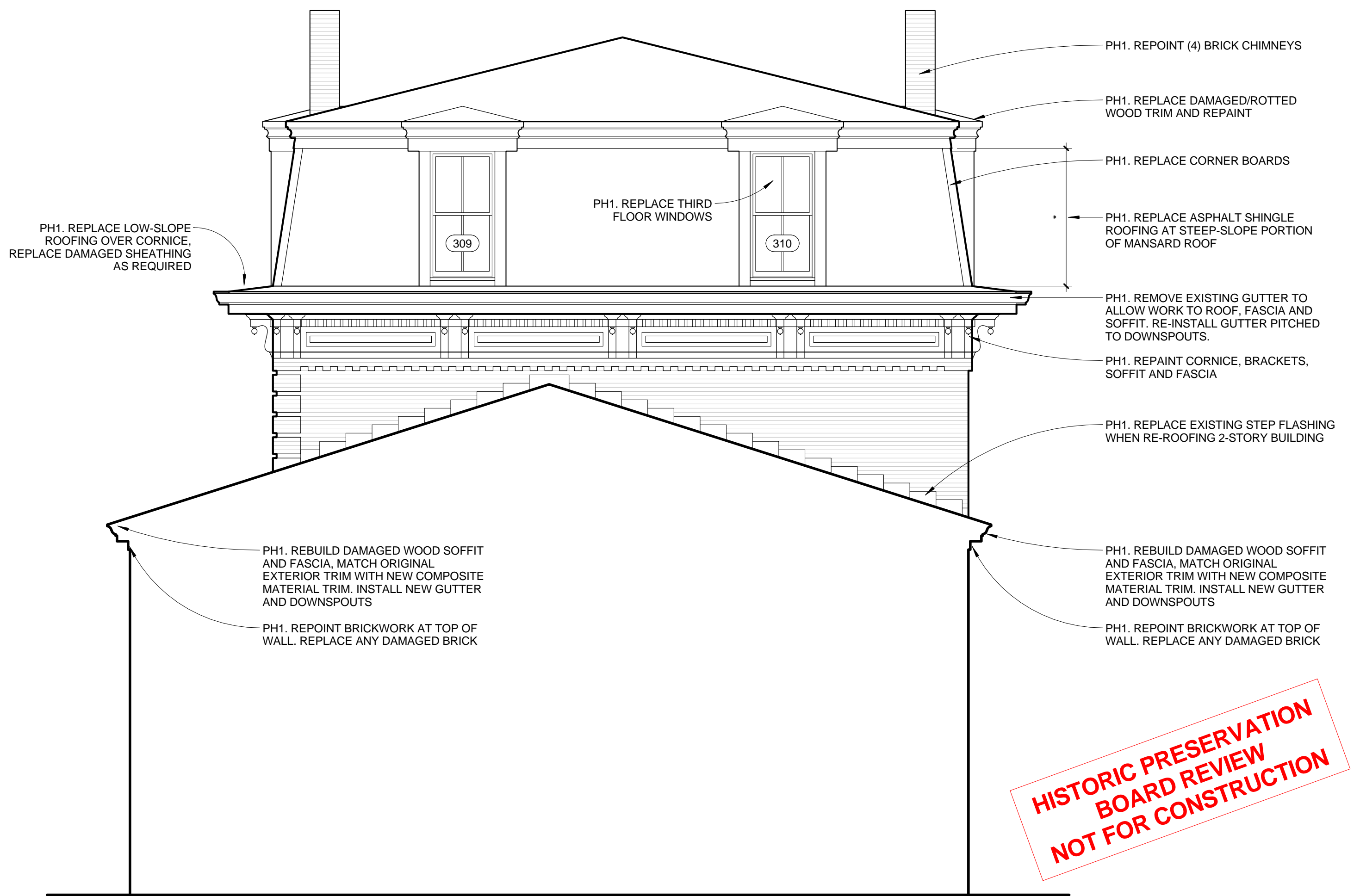
WALL AREA WITH 10' SEPARATION DISTANCE FROM ADJACENT BUILDING: 2,190 SF  
ALLOWABLE EXTERIOR WALL OPENING AREA 15% (PER IBC TABLE 705.8): 328.5 SF  
EXISTING WINDOW AREA: 222 SF  
PROPOSED AREA OF NEW WINDOWS: 58 SF  
TOTAL WINDOW AREA (EXISTING + NEW): 280 SF - 12.75%

PH2. CREATE (4) NEW WINDOW OPENINGS WITH NEWSALVAGED BRICK TOOTHED-IN AT JAMBS TO AVOID EXPOSURE OF CUT BRICK ENDS. PROVIDE ROWLOCK BRICK SILLS TO MATCH EXISTING WINDOW OPENINGS. REPOINT/REPAIR BRICK AT JAMBS WITHIN 2'-0" FOR FULL DEPTH OF WALL FOR SOLID/SOUND WALL IN LIKE-NEW CONDITION

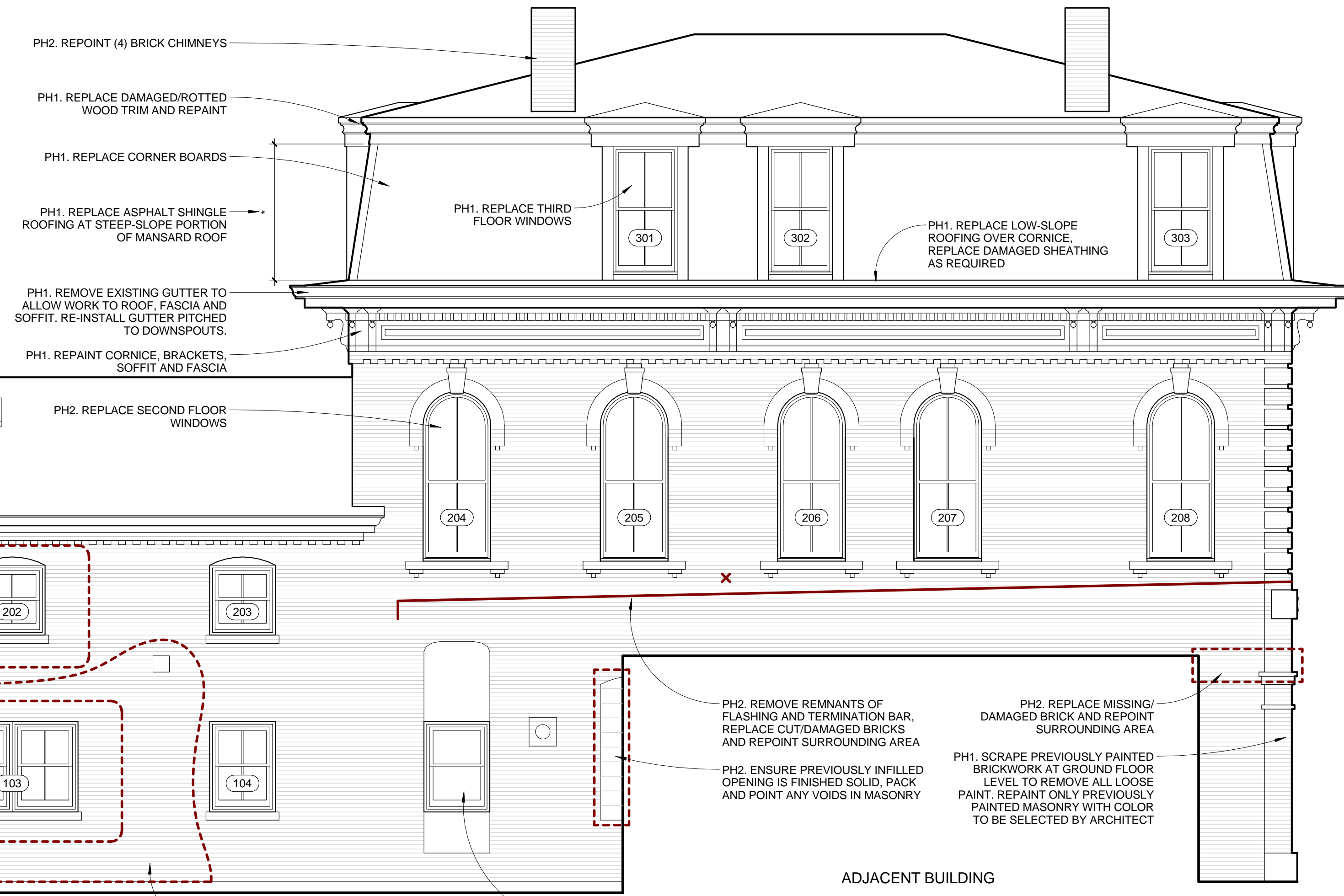
WINDOW 102: PROVIDE NEW L 3 1/2 X 3 1/2 X 1/4" HDG STEEL LINTEL PER BRICK WYTHE  
WINDOW 103: PROVIDE NEW L 5 1/2 X 3 1/2 X 5/16" HDG STEEL LINTEL PER BRICK WYTHE  
WINDOWS 201 & 202: PROVIDE BRICK ARCH AT HEAD TO MATCH WINDOW 203

PH2. REMOVE AREAS OF POORLY REPOINTED PORTLAND CEMENT MORTAR AND SURFACE MORTAR. REPOINT AS REQUIRED WITH MORTAR MATCHING COMPOSITION OF ORIGINAL. RE-STACK BRICK IN AREAS WHERE MORTAR IS SEVERLY DETERIORATED

WINDOW REPLACED UNDER PREVIOUS PHASE OF WORK



1 EAST ELEVATION  
1/4" = 1'-0"



ADJACENT BUILDING

**HISTORIC PRESERVATION BOARD REVIEW NOT FOR CONSTRUCTION**

**LEARNINGWORKS**  
181 BRACKETT STREET, PORTLAND, MAINE

**BR BURN**  
architecture for life  
20 Maple St Suite 200 Portland, ME 04101 207-774-6462

CONSULTANTS:

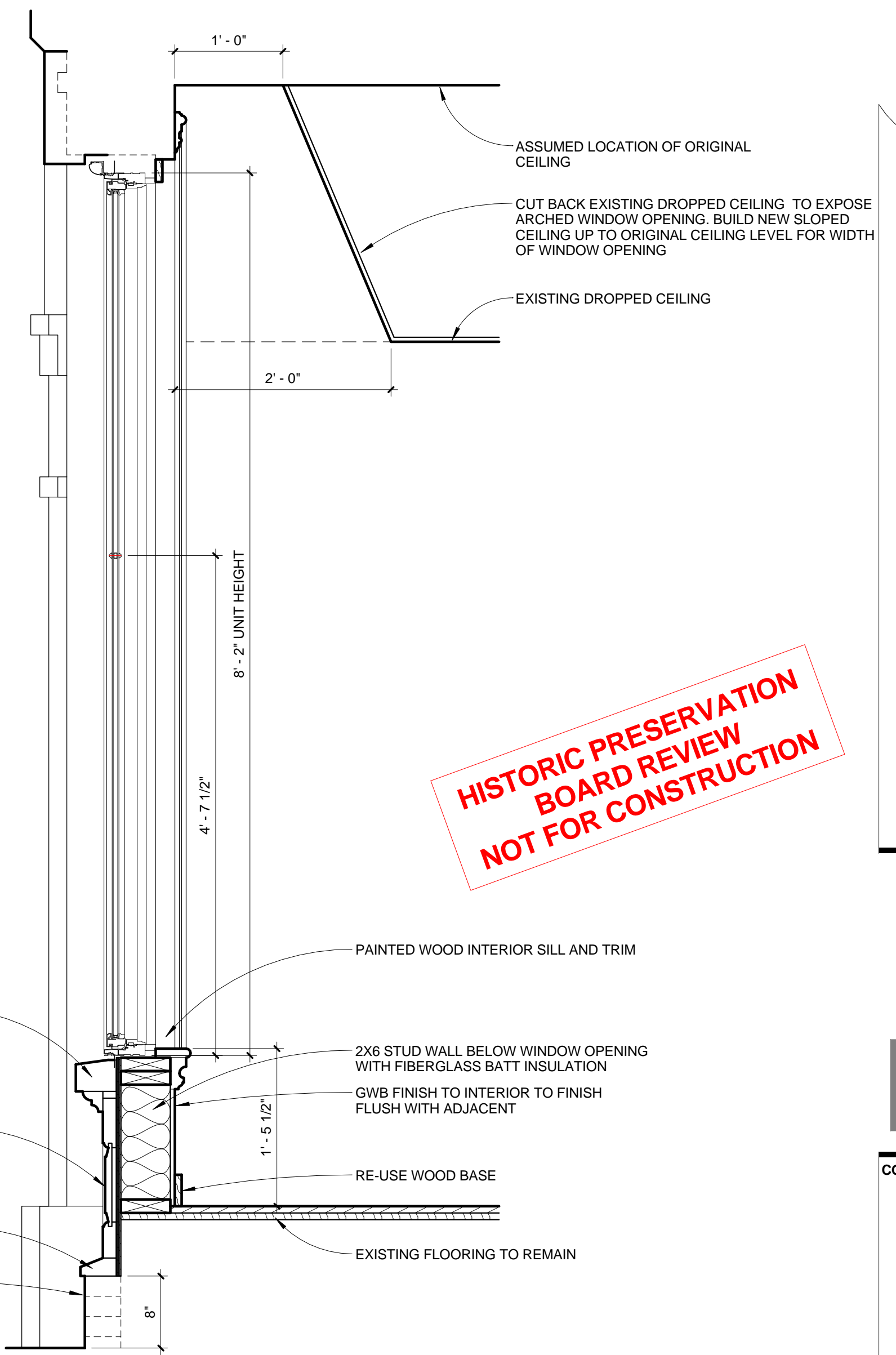
REVISIONS:

