

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

045-E-038

Location of Construction: 101 Brackett St		Owner: Portland West		Phone: 874-8710	Permit No: 941161
Owner Address:		Leasee/Buyer's Name:		Phone:	BusinessName:
Contractor Name:		Address:		Phone:	Permit Issued: PERMIT ISSUED OCT 21 1994
Past Use:		Proposed Use:		COST OF WORK: \$ 30,000.	PERMIT FEE: \$ 175.00
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: Type:
Proposed Project Description: Late renovations as per plans				Signature:	Signature:
				PEDESTRIAN ACTIVITIES DISTRICT (P.U.D.)	
				Action: Approved <input type="checkbox"/>	Zoning Approval: Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>
				Approved with Conditions: <input type="checkbox"/>	
				Denied <input type="checkbox"/>	
Permit Taken By:		Date Applied For:		Signature:	Date:

Zoning Appeal

Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation

Not in District or Landmark
 Does Not Require Review
 Requires Review

PERMIT ISSUED WITH LETTER

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT	ADDRESS:	DATE:	PHONE:
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE			PHONE:

Action:

Approved
 Approved with Conditions
 Denied

Date: 10/21/94

CEO DISTRICT **3**
 Ms Simpson

Location of Construction: 181 Brackett St		Owner: Portland West Neighborhood Council		Phone: 879-8710 - Mail		Permit No: Heltzer 341161			
Owner Address:		Leasee/Buyer's Name:		Phone:		Business Name:			
Contractor Name: self		Address: Portland West NPC Youth Build		Phone: 155 Brackett St Portland, ME 04102		<div style="border: 2px solid black; padding: 5px;"> PERMIT ISSUED OCT 21 1994 </div> <div style="border: 1px solid black; padding: 2px; text-align: center;"> CITY OF PORTLAND </div>			
Past Use: Mix Use		Proposed Use: Mix Use w/int ext reno		COST OF WORK: \$ 30,000.				PERMIT FEE: \$ 170.00	
Proposed Project Description: Make renovations as per plans		FIRE DEPT. <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION:		Zoning Approval: Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>			
				Signature: _____				Signature: <i>[Signature]</i>	
				Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied				Date: _____	
Permit Taken By: Mary Griffin		Date Applied For: 19 Oct 94							

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED WITH LETTER

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT <i>[Signature]</i> Hell Heltzer	ADDRESS:	DATE: 19 Oct 94	PHONE:
CONSTRUCTION MANAGER RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE			PHONE:

Action:

Approved
 Approved with Conditions
 Denied

Date: *10/20/94*

[Signature]

CEO DISTRICT 3

Mr. SINDERS

COMMENTS

11.8.94 Progress inspection - per plans. Have requested they use electrical tape to fix (temp) some of cords using for tools. Dangerous! Paul Brume working with them.

12.6.94 Progress + Plumbing inspection, need to verify heights in handicapped bathroom, will call and let them know (7:00). All wall framing appears adequate. Electrician on scene, will pull all old wiring. Have recommended ductless exhaust fans because of existing ductwork. Fire coded sheetrock around furnace only 1 layer on ceiling of furnace room. Will keep door locked.
12.27.94

Inspection Record

Type

Date

Foundation: _____

Framing: _____

Plumbing: _____

Final: _____

Other: _____

4/11

**COMMUNITY EMPLOYMENT PROJECT
181 BRACKETT STREET
PORTLAND, MAINE**

GYPSUM BOARD ASSEMBLIES

1. Construct walls of 5/8" or 1/2" gypsum wallboard on 2" x 4" wood studs. Provide insulation in walls where indicated on plan. Provide type X gypsum board around newly constructed stair well.
2. Install studs with bottom and top plates anchored to substrates.
3. Install supplementary framing, runners, furring, blocking and bracing at openings and terminations in gypsum drywall and where required for support of other work which cannot be adequately supported on gypsum board alone.
4. Install and finish gypsum board to comply with ASTM C 840 and as follows:
5. Isolate drywall construction from abutting structural and masonry work; provide edge trim and acoustical sealant as recommended by mfr.
6. Screw gypsum board to supports.
7. Apply joint tape and joint compound at joints between gypsum boards. Apply compounds indicated below at accessory flanges, penetrations, fastener heads and surface defects.
8. Install compound in 3 coats (plus prefill of cracks where recommended by mfr); sand between coats and after last coat.
9. Embedding and first coat: Ready-mix drying type all-purpose of taping compound.
10. Fill (second) coat: Ready-mix drying type all-purpose or topping compound.
11. Finish (third) coat: Ready-mix drying type all-purpose or topping compound.

**COMMUNITY EMPLOYMENT PROJECT
181 BRACKETT STREET
PORTLAND, MAINE**

FLUSH WOOD DOORS AND METAL FRAMES

1. Fabricate flush wood doors to produce doors complying with the following requirements:
 - In sizes indicated for job-site fitting.
 - Factory-prefit and premachine doors to fit frame opening sizes indicated and complying with AWI prefitting tolerances.
2. Doors shall be paint grade solid core wood with knock-down painted metal frames or painted wood frames.
3. Align and fit doors in frames with uniform clearances and bevels. Machine doors for hardware. Seal cut surfaces after fitting and machining.
4. Provide fire-rated doors for new stairwell.

DOOR HARDWARE

1. Submit final hardware schedule organized by "hardware sets", to indicate specifically the product to be furnished for each item required on each door.
2. Provide Stanley butts and hinges, Sargent or Schlage cylinders and locks, Ives or Stanley bolts, Baldwin or equal push/Pull units, LCN overhead closers, Baldwin or equal door trim units, Stanley or equal bifold door hardware (if required).
3. Provide full-mortise butt hinges and pivots. Use size weight and quantity in accordance with requirements established for door size, weight and frequency of use.
4. Where parallel-arm closers are indicated, provide units one size larger than recommended for standard-arm units.
5. Provide door stops and bumpers. Provide grey rubber exposed resilient parts. Finish exposed metal to match hardware, except finish floor plates to match finish of thresholds.
6. Provide silencers in metal door frames, unless not permitted for fire rating, or weather-stripping is provided; 3 per single-door frame, 4 per double-door frame.
7. Install each hardware item to comply with manufacturer's instruction and recommendations.
8. Return to project one month after Owner's occupancy and adjust hardware to proper operation and function.

**COMMUNITY EMPLOYMENT PROJECT
181 BRACKETT STREET
PORTLAND, MAINE**

ACOUSTICAL PANEL CEILINGS

1. Install acoustical ceiling systems to comply with below, per manufacturer's instruction and CISCA "Ceiling Systems Handbook"
2. ASTM C 636; layout as indicated.
3. Secure suspension system to building structure, with hangers spaced 4'-0" along supported members.
4. Secure edge moldings to substrate with screw anchors spaced 16 inches o.c. Miter corner joints.
5. Cope exposed edges of intersecting exposed suspension members to produce flush intersections.
6. Provide 2' x 4' acoustical panel ceilings as indicated on plan. Provide shadow molding and t-bar at top of ceiling edge.

RESILIENT WALL BASE AND ACCESSORIES

1. Provide 4" high vinyl wall base. Provide straight base with carpet and cove base with VCT.
2. Apply base to walls, columns, pilasters, casework and other permanent fixtures in rooms and areas where base is required. Install wall base in lengths as long as practicable. Tightly adhere wall base to substrate throughout length of each piece, with base in continuous contact with horizontal and vertical substrates.
3. Place resilient accessories so they are butted to adjacent materials of type indicated and bond to substrates with adhesive. Install reducer strips at edges of flooring that otherwise would be exposed.

CARPET

1. Patch holes and level floor to a smooth surface. Seal powdery or porous surfaces with sealer recommended by carpet manufacturer.
2. Comply with manufacturer's recommendations for seam locations and direction of carpet; maintain uniformity of carpet direction and lay of pile. At doorways, center seams under door in closed position; do not place seams perpendicular to door frame, in direction of traffic through doorway.
3. Extend carpet under removable flanges and furnishings and into alcoves and closets of each space.

