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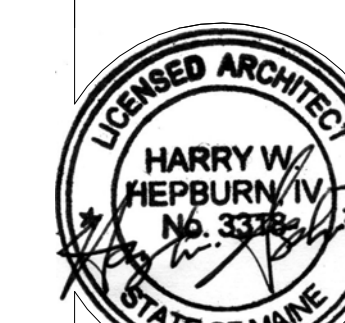
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LEARNINGWORKS
181 BRACKETT STREET, PORTLAND, MAINE

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ISSUED FOR BID: JULY 29, 2015

LEARNINGWORKS

181 BRACKETT STREET, PORTLAND, MAINE

BASE BID DESCRIPTION OF WORK

- MANSARD ROOF:** STRIP ALL EXISTING ROOFING, UNDERLAYMENT AND FLASHING FROM LOW-SLOPE ROOF OVER CORNICE, AND STEEP-SLOPE PORTION OF MANSARD ROOF. REPLACE ANY DAMAGED/ROTTING SHEATHING WITH EXTERIOR GRADE PLYWOOD TO MATCH THICKNESS OF EXISTING ADJACENT SHEATHING MATERIAL. REPLACE ANY DAMAGED/ROTTING WOODWORK/TRIM WITH NEW PAINTED WOOD TRIM TO EXACTLY MATCH PROFILES OF EXISTING.
 - ASSESS CONDITION OF STRUCTURE WHERE EXPOSED DUE TO REPLACEMENT OF EXTERIOR ELEMENTS. NOTIFY ARCHITECT/OWNER'S REP OF ANY SIGNS OF STRUCTURAL DAMAGE TO WOOD FRAMING MEMBERS OR MASONRY.
 - REPLACE DAMAGED/ROTTING EXTERIOR WOOD TRIM AT MANSARD ROOF TRANSITION WITH PAINTED WOOD TRIM TO EXACTLY MATCH SIZE AND PROFILES OF EXISTING. INSTALL SELF-ADHERED WATERPROOF ROOFING UNDERLAYMENT CONTINUOUS FROM EDGE OF EAVE AT CORNICE. UP FACE OF STEEP-SLOPED MANSARD ROOF TO TRIM BAND AT ROOF SLOPE TRANSITION AND OVER SIDES OF DORMER WALLS.
 - INSTALL METAL DRIP-EDGE AND METAL ROOFING OVER LOW-SLOPE ROOF OVER CORNICE TURNED UP FACE OF MANSARD ROOF AND FLASHED OVER TOP EDGE.
 - INSTALL NEW ASPH/FLT SINGLE ROOFING TO STEEP-SLOPE PORTION OF MANSARD ROOF. INSTALL NEW WOOD TRIM AT SIDES OF DORMER WALLS AND AT CORNERS OF ROOF.
- 3RD FLOOR WINDOWS:** REPLACE (10) WINDOWS ON 3RD FLOOR OF 3-STORY BUILDING. REMOVE EXISTING STORM WINDOWS AND ORIGINAL WOOD WINDOWS INCLUDING FULL FRAME AND WEIGHT POCKETS. REPLACE WITH CUSTOM ALUMINUM-CLAD WOOD WINDOWS TO MATCH EXISTING SIGHTLINES AS CLOSELY AS POSSIBLE, AND SIMULATED DIVIDED LIGHTS.
 - REMOVE EXTERIOR WOOD WINDOW SILLS AND REPLACE WITH COMPOSITE MATERIAL SILL. REPLACE ALL EXTERIOR WOOD WINDOW TRIM WITH NEW PAINTED WOOD TRIM MATERIAL TO EXACTLY MATCH SIZE AND PROFILES OF EXISTING.
 - REPAINT ALL EXTERIOR TRIM (NEW AND EXISTING) AT CORNICE, THIRD FLOOR WINDOWS, AND MANSARD ROOF IN DARK COLOR (LOW CONTRAST WITH BRICKWORK) TO BE DETERMINED BY ARCHITECT AND AS APPROVED BY PORTLAND HISTORIC PRESERVATION BOARD.
 - REMOVE EXISTING GUTTERS TO ALLOW WORK TO ROOF IDENTIFIED ABOVE. RE-INSTALL GUTTERS ON (4) SIDES OF ROOF WITH (2) DOWNSPOUTS, (1) EACH ON NORTH AND SOUTH SIDES OF BUILDING WITH ELBOW ABOVE GROUND AND DIVERTERS AT GROUND LEVEL TO DIRECT WATER AWAY FROM BUILDING.
- GABLE ROOF 2-STORY BUILDING:** STRIP ALL EXISTING ROOFING, UNDERLAYMENT AND FLASHING FROM BOTH PITCHES OF ROOF. REPLACE ANY DAMAGED/ROTTING SHEATHING WITH EXTERIOR GRADE PLYWOOD TO MATCH THICKNESS OF EXISTING ADJACENT MATERIAL. REPLACE ANY DAMAGED/ROTTING WOODWORK/TRIM WITH NEW PAINTED WOOD TRIM TO EXACTLY MATCH PROFILES OF EXISTING.
 - ASSESS CONDITION OF STRUCTURE WHERE EXPOSED DUE TO REPLACEMENT OF EXTERIOR ELEMENTS. NOTIFY ARCHITECT/OWNER'S REP OF ANY SIGNS OF STRUCTURAL DAMAGE TO WOOD FRAMING MEMBERS OR MASONRY.
 - INSTALL SELF-ADHERED WATERPROOF ROOFING UNDERLAYMENT IN TWO COURSES (6" TOTAL WIDTH) AT EAVES, ONE COURSE (5" WIDTH) AT RAKES AND AROUND SKYLIGHTS AND OTHER PENETRATIONS. INSTALL 30LB ROOFING FELT OVER REMAINDER OF ROOF.
 - INSTALL METAL DRIP-EDGE AND STEP FLASHING AT ABUTMENT WITH 3-STORY BRICK BUILDING. INSTALL NEW ASPHALT SHINGLE ROOFING (3-TAB FIBERGLASS REINFORCED ASPHALT SHINGLE).
 - REMOVE AND REPLACE ALL DAMAGED/ROTTING EXTERIOR WOOD TRIM ON LOWER ROOF: EAVE, SOFFIT, FASCIA. REPLACE WITH SOLID WOOD TRIM TO MATCH ORIGINAL PROFILES. REPAINT ALL EXTERIOR TRIM AT CORNICE IN DARK COLOR (LOW CONTRAST WITH BRICKWORK) TO BE DETERMINED BY ARCHITECT AND AS APPROVED BY PORTLAND HISTORIC PRESERVATION BOARD.
 - INSTALL NEW GUTTER ON (2) SIDES OF ROOF WITH (2) DOWNSPOUTS, (1) EACH ON NORTH AND SOUTH SIDES OF BUILDING WITH ELBOW ABOVE GROUND AND DIVERTERS AT GROUND LEVEL TO DIRECT WATER AWAY FROM BUILDING.
 - REPOINT MASONRY AT TOP OF WALL WHERE DAMAGED BY WATER INFILTRATION. REPLACE ANY DAMAGED BRICK WITH NEW/SALVAGED BRICK TO MATCH EXISTING.
 - PRIOR TO COMMENCING ANY MASONRY WORK ON BUILDING EXTERIOR CONDUCT ANALYSIS OF ORIGINAL MORTAR TO DETERMINE COMPOSITION AND STRENGTH. NEW MORTAR FOR POINTING AND BEDDING NEW/REPLACEMENT BRICKWORK TO MATCH EXISTING MORTAR AS CLOSELY AS POSSIBLE IN TERMS OF COLOR, COMPOSITION AND STRENGTH. CONTRACTOR TO BUILD A TEST PANEL FOR HISTORIC PRESERVATION BOARD APPROVAL OF BRICK AND MORTAR.
- TOOTH-IN NEW/SALVAGED BRICK AT JAMBS OF DOOR INSTALLED IN ORIGINAL WINDOW OPENING ON SOUTH SIDE OF 2-STORY BUILDING TO AVOID EXPOSURE OF CUT BRICK ENDS. FILL VOID SPACE BETWEEN DOOR FRAME AND WALL WITH MINERAL WOOL INSULATION. INSTALL NEW SHEATHING OVER FRAMING. WRB AND PAINTED SOLID WOOD TRIM AROUND DOOR. PROVIDE SEALANT BETWEEN TRIM AND MASONRY.
- FOR STRUCTURAL REPAIRS TO FIRST FLOOR FRAMING, SEE SHEET A101