ISSUED: 04/01/15  
PROJECT No: 1503  
DRAWN BY: RIP  
CHECKED BY: HWH  
SHEET TITLE: ELEVATIONS & WINDOW SCHEDULE

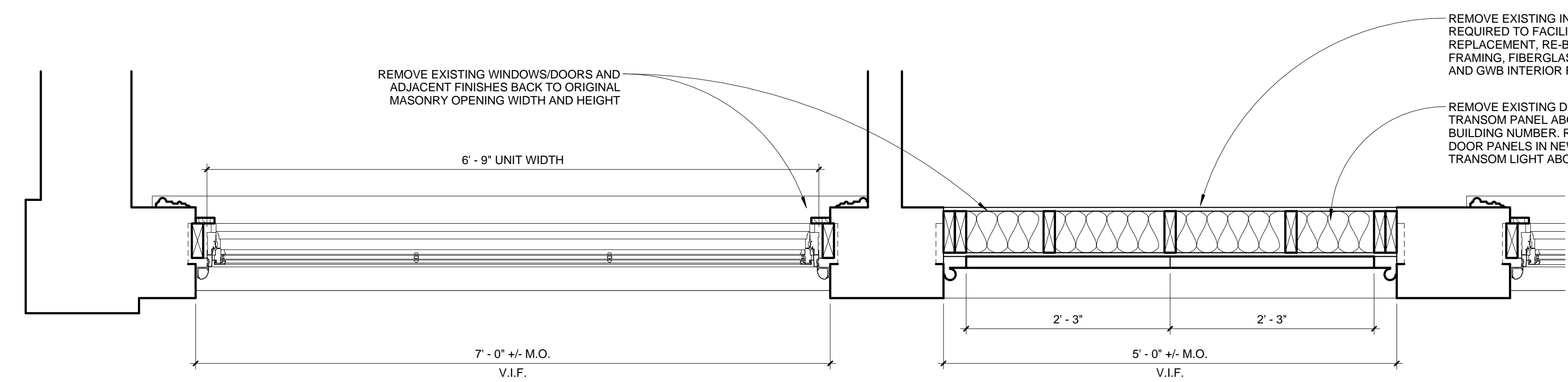
**A202**



ELLIPTICAL TOP TRANSOM WITH SOLID PANEL  
CONTINUOUS BULLNOSE BRICKMOLD TRIM TO MATCH WINDOWS



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① STOREFRONT  
1" = 1'-0"

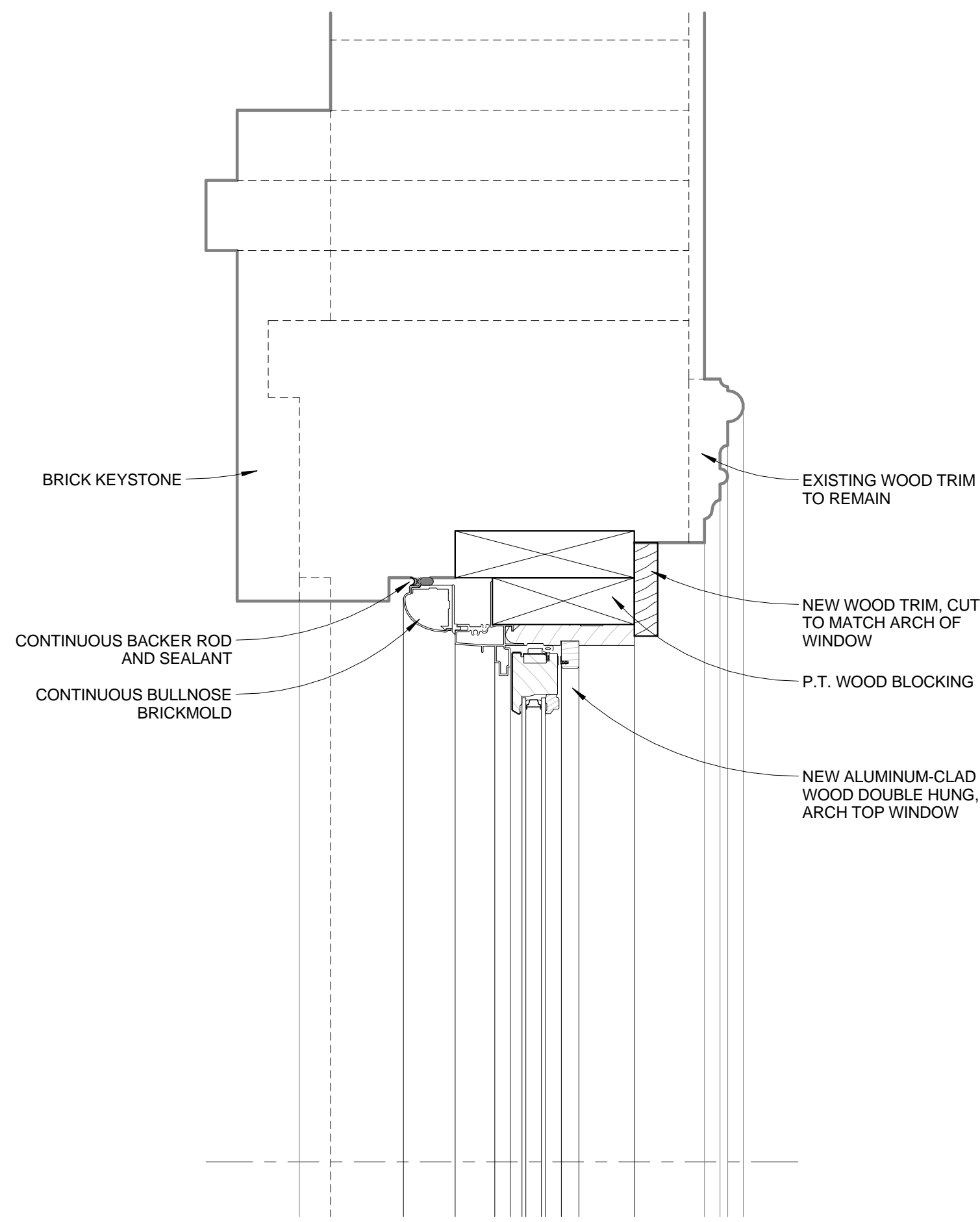


CONSULTANTS:

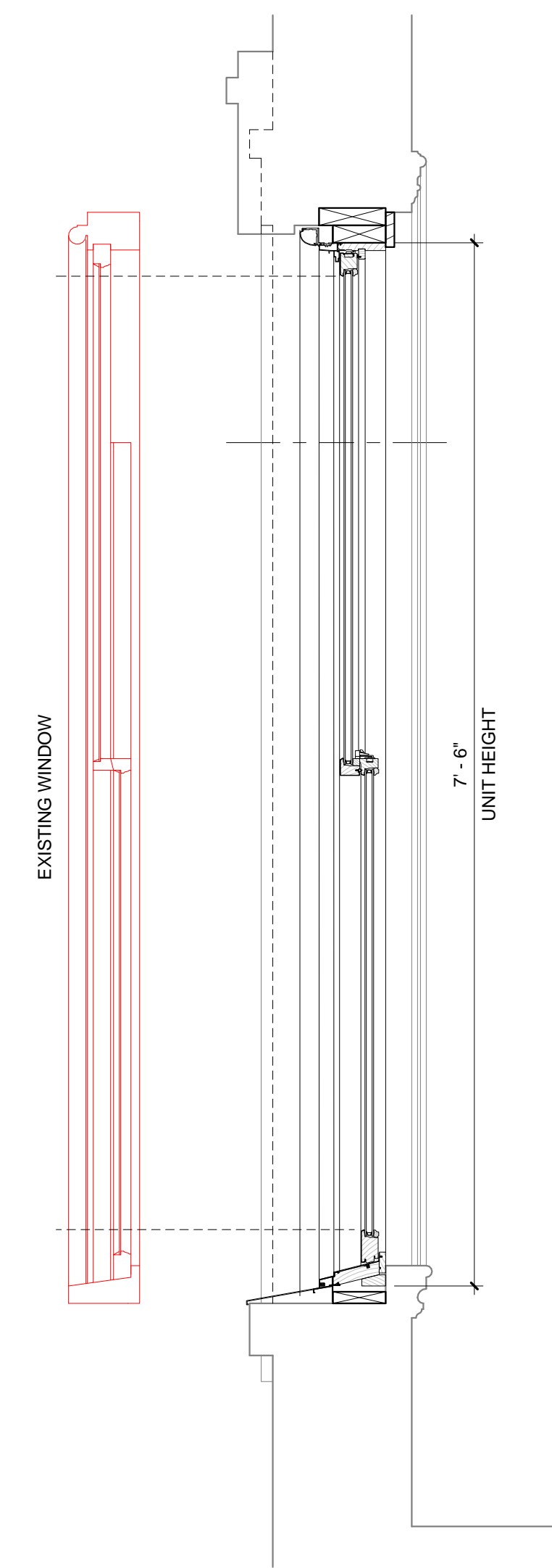
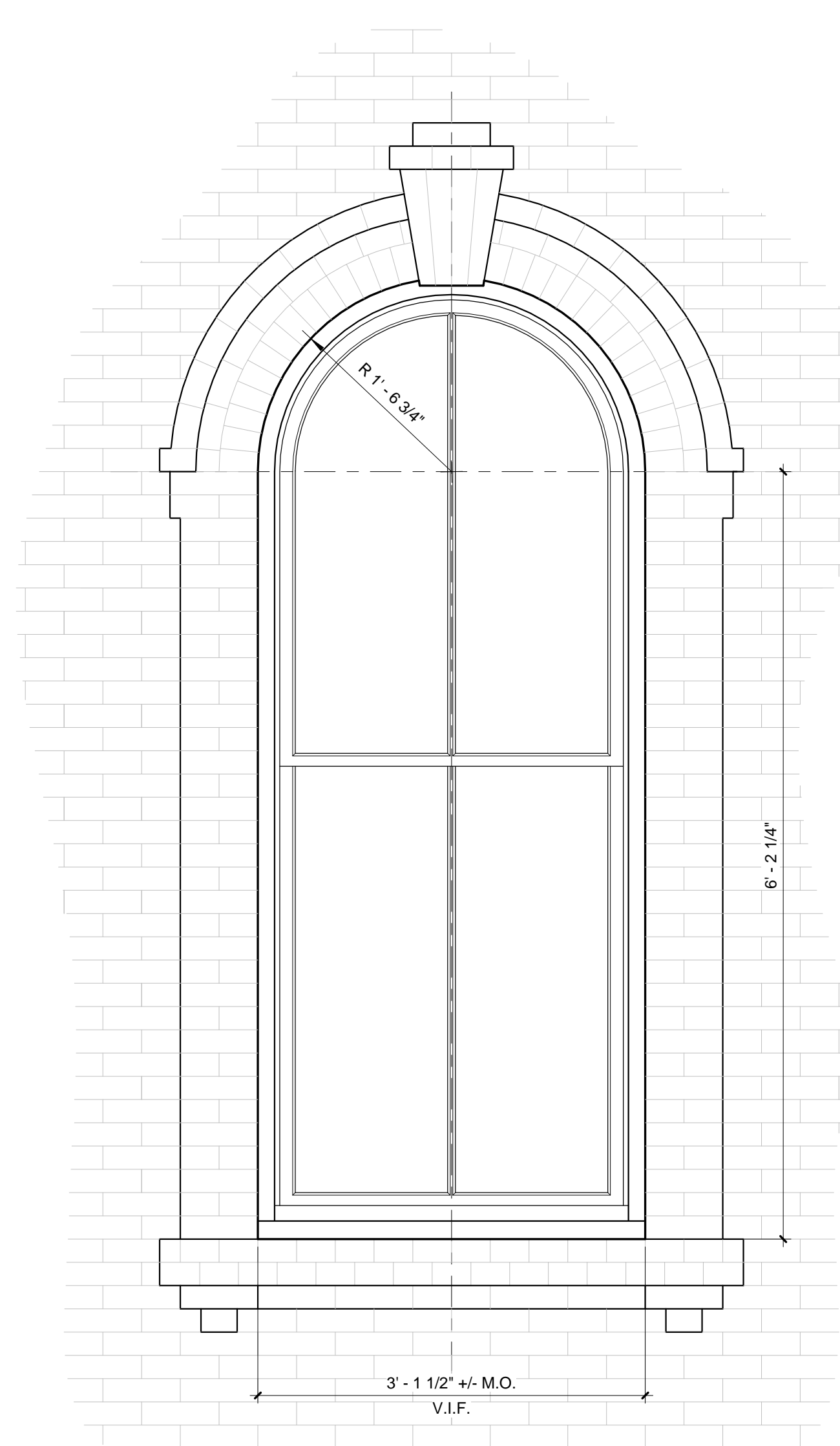
REVISIONS:

ISSUED: 04/01/15  
PROJECT No: 1503  
DRAWN BY: RIP  
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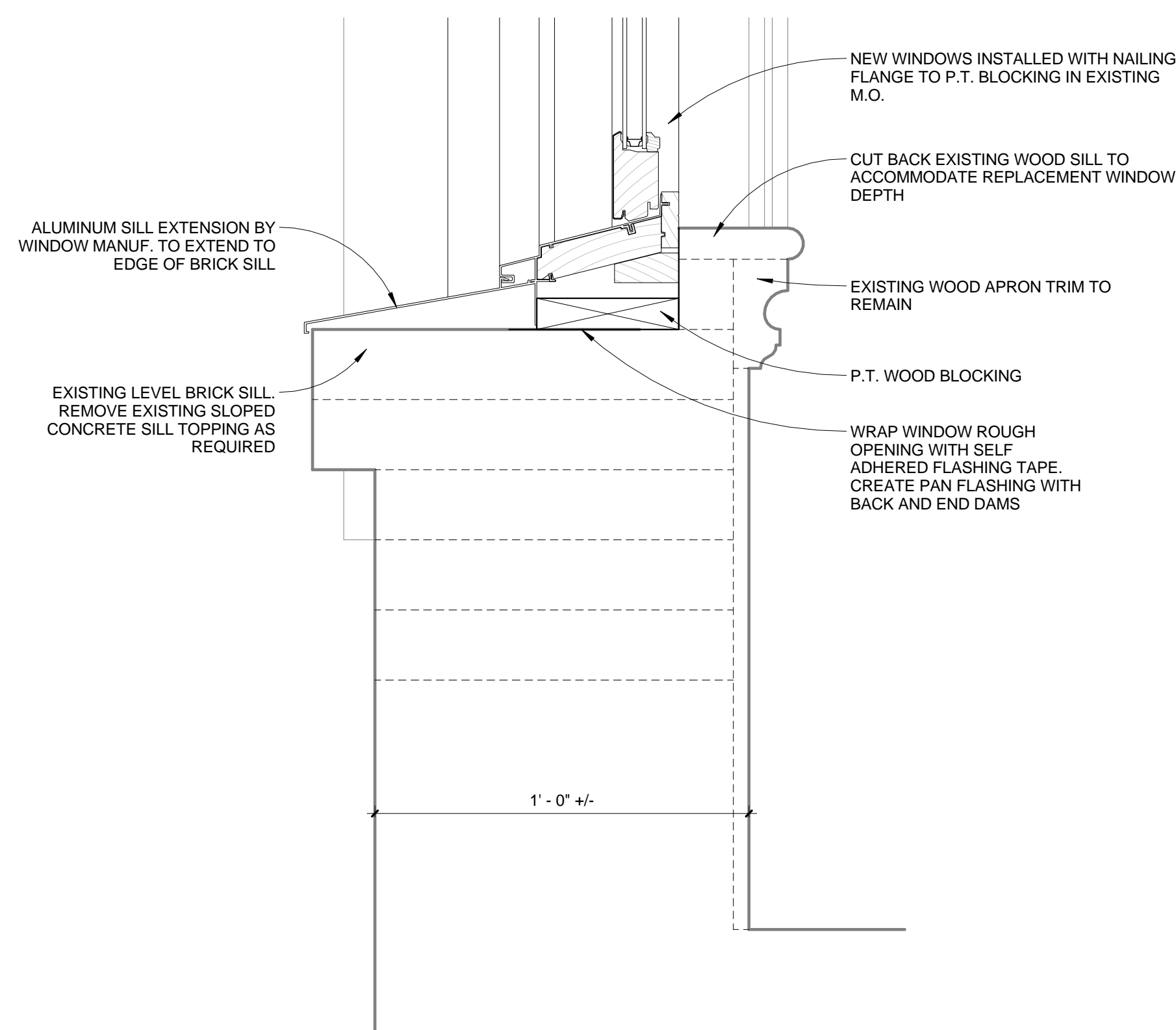
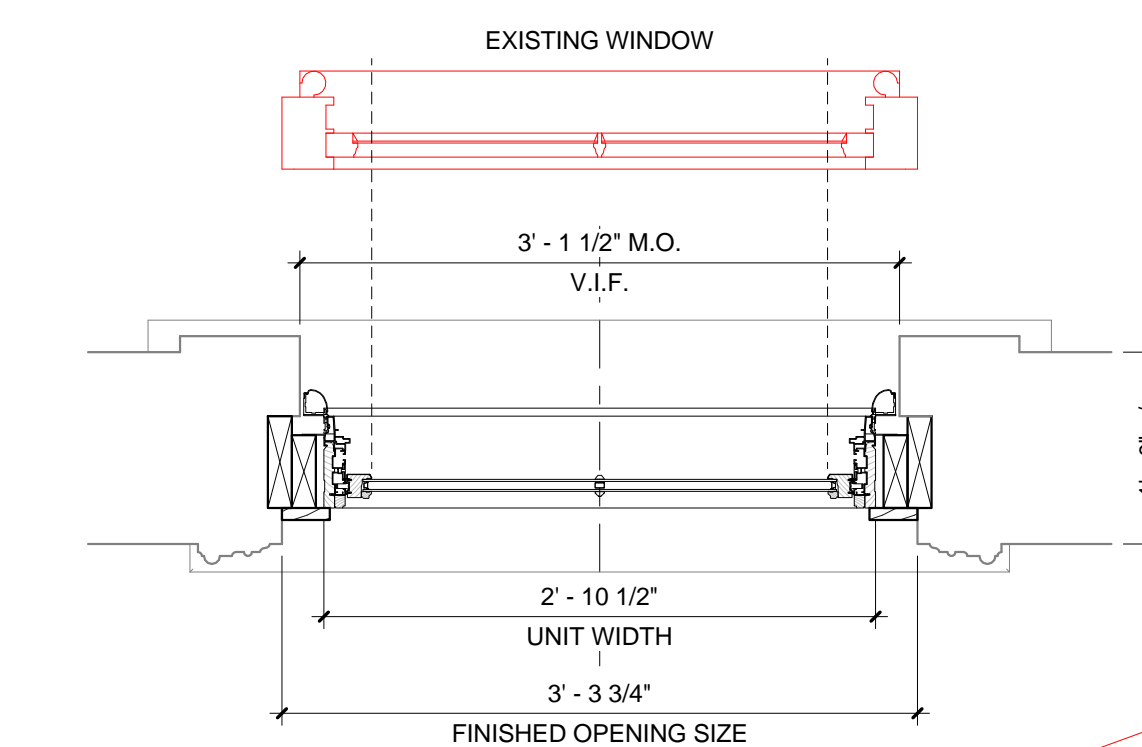
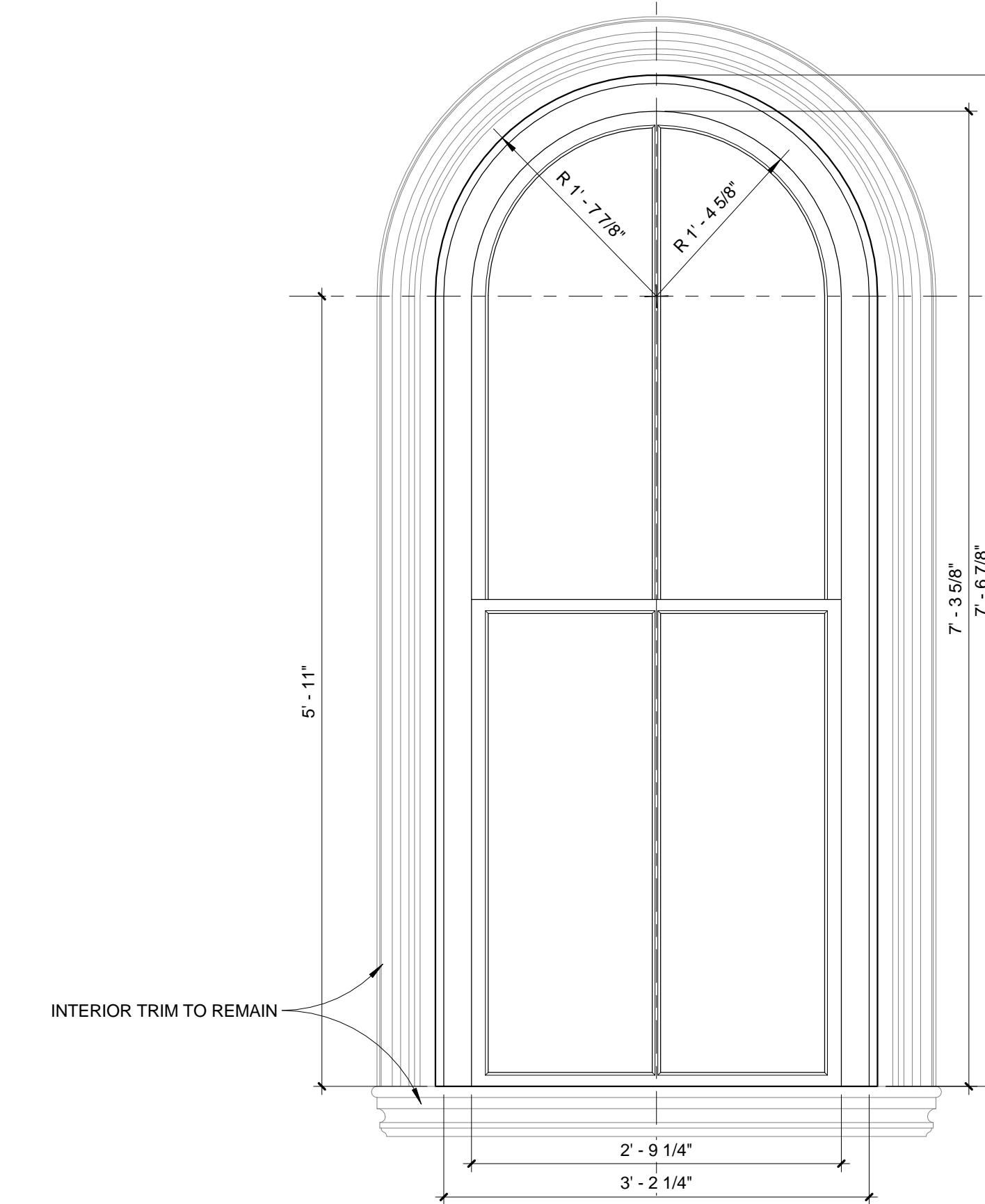
SHEET TITLE:  
STOREFRONT  
DETAILS