**COMMUNITY EMPLOYMENT PROJECT
181 BRACKETT STREET
PORTLAND, MAINE**

4. Fit sections of carpet prior to application of adhesive. Trim edges and butt cuts with seaming cement.
5. Apply adhesive uniformly to substrate in accordance with manufacturer's instructions. Butt edges tight to form seams without gaps. Roll entire area lightly to eliminate air pockets and ensure uniform bond.

PAINTING

1. Paint exposed surfaces whether or not colors are designated in schedules, except where a surface or material is specifically indicated not to be painted or is to remain natural. Where an item or surface is not specifically mentioned, paint the same as similar adjacent materials or surfaces.
2. Painting includes field-painting exposed bare and covered pipes and ducts, hangers, exposed steel and iron work and primed metal surfaces of mechanical and electrical equipment.
3. Subject to compliance with requirements, provide products of one of the following: Devoe, Benjamin Moore, Pratt & Lambert or Sherwin-Williams.
4. Provide one primer coat and two finish coats of Alkyd Eggshell Enamel on all gypsum board. Provide one primer coat and two finish coats of Alkyd Semi-Gloss Enamel on all solid wood doors and metal frames or wood frames.
5. Provide the manufacturer's recommended factory-formulated primers that are compatible with the substrate and finish coats indicated.
6. Provide the manufacturer's recommended factory-formulated finish-coat materials that are compatible with the substrate and undercoats indicated.
7. Clean and prepare surfaces to be painted according to the manufacturer's instructions for each particular substrate condition as specified.

**COMMUNITY EMPLOYMENT PROJECT
181 BRACKETT STREET
PORTLAND, MAINE**

WATER HEATERS

1. Provide water heaters for bathrooms and kitchen.
2. Install piping adjacent to equipment arranged to allow servicing and maintenance.
3. Connect unit components to ground in accordance with the National Electrical Code.
4. Energize circuits, adjust operating controls and adjust hot water outlet temperature setting

ELECTRICAL

1. Comply with NFPA 70 "National Electrical Code" for components and installation.
2. Provide duplex outlets as shown on plan. Provide junction boxes for data and telephone contractor (wiring of data and telephone by tenant).
3. Switch plates, electrical, data and telephone plates shall be white finish with white switches and duplex outlets.

LIGHTING

1. Provide interior lighting fixtures, lamps, ballasts, emergency lighting units and accessories.
2. Comply with NFPA 70 "National Electrical Code" for components and installation.
3. Provide fixtures and emergency lighting units that are listed and labeled for their indicated use on the project.

EXTERIOR WORK

1. Construct new entrance door on front of building based on drawings of original building.
2. Replace signage on front of building, based on original design, including changing the street number to a location above the new door.
3. Install a wooden hanging sign in traditional letters and colors; paint over all signs on surface of building and replace with traditional letters on window glass at eye level.
4. Restore, re-point and re-paint painted brick and wooden trim in historic colors.
5. Restore wooden trim as necessary.
6. Repair and restore all wood windows on the first floor.

Inspection Services
Samuel P. Hoffses
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

October 21, 1994

RE: 181 Brackett Street, Portland

Portland West NPC
155 Brackett St.
Portland, Maine 04102

Dear Sir:

Your application to make interior renovations **ONLY** has been reviewed and a permit is herewith issued subject to the following requirements: This permit does not preclude the applicant from meeting applicable State and Federal laws.

No Certificate of Occupancy can be issued until all requirements of this letter are met.

1. Stairs shall comply with Section 5-2.2 of the Life Safety Code.
2. Handrails on stairs shall be not less than 34" nor more than 38".
3. Hazardous areas shall be separated from other parts of the building by fire barriers having a fire resistance rating of not less than 1 hour.
4. **NO EXTERIOR** work is to be done.

If you have any questions regarding these requirements, please do not hesitate to contact this office.

Sincerely,

P. Samuel Hoffses
Chief of Inspection Services

/el

cc: Gary Hamilton, Historic Preservation Officer
LT. Gaylen McDougal, Fire Prevention Bureau

CITY OF PORTLAND
389 Congress Street
Portland, Maine 04101

12-19-94

To: Portland West
181 Brackett St.
Portland, Me. 04101

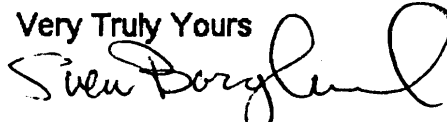
Att: Nell Talianto

Dear Neil

following an inspection for a closing at the above address I note that the existing electric service will now be located in the entry area of the renovated space. This will be a conflict as there is not the adequate space required to accommodate the space required of services. This service should also be relocated to the outside with the meter location outside the building, with the service panel located in a utility area, not public access. I advise you to have your electrical contractor call this office regarding this matter.

My office hours are 7:00AM - 9:00AM 11:00AM -1:00PM for phone calls at 874-8300 X8694.

Very Truly Yours



Chief Electrical Inspector

cc: Paul Brume
S.Hoffses
A. Simpson
G. McDougal

45-E-38

Site Review Pre-Application Multi-Family/Attached Single Family Dwellings/Two-Family Dwelling or Commercial Structures and Additions Thereto

In the interest of processing your application in the quickest possible manner, please complete the Information below for Site Plan Review

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.**

Applicant <u>PORTLAND WEST (TOM PEARSON)</u>	Application Date <u>02.16.01</u>
Applicant's Mailing Address <u>181 BRACKETT ST. PORTLAND, ME 04101</u>	Project Name/Description <u>ELEVATOR INSTALLATION & 2ND STORY ADDITION</u>
Consultant/Agent <u>SCOTT SIMONS ARCHITECTS (LYNN CHAFFER)</u>	Address Of Proposed Site <u>181 BRACKETT ST.</u>
Applicant/Agent Daytime telephone and FAX <u>772-4656 (PHONE) 828-4656 (FAX)</u>	Assessor's Reference, Chart#, Block, Lot#
Proposed Development (Check all that apply) <input type="checkbox"/> New Building <input checked="" type="checkbox"/> Building Addition <input type="checkbox"/> Change of Use <input type="checkbox"/> Residential <input checked="" type="checkbox"/> Office <input type="checkbox"/> Retail	
<input type="checkbox"/> Manufacturing <input type="checkbox"/> Warehouse/Distribution <input type="checkbox"/> Other(Specify) _____	
EXISTING BUILDING: <u>9,191 s.f.</u>	
ADDITION: <u>2,125 s.f.</u>	
TOTAL: <u>11,316 s.f.</u>	<u>.16 ACRES</u>
Proposed Building Square Footage and /or # of Units	Acreage of Site
	Zoning <u>B-1</u>

You must Include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) 7 sets of Site Plan packages containing the information found in the attached sample plans and checklist.

(Section 14-522 of the Zoning Ordinance outlines the process, copies are available for review at the counter, photocopies are \$ 0.25 per page)

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if an approval for the proposed project or use described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this approval at any reasonable hour to enforce the provisions of the codes applicable to this approval.

Signature of applicant: 	Date: <u>02.16.01</u>
---	-----------------------

Site Review Fee: Major \$500.00 Minor 400.00

This application is for site review ONLY, a Building Permit application and associated fees will be required prior to construction.

**Application for Site Plan Review
Second Story Addition to Existing Building**

Owner: Portland West Neighborhood Planning Council
181 Brackett Street
Portland, ME 04102

Estimated cost: \$250,000

Project Summary: Portland West plans to install an elevator within the existing 3-story brick building (no building addition required) and build an addition above the 1-story concrete block garage at the rear of the building. This work will make the entire building accessible to people with handicaps and will provide additional office space for the growth anticipated by Portland West's Long Range Plan.

Written Statement

1. Proposed Uses: The building will continue to be used, as it is currently, as offices for Portland West with adjoining classroom space.
2. Areas: The total land area of the site is 6,891 s.f.
The total floor area, including the proposed 2,125 s.f. addition is 11,316.2 s.f.
Existing ground coverage is 5,032.2 s.f.
Additional ground coverage of proposed addition is 0.0 s.f.
3. Maintenance easement at north side of building: agreement allowing Portland West access over neighboring property for maintenance of building. See Book 3016/503.
4. Solid waste: Office waste, primarily paper, which is recycled. Other waste is put at curb in plastic trash bags.
5. Utilities: public utilities, water and sewer main in street.
6. Stormwater drainage: Unbuilt areas of site are paved with asphalt and slope toward street. Stormwater from existing sections of building will be handled as currently. Gutters will be affixed to proposed addition roof; downspouts will carry water to grade to run over the surface of the paved drive and parking lot to the street.
7. Construction plan: see attached.
8. Approvals received from the Portland Historic Preservation Committee for Phase II (not needed for Phase I) and from the Maine State Historic

Preservation Office for Phase I. See attached. Drawings for Phase II (2nd Floor Addition over Concrete Block Garage), have been sent to MSHPO.

9. Evidence of financial and technical capacity: see attached.
10. Evidence of title: see attached copy of deed.

Parking: Portland West currently has (4) on site parking spaces and (4) spaces allocated to them in the lot next door. They currently have 30 employees and anticipate 15 additional employees over the next 5 years. While they work with students, the group with which they work does not generally have driver's licenses or cars. Portland West is currently looking for remote parking to accommodate those employees who drive.

Section 14-436. Building Extensions: Provision 2. Area of expansion limited to no more than 80% of first floor footprint:

First floor footprint: 5,032 s.f.

Addition: 2,125 s.f.

Addition as per cent of footprint: 42%.

**PORTLAND WEST
181 BRACKETT STREET
PORTLAND, ME 04102**

CONSTRUCTION PLAN

The proposed project will take place in two phases. Phase one will involve internal renovation work within the existing building to install an elevator and to make the entire building handicap accessible. Phase two involves adding a second story over the existing workshop area to create additional classroom and office space.

PHASE ONE July to December 2001

- Relocate existing utilities closet on the first floor to make room for the elevator shaft.
- Relocate existing gas main and wiring to make room for the elevator shaft.
- Re-frame existing walls on the first, second and third floors to make room for the elevator shaft.
- Remove walls, flooring and ceilings in elevator shaft area.
- Frame and drywall elevator shaft to manufacturer's specifications.
- Install steel girder in interior brick wall to support elevator door opening on second floor.
- Install elevator.
- Remove existing bathtubs and hot water heaters in existing bathrooms on the second and third floor of the main building.
- Install new sub-flooring and VCT in second and third floor bathrooms.
- Relocate and install handicap accessible water closets, sinks and handrails in second and third floor bathrooms.
- Install handicap door hardware.

PHASE TWO July 2002 to June 2003

- Frame exterior shell of second floor addition over existing cinderblock addition.
- Complete roof and wall sheathing.
- Install windows.
- Install clapboard siding and trim over existing cinder block and new second story.
- Remove existing roofing material down to ceiling joists.
- Sister existing 2 X 10 ceiling joists with 2 X 12 floor joists.
- Install plywood flooring.
- Construct rear exit stairwell.
- Install electric, phone and computer wiring.
- Insulate new addition.
- Install, finish and paint drywall.
- Install stand alone heating system.
- Construct stair from existing second floor level.

- Install wheelchair lift.
- Install baseboard and window trim.
- Install carpeting.

CITY OF PORTLAND, MAINE
HISTORIC PRESERVATION COMMITTEE

November 21, 2000

Edward Hobler, Chair
Rick Romano, Vice Chair
Susan Wroth
Camillo Breggia
Robert Parker
Steve Sewall
Cordelia Pitman

Ethan Strimling
Portland West Neighborhood Planning Council
181 Brackett Street
Portland, ME 04102

Re: 181 Brackett Street; 2nd Floor Addition to Garage

Dear Mr. Strimling:

On November 15, 2000, the City of Portland's Historic Preservation Committee voted 4-0 to approve your application for a Certificate of Appropriateness. Approval is for construction of a second floor addition to the garage behind 181 Brackett Street. The Committee approved your preferred "Option B", which features a 5/12 roof pitch.

Approval is based on the following condition:

- * That the windows on the front facade of the addition be repositioned or scaled back so as not to crowd the rake of the eave.

All improvements shall be carried out as shown on the submitted plans and specifications, except as to comply with the condition above. Changes to the approved plans and specifications and any additional work which may be undertaken must be reviewed and approved by this office prior to construction, alteration, or demolition. If, during the course of completing the approved work, conditions are encountered which prevent completing the approved work, or which require additional or alternative work, you must apply for and receive a Certificate of Appropriateness or Non-Applicability PRIOR to undertaking additional or alternative work.

This Certificate is granted upon condition that the work authorized herein is commenced within twelve (12) months after the date of issuance. If the work authorized by this Certificate is not commenced within twelve (12) months after the date of issuance or if such work is suspended in significant part for a period of one year after the time the work is commenced, such Certificate shall expire and be of no further effect; provided that, for cause, one or more extensions of time for periods not exceeding ninety (90) days each may be allowed in writing by the Department.

Sincerely,

 (10/21)

Edward Hobler, Chair
Historic Preservation Committee

cc: Tom Pierson, PWNPC
Lynn Shaffer, Scott Simons Architects ✓

11/12/10

appliance was consumed
window be moved further off
line of roof line.





CITY OF PORTLAND

March 1, 2001

Mr. Tom Pearson,
Scott Simons Architects,
15 Franklin Street, Arterial,
Portland, Maine 04101-4169

RE: The Capacity to handle an Anticipated Increase in Wastewater Flows, from the Proposed addition to be located at 181 Brackett Street Portland Maine.

Dear Mr. Pearson:

The existing fifteen-inch diameter vitrified clay sanitary sewer pipe located in Brackett street, has adequate capacity to transport the anticipated wastewater flows of 225 GPD, from your proposed addition. The Portland Water District sewage treatment facilities located off Marginal Way, have adequate capacity to treat the anticipated wastewater flows of 225 GPD, from your proposed addition.

<u>Anticipated Wastewater Flows from the Proposed addition</u>	
Present Wastewater flows	= 300GPD
Fifteen Additional Employees @ 15GPD/Employee	= <u>225GPD</u>
Total Proposed Increase in Wastewater Flows for this Project	= 225 GPD

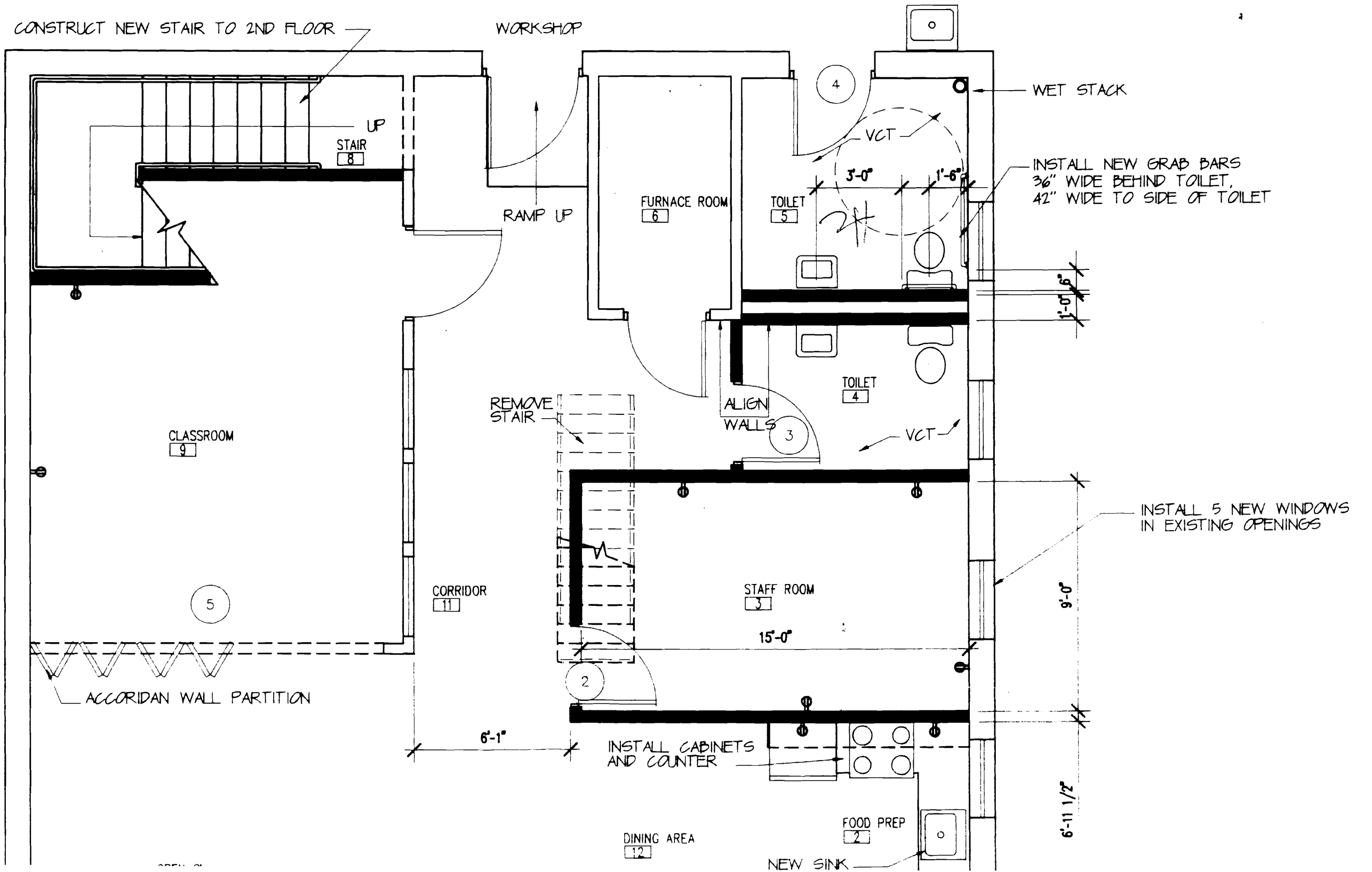
If I can be of further assistance, please call me at 874-8832.