1 ARCH WINDOW - HEAD  
3" = 1'-0"



3 ARCH WINDOW DETAILS  
1" = 1'-0"

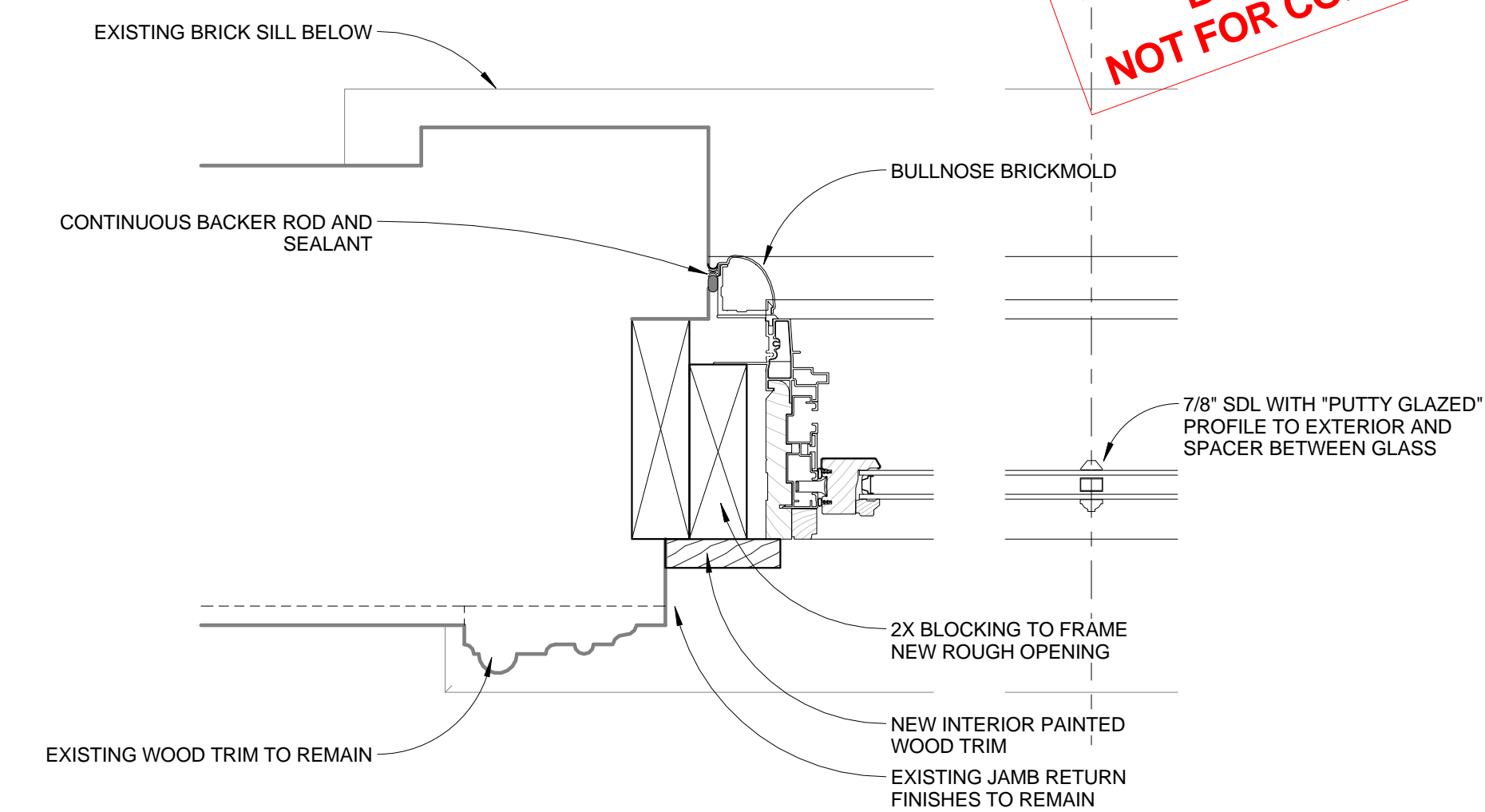


2 ARCH WINDOW - SILL  
3" = 1'-0"



GENERAL NOTES:

1. REMOVE EXISTING STORM WINDOWS AND ORIGINAL WOOD WINDOWS INCLUDING FULL FRAME AND WEIGHT POCKETS. REPLACE WITH CUSTOM ALUMINUM-CLAD WOOD ARCH-TOP WINDOWS TO MATCH EXISTING SIGHTLINES AS CLOSELY AS POSSIBLE, SIMULATED DIVIDED LIGHTS AND BRICKMOLD.
2. GC TO VERIFY ALL DIMENSIONS IN THE FIELD AND COORDINATE NEW WINDOW SIZES ACCORDINGLY.

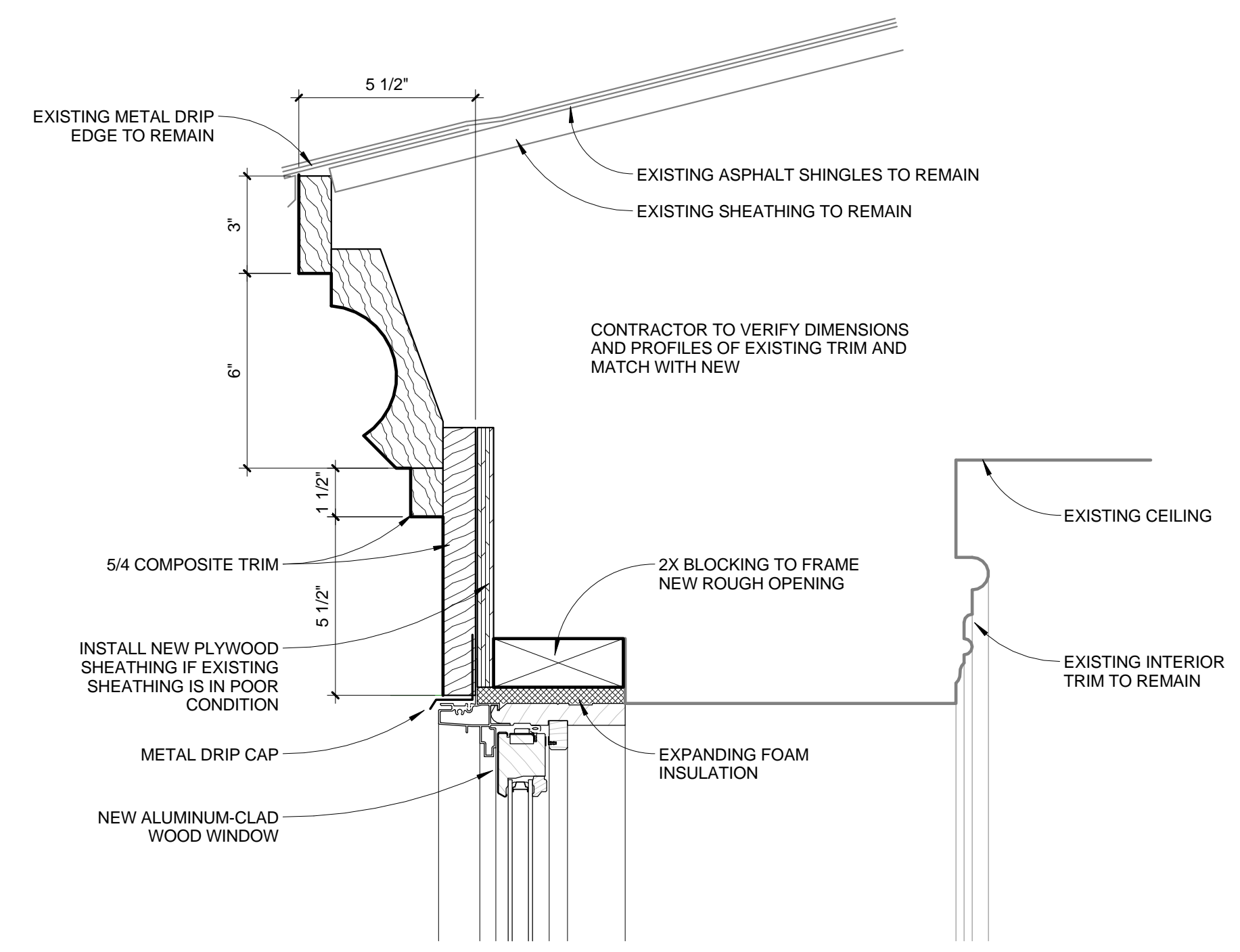


4 ARCH WINDOW - JAMB  
3" = 1'-0"

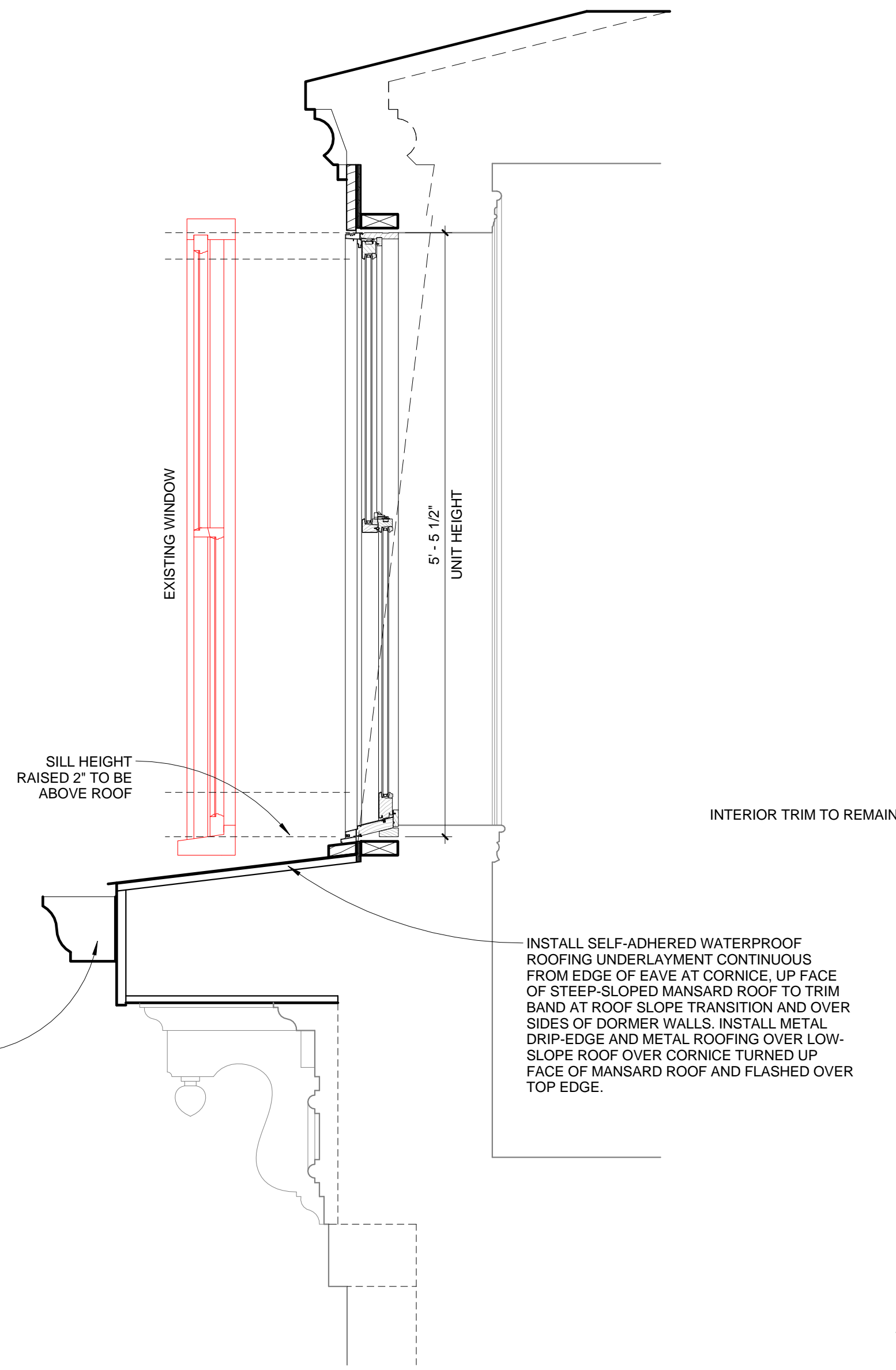
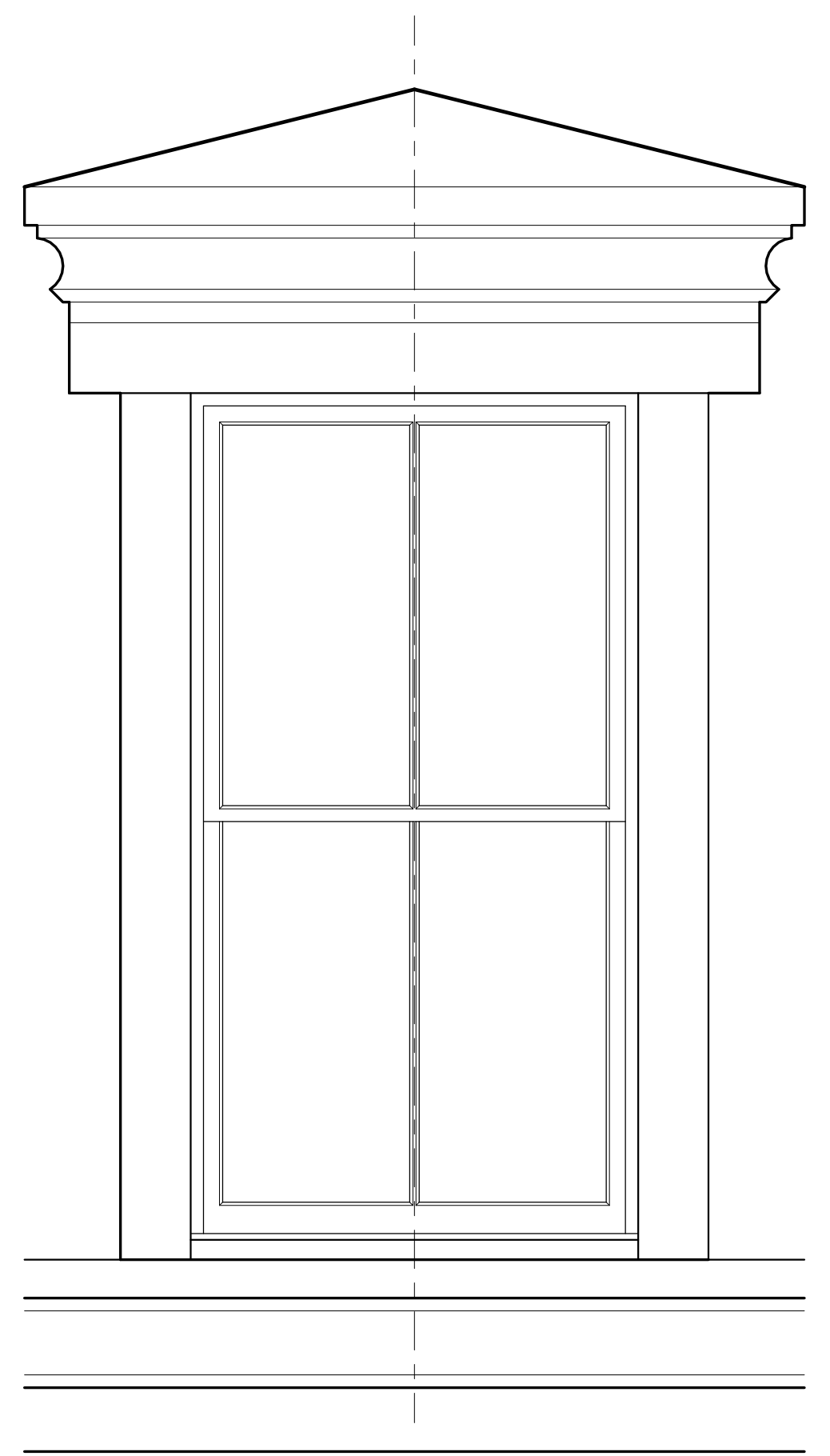
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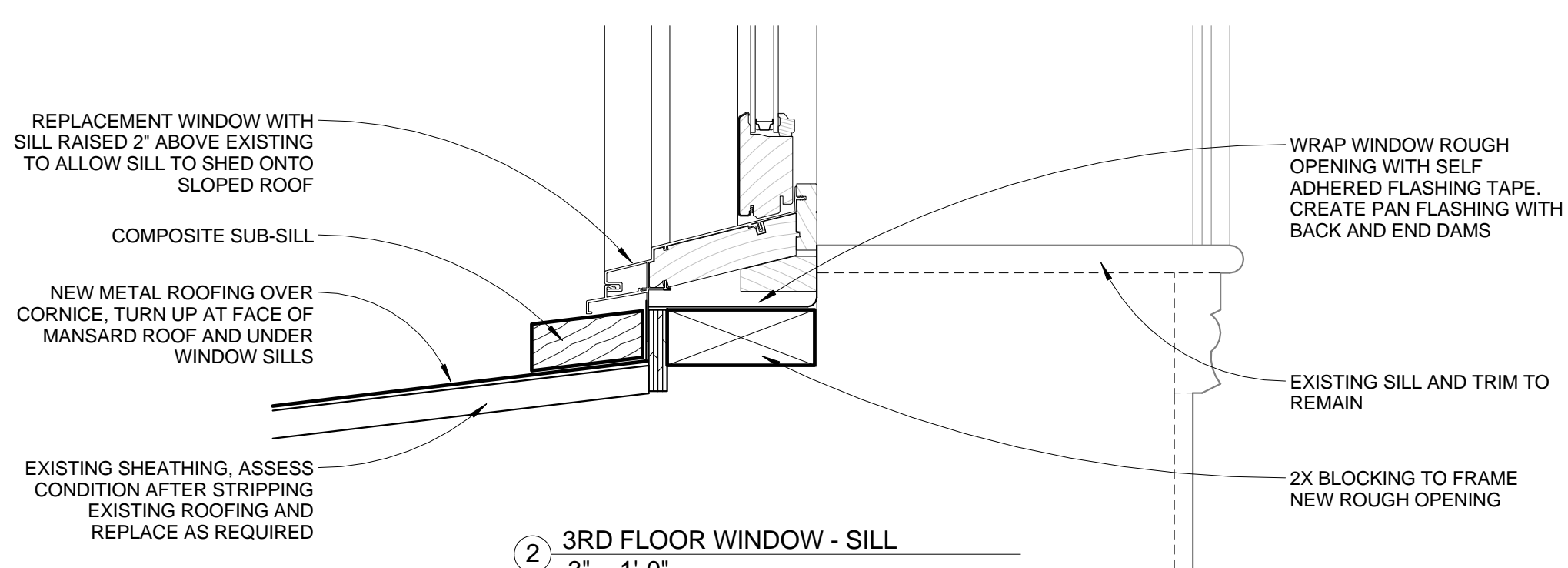
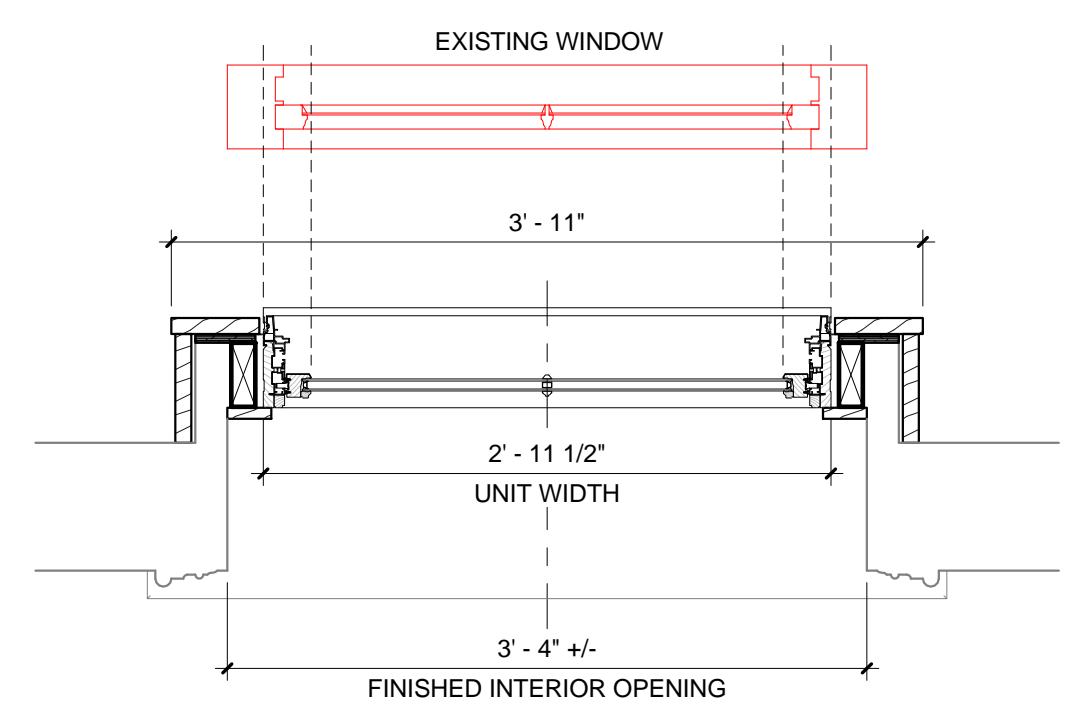
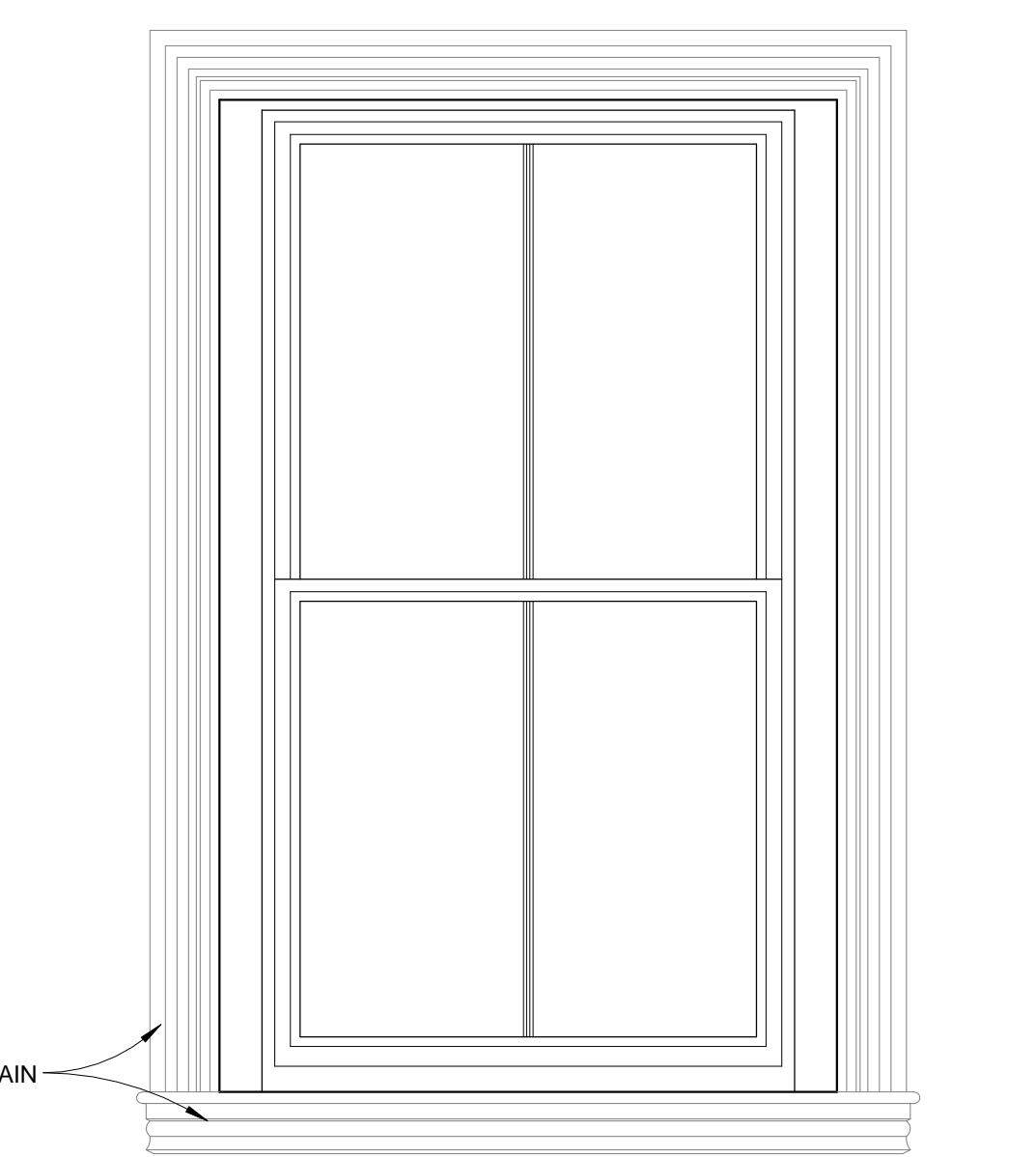
**HISTORIC PRESERVATION  
BOARD REVIEW  
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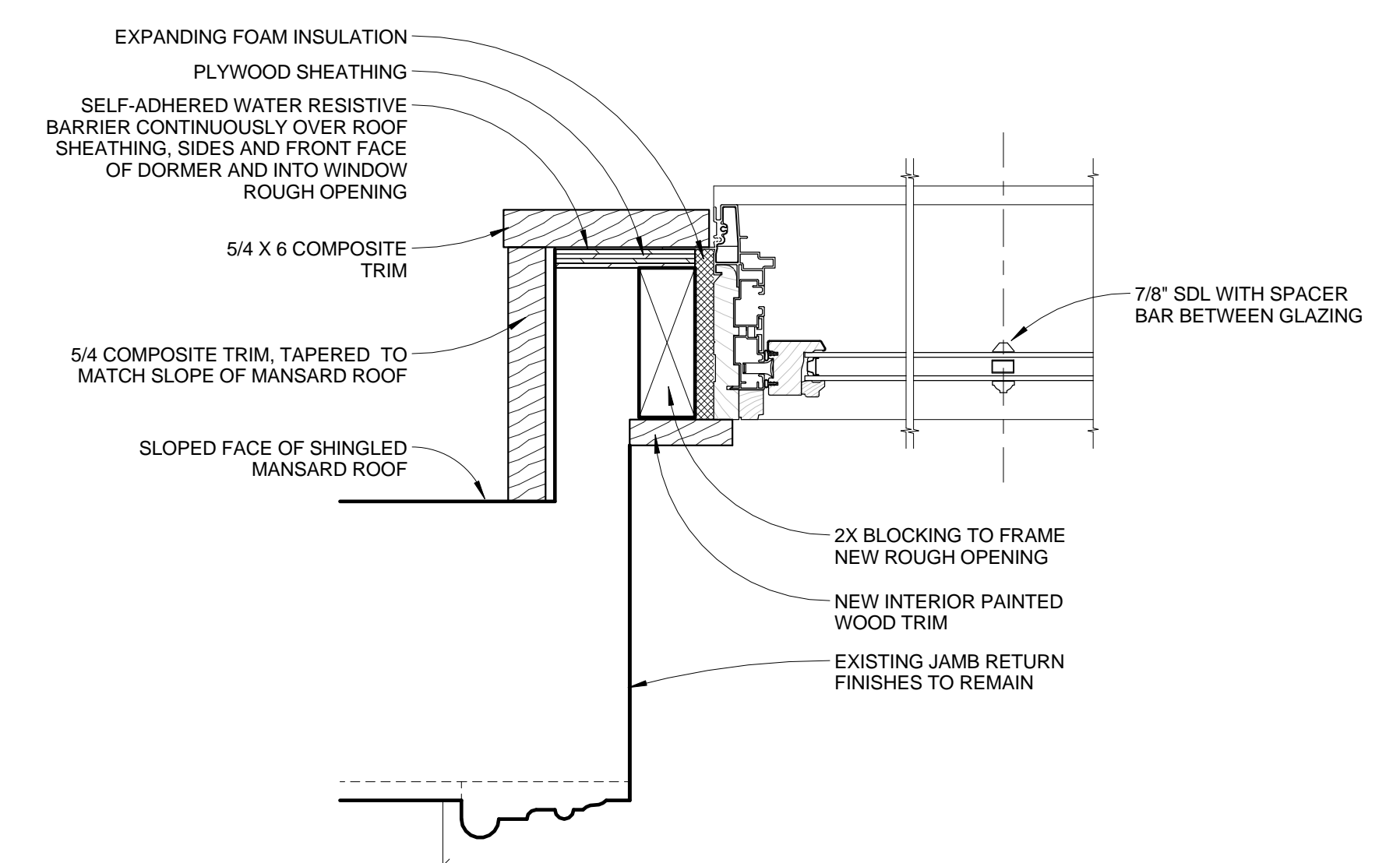
1 3RD FLOOR WINDOW - HEAD  
3' = 1'-0"