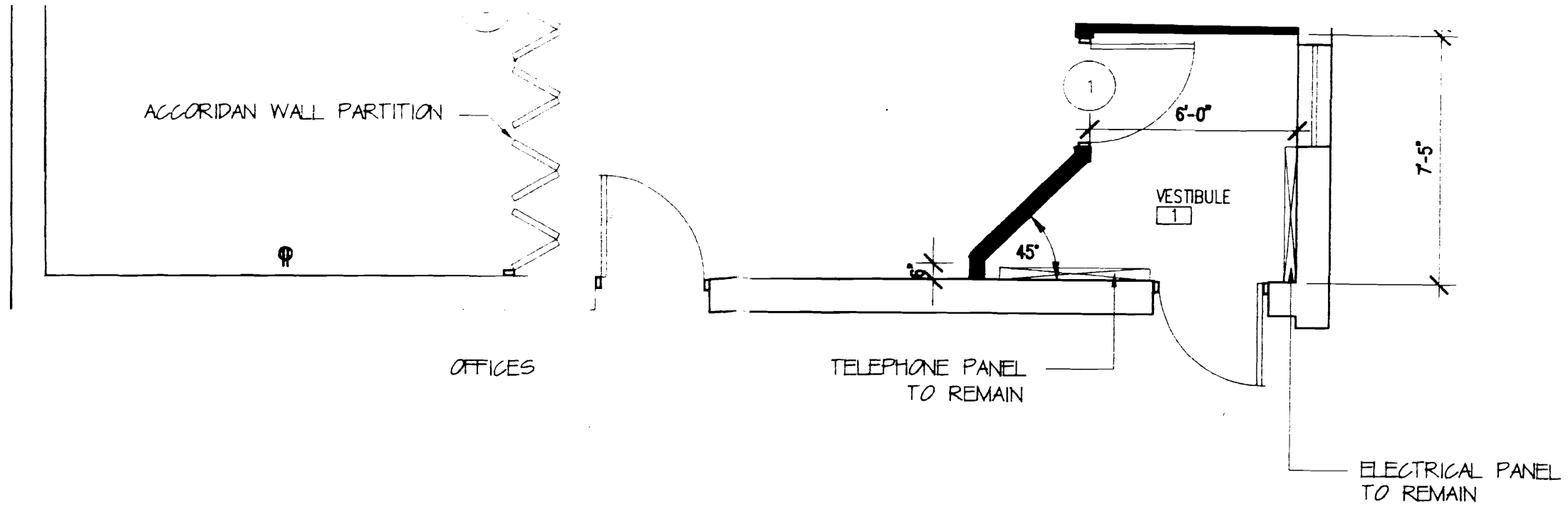
Sincerely,
CITY OF PORTLAND

Frank Brancely
Frank J. Brancely, BA, MA
Senior Engineering Technician

FJB/hld

- cc: Joseph E. Gray, Director, Department of Planning, & Urban Development, City of Portland
- Sarah Greene Hopkins, Planner, Dept. of Planning & Urban Development, City of Portland
- Katherine A. Staples, PE, City Engineer, City of Portland
- Bradley Roland, PE, Environmental Projects Engineer, City of Portland
- Anthony W. Lombardo, PE, Project Engineer, City of Portland
- Stephen K. Harris, Assistant Engineer, City of Portland
- Desk File



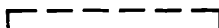




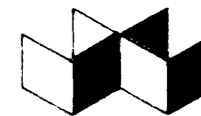
FIRST FLOOR PLAN

SCALE 1/4" = 1'-0"

LEGEND

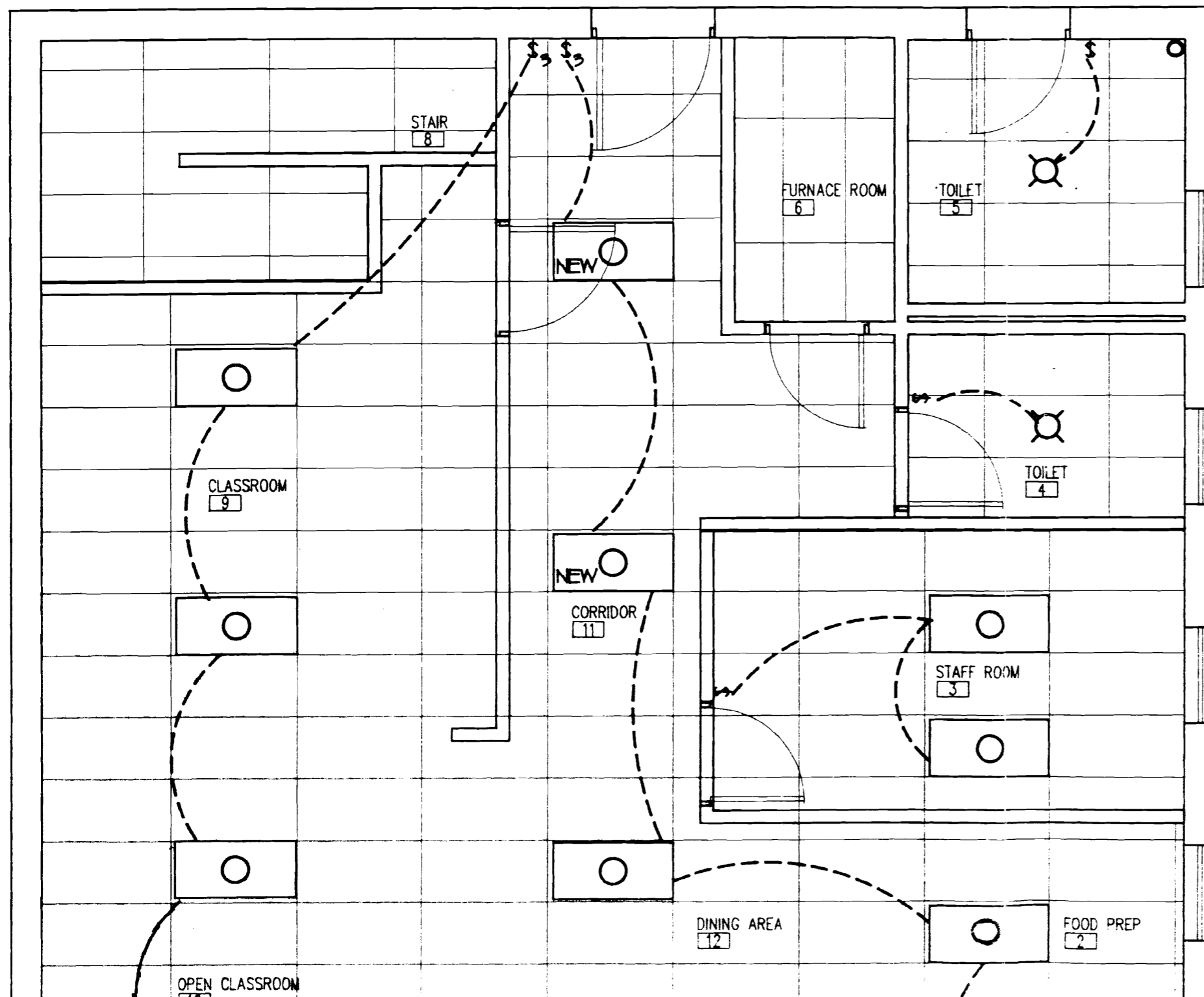
-  EXISTING WALLS
-  NEW CONSTRUCTION
-  DEMOLITION