3 3RD FLOOR WINDOW DETAILS  
1\"/>



2 3RD FLOOR WINDOW - SILL  
3' = 1'-0"



4 3RD FLOOR WINDOW - JAMB  
3' = 1'-0"

**LEARNINGWORKS**  
181 BRACKETT STREET, PORTLAND, MAINE

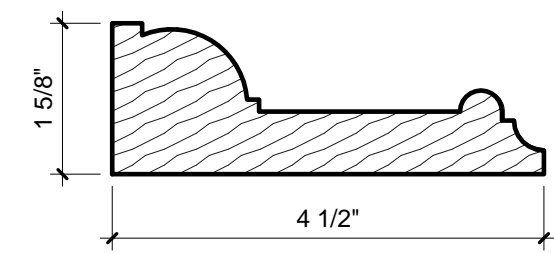
**BR BURN**  
architecture for life  
20 Bridge St. Suite 202 Portland, ME 04101 207-774-9422

CONSULTANTS:

REVISIONS:

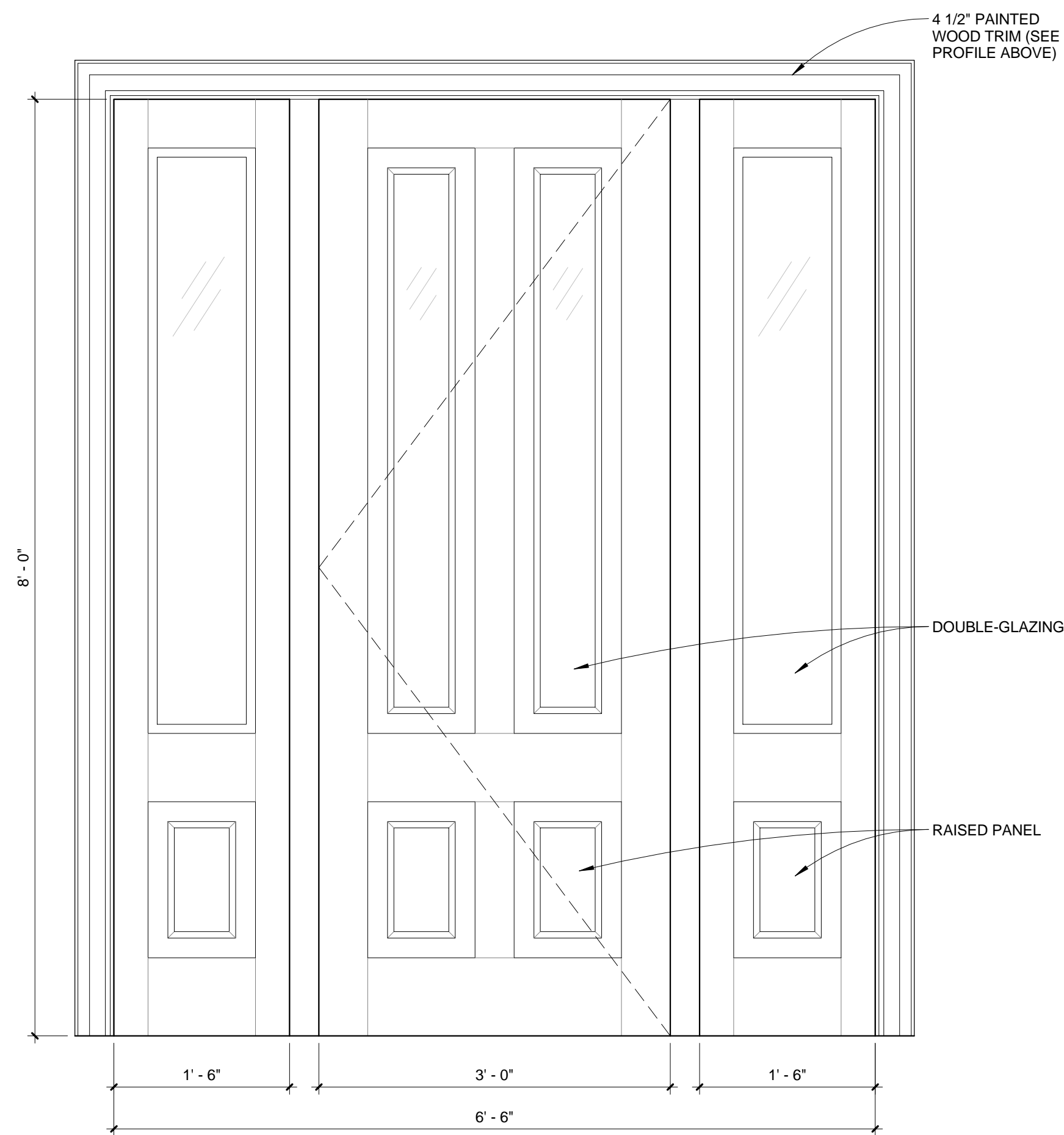
ISSUED: 04/01/15  
PROJECT No: 1503  
DRAWN BY: RIP  
CHECKED BY: HWH  
SHEET TITLE:  
3RD FLOOR WINDOW DETAILS