for permit # 24-116



LISA
WHITED
PLANNING
& DESIGN

Lisa Whited, IBD
One Union Wharf P.O. Box 7010
Portland, Maine 04112
207.879.0578



REVISIONS

SCALE

1/4" = 1'-0"

DATE

8/10/94

DRAWN BY

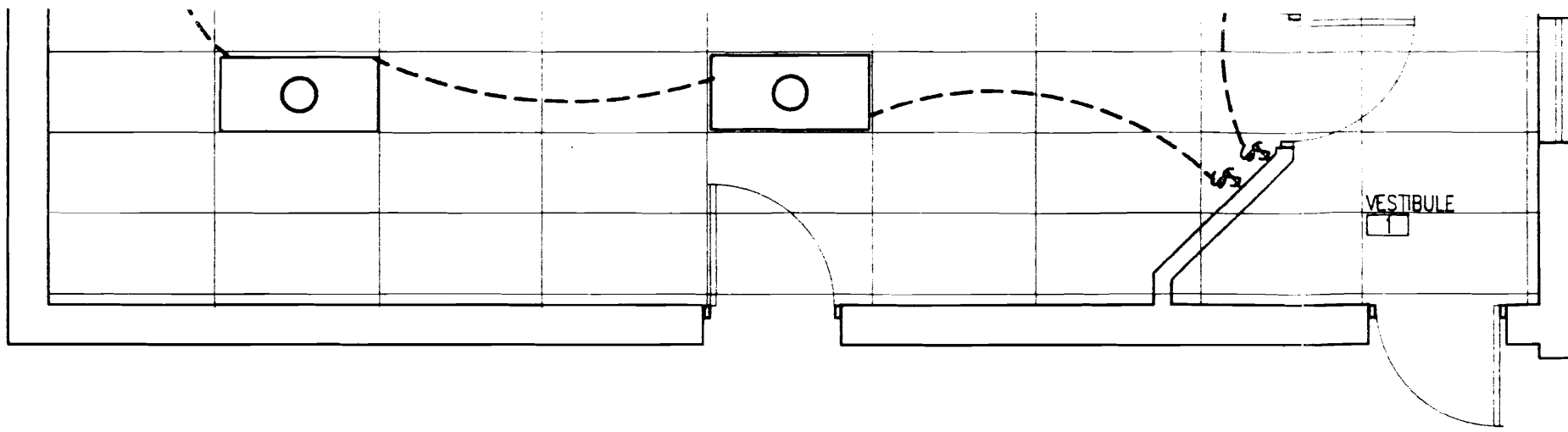
NC

CHECKED BY

LMW

DATE

8/10/94



REFLECTED CEILING PLAN

SCALE 1/4" = 1'-0"

LEGEND



LIGHT WITH FAN



REUSE 9 EXISTING 2X4
FLUORESCENT FIXTURES

GENERAL NOTES:

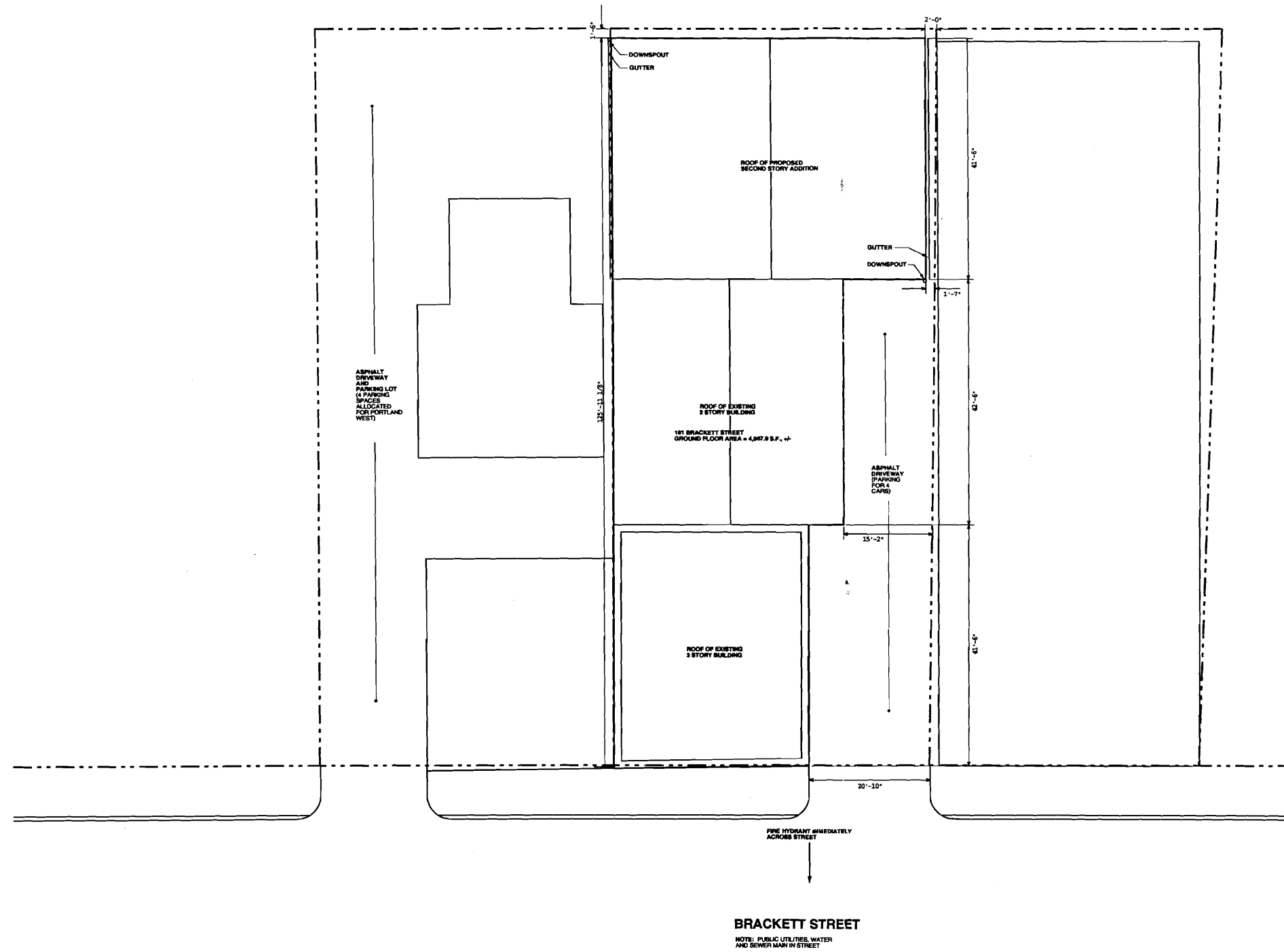
1. PATCH, REPAIR AND CLEAN FLOORS.
INSTALL UNDERLAYMENT ON EXISTING WOOD FLOOR.
INSTALL NEW CARPET OVER UNDERLAYMENT.
INSTALL NEW VCT IN TOILETS
2. PROVIDE 3'-0" WIDE X 6'-8" HIGH DOORS,
PAINT GRADE FINISH WITH PAINTED METAL FRAMES
3. HARDWARE IS LEVER STYLE TO MEET ADA REQUIREMENTS.
4. PROVIDE NEW 2X4 ACOUSTICAL TILE AND CEILING GRID.
5. NEW WALLS ARE 1/2" GYPSUM WALLBOARD ON 3-1/2" METAL
STUDS TO BE PATCHED TO EXISTING, TAPED AND PAINTED.
6. NEW WOOD STAIRS AND RISERS TO BE PAINTED.
7. REMOVE EXISTING CEILING AND GRID.
PROVIDE NEW 2 X 4 CEILING AND GRID AS SHOWN.