A403



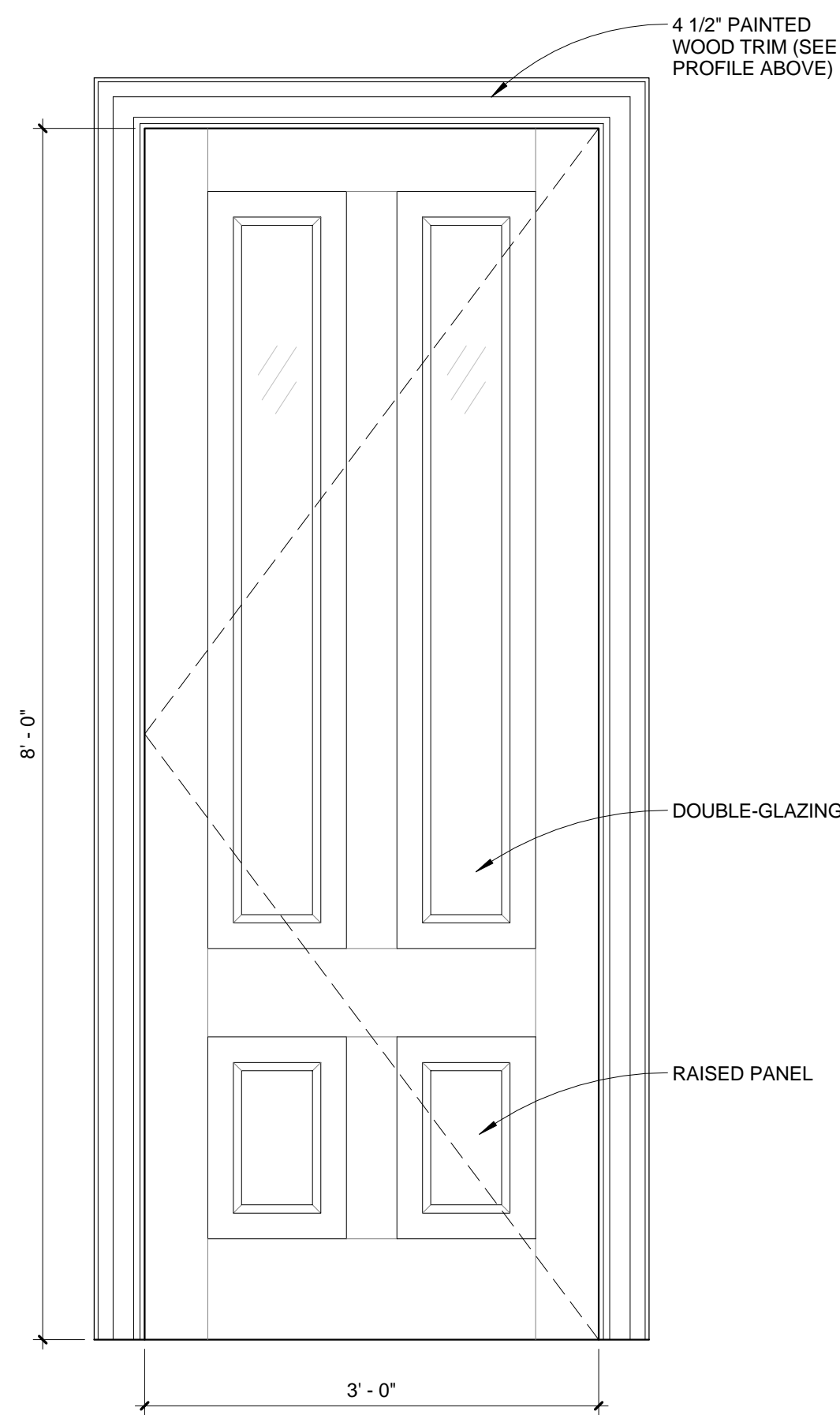
1 EXTERIOR DOOR CASING  
6" = 1'-0"

**HISTORIC PRESERVATION  
BOARD REVIEW  
NOT FOR CONSTRUCTION**



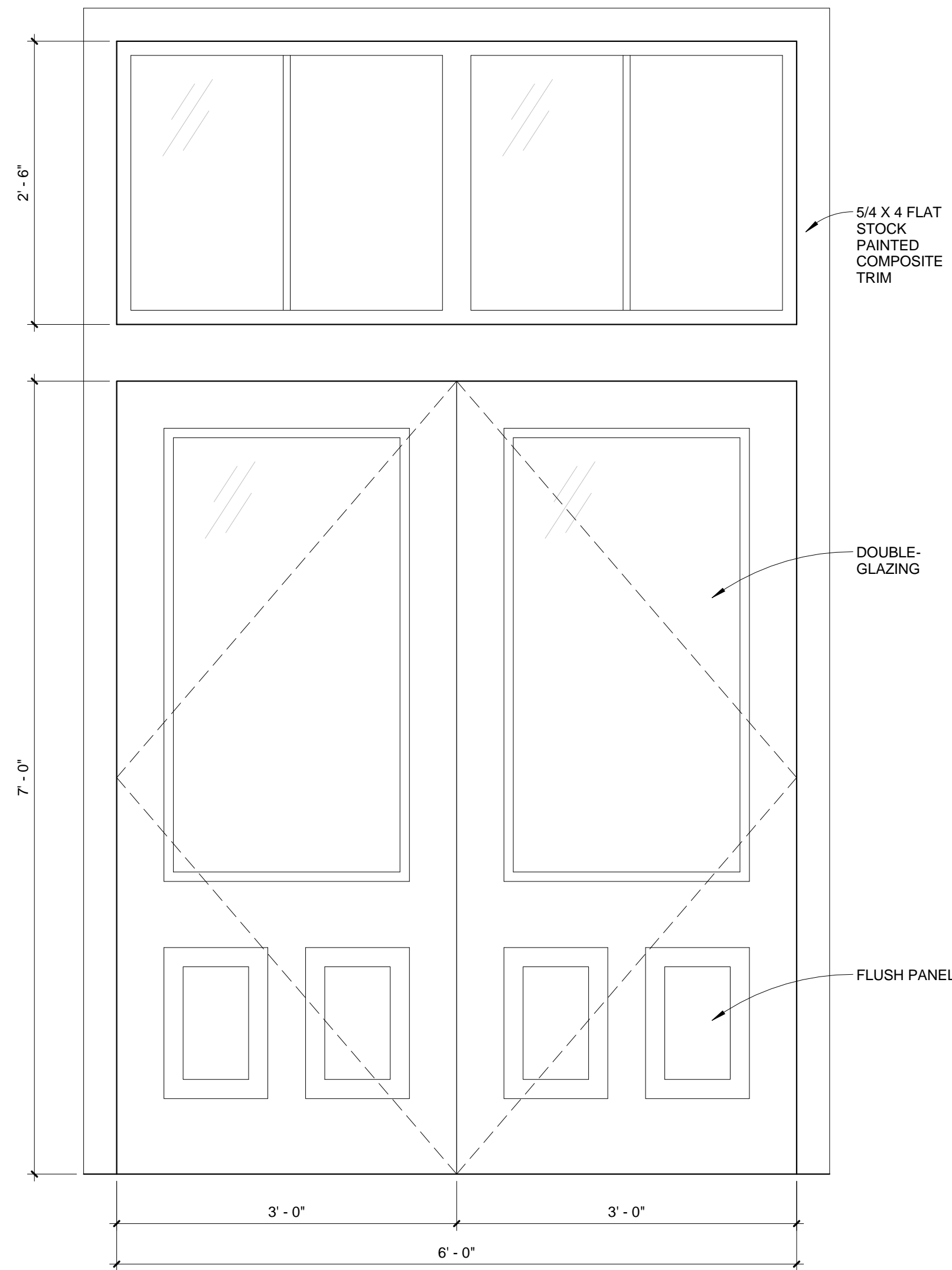
D1

JELD-WEN - CUSTOM CLAD-WOOD GLASS PANEL EXTERIOR DOOR WITH SIDELIGHTS  
MODEL A110  
CUSTOM COLOR PAINT FACTORY FINISH



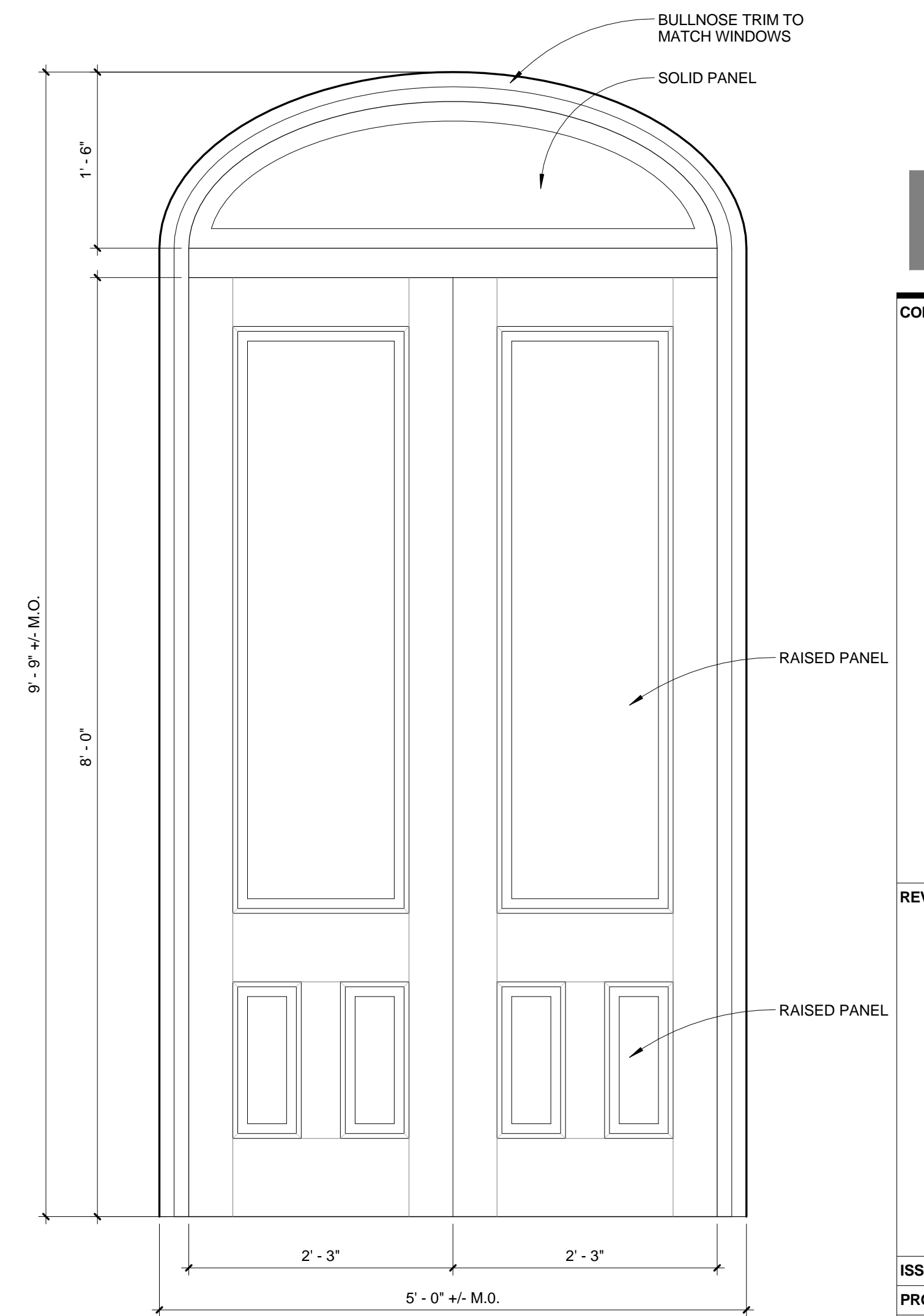
D2

JELD-WEN - CUSTOM CLAD-WOOD GLASS PANEL EXTERIOR DOOR  
MODEL A110  
CUSTOM COLOR PAINT FACTORY FINISH



D6

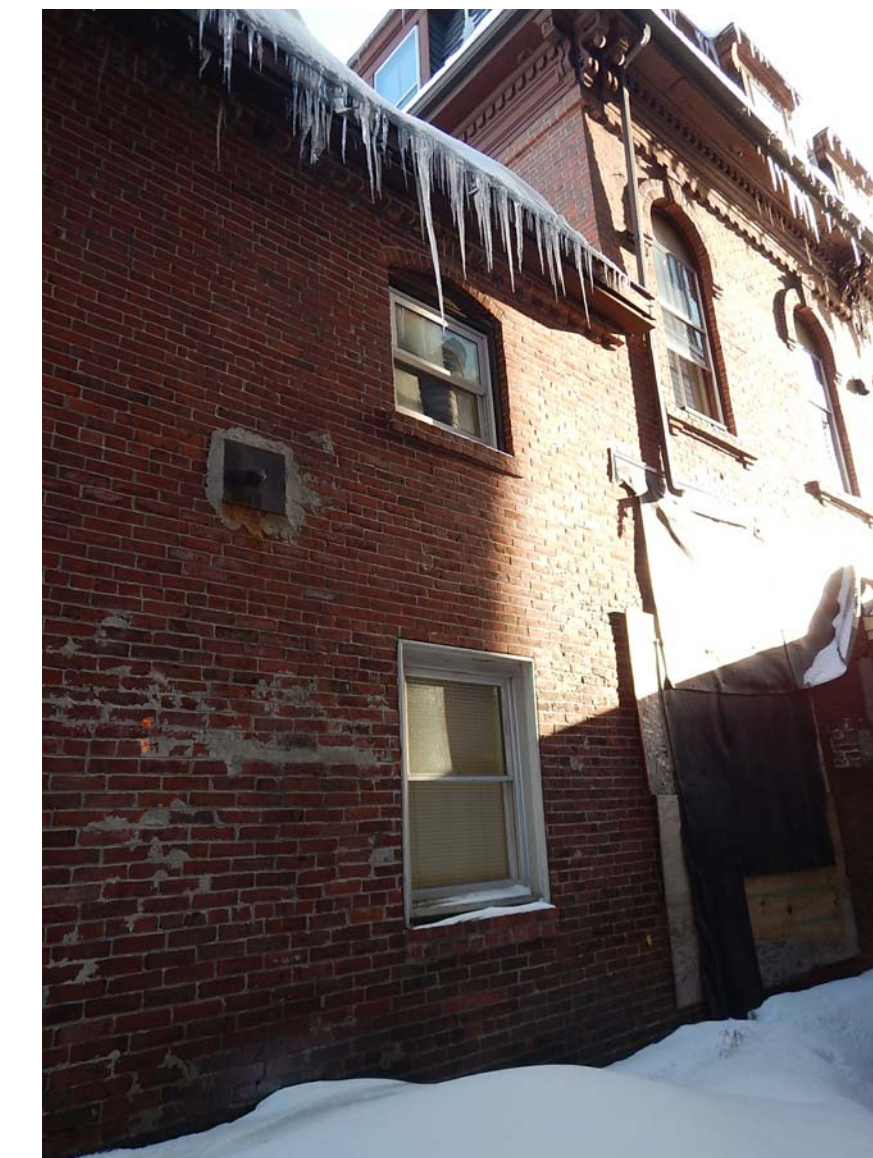
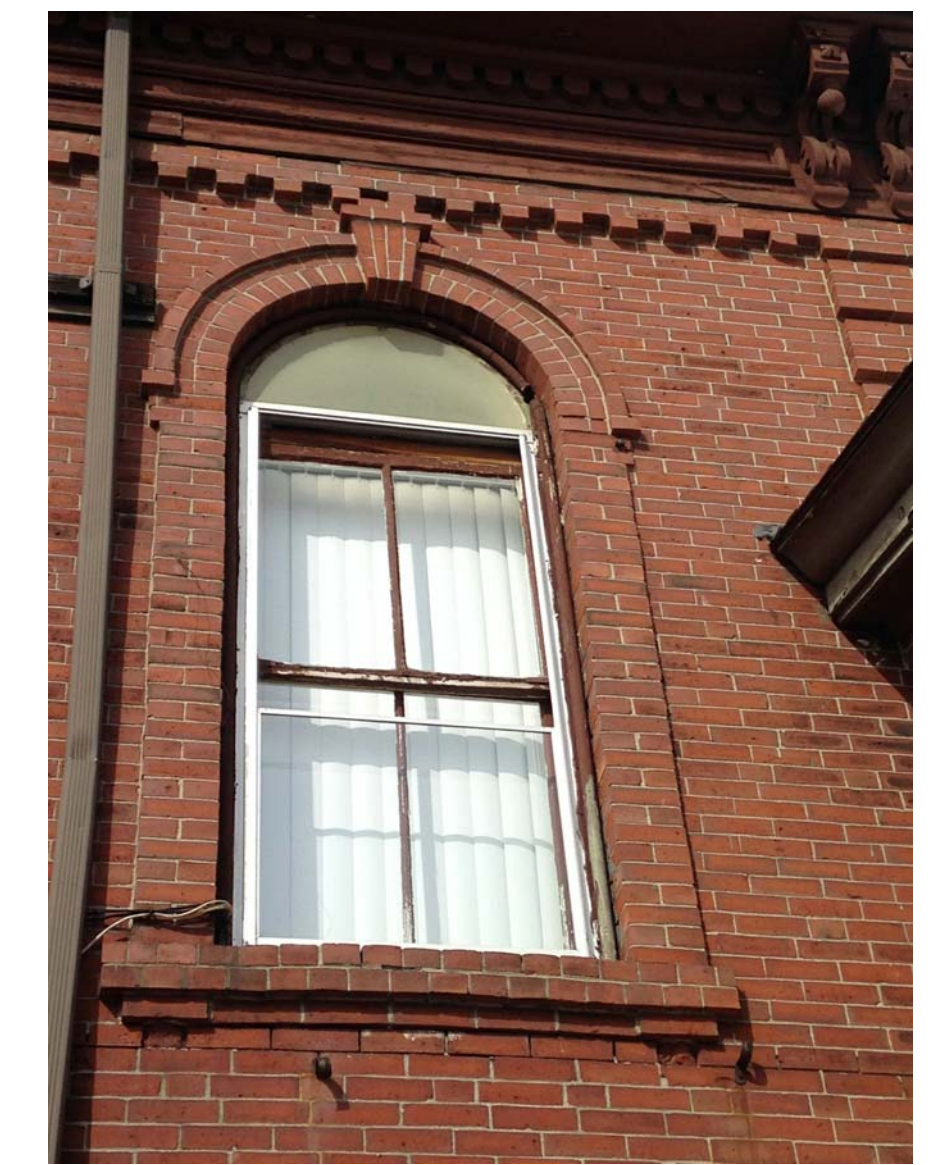
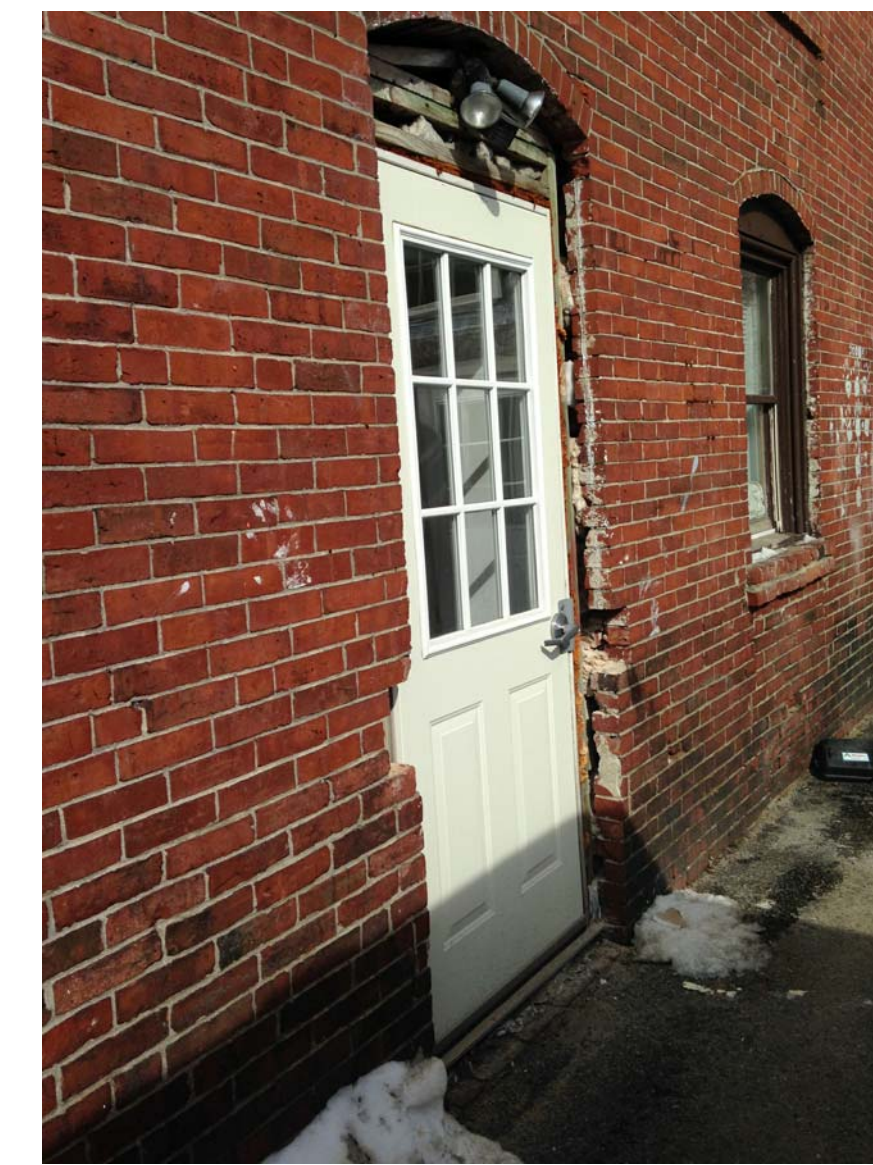
JELD-WEN - CUSTOM CLAD-WOOD GLASS PANEL EXTERIOR DOOR  
CUSTOM COLOR PAINT FACTORY FINISH



D4

JELD-WEN - CUSTOM CLAD-WOOD EXTERIOR DOOR  
INOPERABLE DOOR PANELS (NO HARDWARE)  
ELLIPTICAL TOP TRANSOM WITH SOLID PANEL (NO GLAZING)  
CUSTOM COLOR PAINT FACTORY FINISH

DOOR LEGEND  
1" = 1'-0"



**HISTORIC PRESERVATION  
BOARD REVIEW  
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**LEARNINGWORKS**  
181 BRACKETT STREET, PORTLAND, MAINE

**BURN**  
architecture for life  
20 Hope St Suite 200 Portland, ME 04101 207-774-6422

CONSULTANTS:

REVISIONS:

ISSUED: 04/01/15  
PROJECT No: 1503  
DRAWN BY: RIP  
CHECKED BY: HWH  
SHEET TITLE:  
EXISTING  
CONDITIONS  
PHOTOGRAPHS

**A601**