COMMUNITY EMPLOYMENT PROJECT
FIRST FLOOR PLAN
181 BRACKETT STREET
PORTLAND, MAINE

FLOOR PLAN

REFLECTED
CEILING PLAN

A-1



CITY OF PORTLAND
APPROVED SITE PLAN

SUBJECT TO DEPARTMENTAL
CONDITIONS

DATE OF APPROVAL **JUL 13 2004**



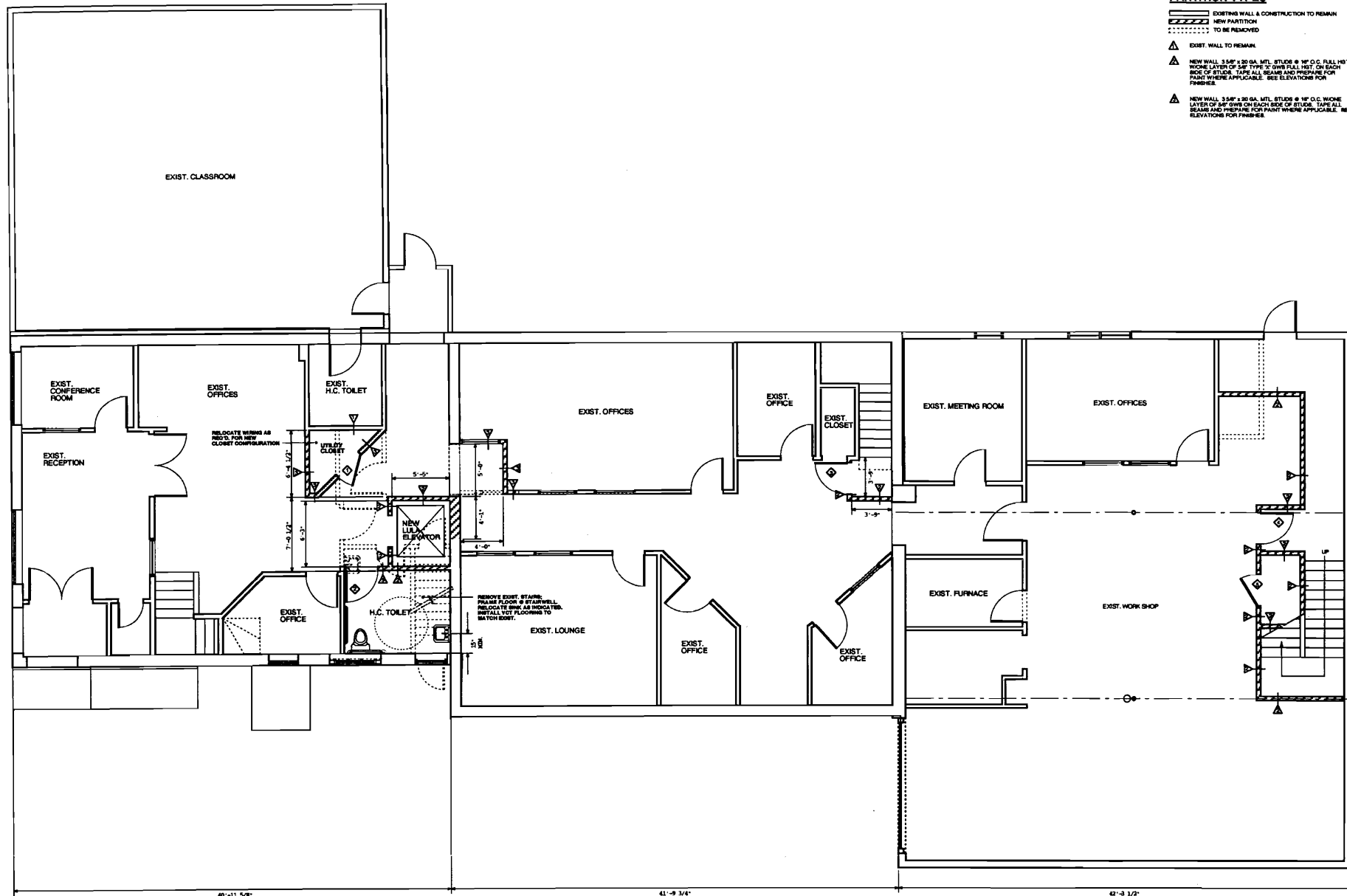
PROJECT
PORTLAND WEST
181 BRACKETT ST.
PORTLAND, MAINE

TITLE
PLOT PLAN

STATUS:
ISSUED FOR PERMITS
02.16.01

DATE: 02.16.01	REVISION DATE:
SCALE: AS NOTED	
PROJECT NO. 00128.00	
DRAWN BY:	2000 © Scott Simon Architects

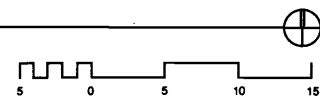
DWG NO. **A-0.1**



PARTITION TYPES

- ▬ EXISTING WALL & CONSTRUCTION TO REMAIN
- ▬ NEW PARTITION
- ▬ TO BE REMOVED
- ▲ EXIST. WALL TO REMAIN
- ▲ NEW WALL 3/4" x 20 GA. MET. STUDS @ 16" O.C. FULL HT. WOOD LAMINATE OF 1/2" TYPE 2 OVER FULL HT. ON EACH SIDE OF STUDS. TAPE ALL BEAMS AND PUSHES FOR FINISHES.
- ▲ NEW WALL 3/4" x 20 GA. MET. STUDS @ 16" O.C. W/ ONE LAYER OF 5/8" GIBBS ON EACH SIDE OF STUDS. TAPE ALL BEAMS AND FINISHES FOR PAINT WHERE APPLICABLE. SEE ELEVATIONS FOR FINISHES.

FIRST FLOOR PLAN



PROJECT

PORTLAND WEST
181 BRACKETT ST.
PORTLAND, MAINE

TITLE

FIRST FLOOR PLAN

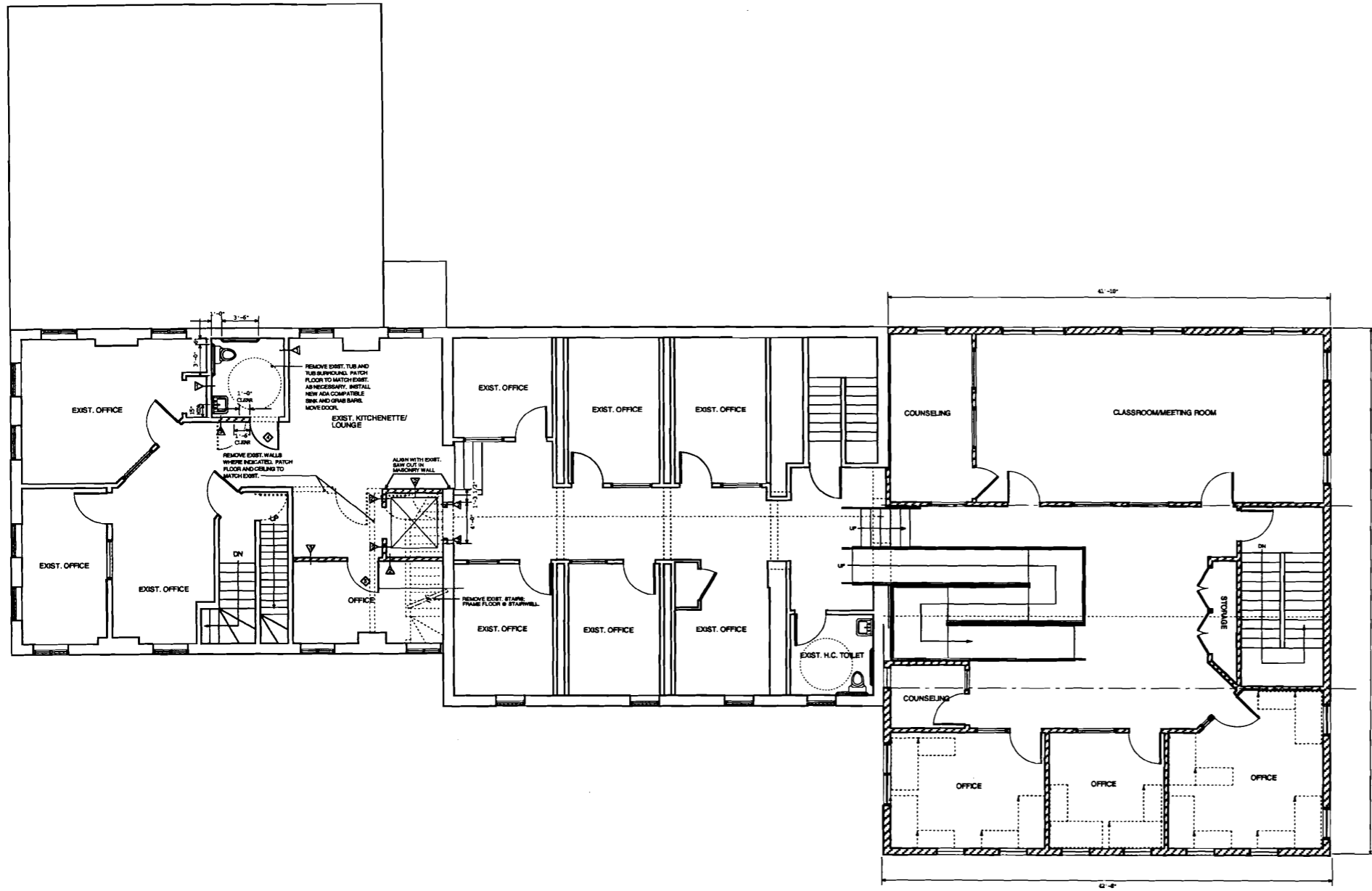
STATUS:

ISSUED FOR PERMITS
02.16.21

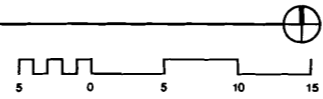
DATE:
02.16.21

REVISION DATE:

PC: JF



SECOND FLOOR PLAN



PROJECT

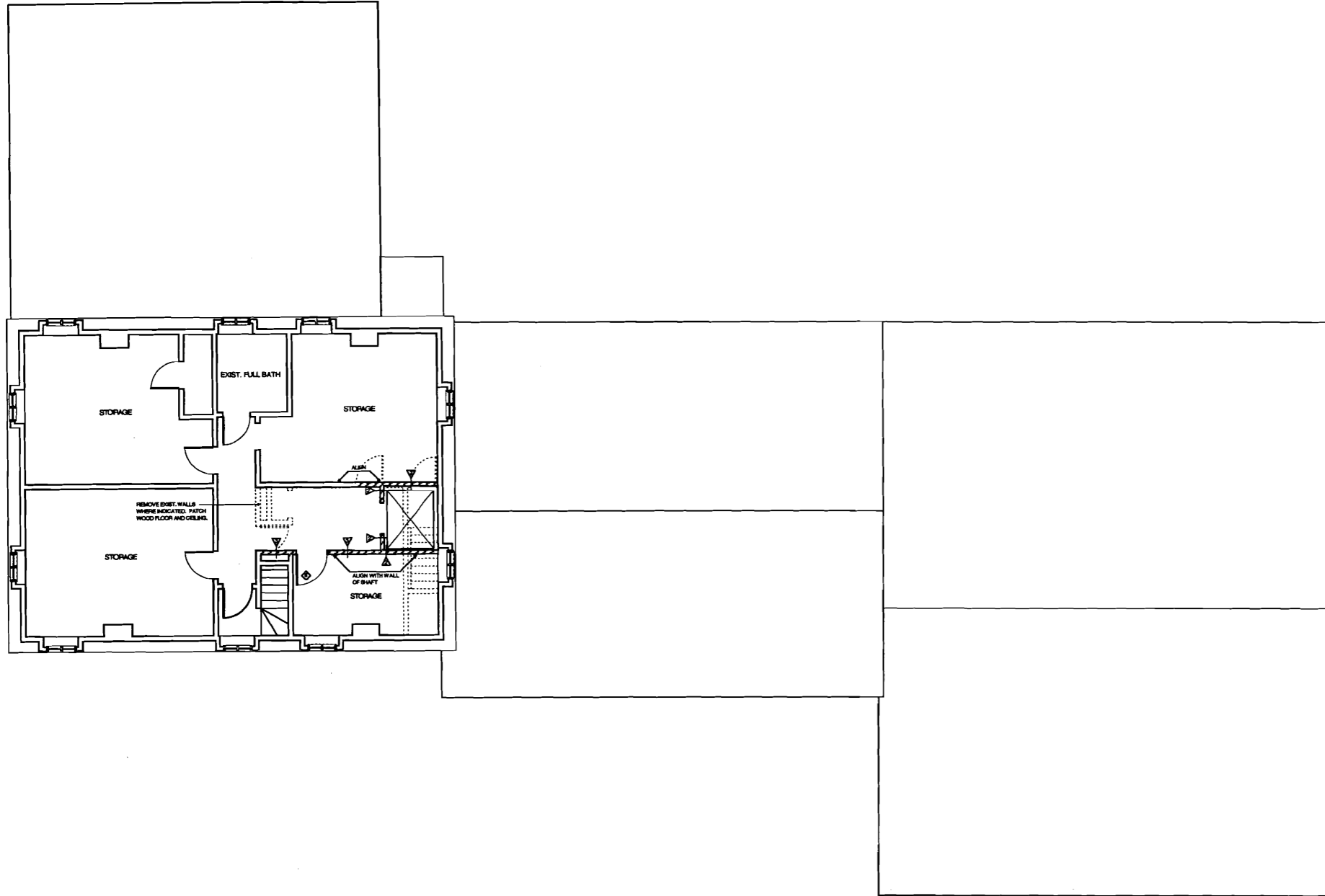
PORTLAND WEST
181 BRACKETT ST.
PORTLAND, MAINE

TITLE

SECOND FLOOR PLAN


STATUS: ISSUED FOR PERMITS
02.16.01

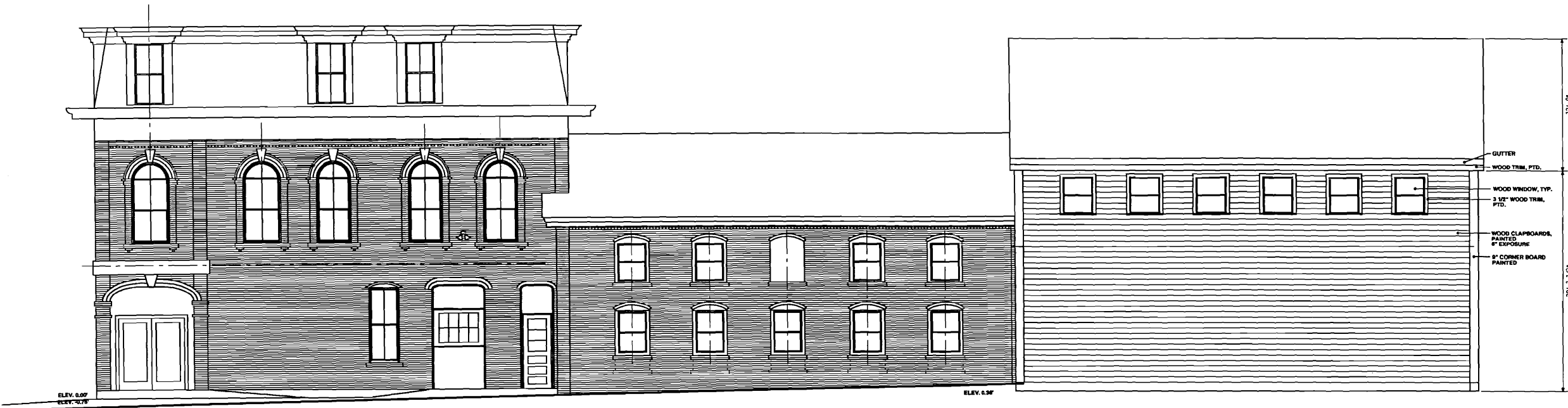
DATE: 02.16.01
SCALE: AS SHOWN
DESIGNER: PEYBON DATE:



THIRD FLOOR PLAN



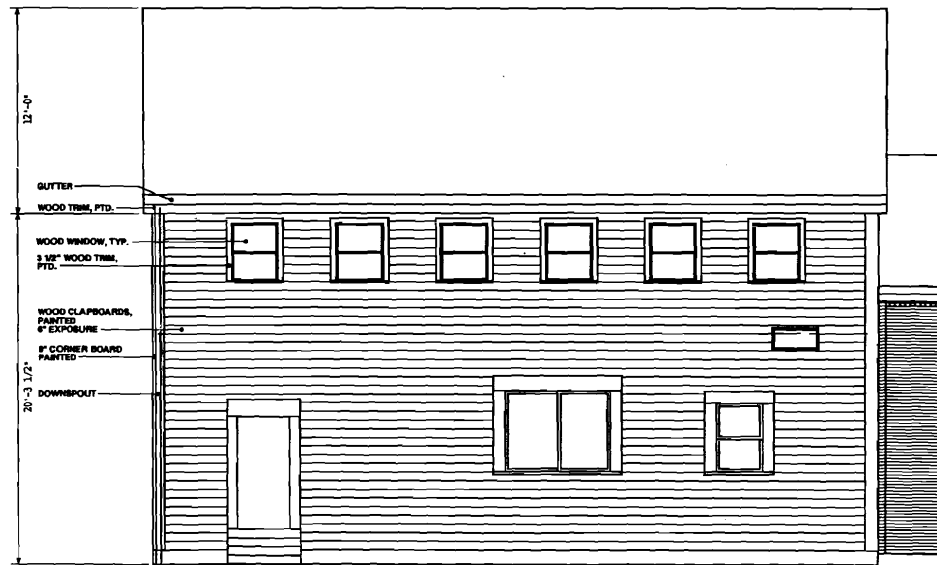
 <small>11 Franklin Street, 4th Floor Portland, ME 04101 Tel: 603.761.1000</small>	
PROJECT	
<p align="center">PORTLAND WEST 181 BRACKETT ST. PORTLAND, MAINE</p>	
TITLE	
<p align="center">THIRD FLOOR PLAN</p>	
STATUS: ISSUED FOR PERMITS 02.15.01	
DATE: 02.15.01	REVISION DATE:
SCALE: 1/8" = 1'-0"	



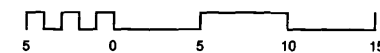
SOUTH ELEVATION




WEST ELEVATION



NORTH ELEVATION



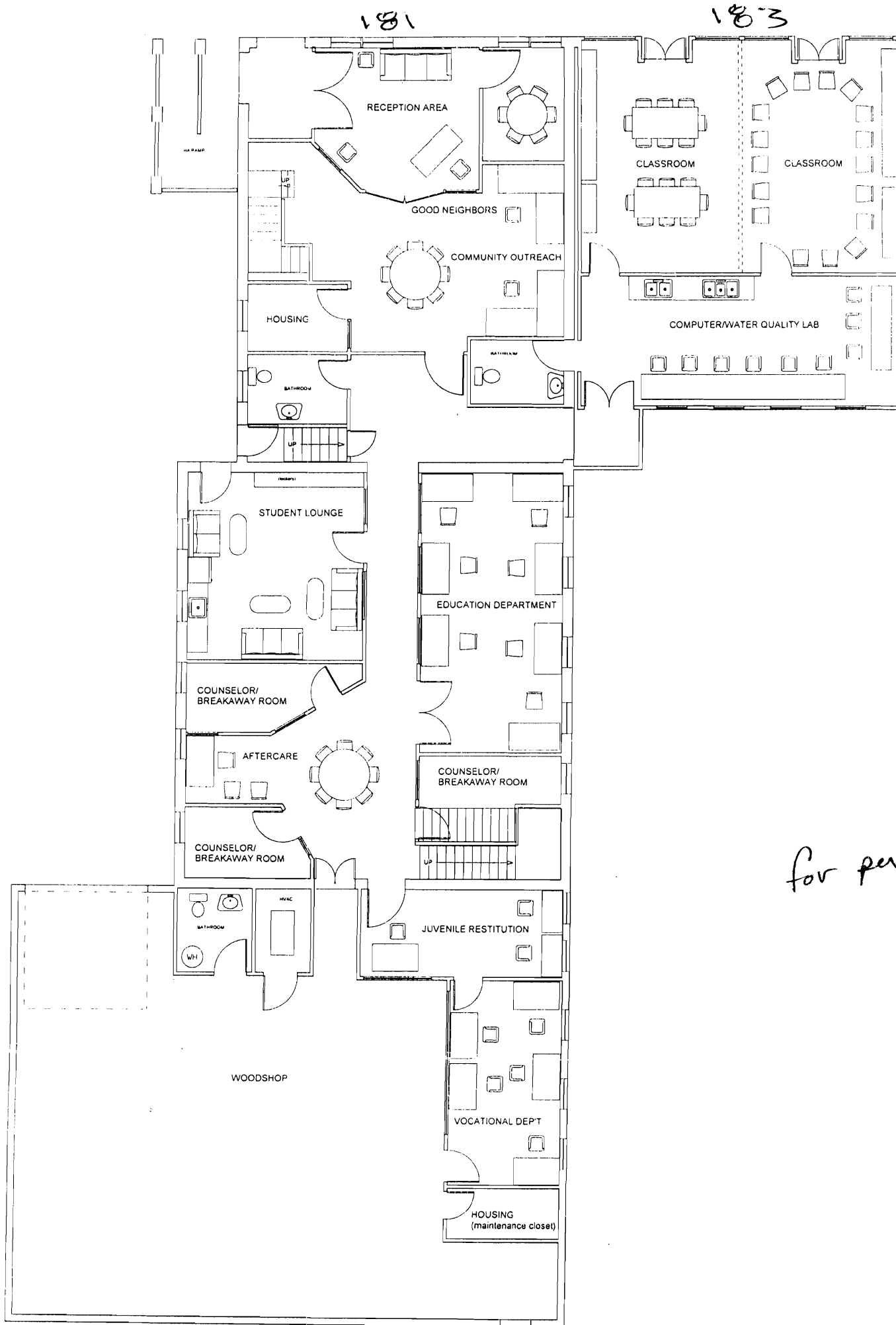

 Scott Simon Architects
 15 Franklin Street Art
 Portland, Maine 04101
 Phone: 207.552.4500
 Fax: 207.552.4502

PROJECT
PORTLAND WEST
181 BRACKETT ST.
PORTLAND, MAINE

TITLE
EXTERIOR ELEVATIONS

STATUS:
ISSUED FOR PERMITS
 02.16.01

DATE: 02.16.01	REVISION / DATE
SCALE: AS NOTED	
PROJECT NO. 00126.00	
DRAWN BY:	2000 © Scott Simon Architects
DWG NO.	A-2.1



for permit # 94/1161

- OPEN PERMIT ON WORK TO 181 BRACKET
- WALL CONFIGURATION + BATHROOM RELOCATION
- NO NEW BATHROOMS
- m.r.m. 8/16/97