ALTERNATE #1

- NEW STOREFRONT & ENTRY:** AT (2) 7'-0" +/- WIDE ARCHED OPENINGS REMOVE ALL WINDOWS, WOOD FRAMED & FINISHED WALL AND BRICK INFILL BELOW WINDOW SILLS TO 8" ABOVE GRADE. REPLACE WITH NEW ALUMINUM-CLAD WOOD FIXED WINDOWS TO MATCH ORIGINAL DESIGN: FULL HEIGHT, TRIPARTITE WINDOW WITH paneled wood INFILL BELOW SILL WHERE ORIGINAL BULKHEAD WINDOWS WERE LOCATED. MODIFY EXISTING CEILING TO SLOPE UP TO ORIGINAL WINDOW HEAD HEIGHT.
 - REMOVE SINGLE DOOR, SURROUNDING INFILL AND '181' SIGN FROM CENTRAL ARCHED OPENING. REPLACE WITH FIXED DOUBLE DOOR PANELS AND TRANSOM WINDOW ABOVE TO MATCH ORIGINAL LAYOUT. INSULATE BEHIND DOOR PANELS AND FINISH INTERIOR TO BLEND WITH ADJACENT FINISHES.
 - REPLACE FULLY-GLAZED DOORS AT CURRENT MAIN ENTRY WITH PART-GLAZED DOORS AND SIDELIGHTS. DOORS TO BE ALUMINUM-CLAD WOOD AS DETAILED IN DRAWINGS.
 - REPLACE FULLY-GLAZED DOOR AT STAIR EXIT WITH PART-GLAZED DOOR. DOOR TO BE ALUMINUM-CLAD WOOD AS DETAILED IN DRAWINGS.
 - SCRAPE/BRUSH PAINTED MASONRY AT FIRST FLOOR STREETFRONT TO REMOVE ALL LOOSE/FLAKING PAINT. REPOINT PREVIOUSLY PAINTED MASONRY AS REQUIRED. REPAINT ONLY PREVIOUSLY PAINTED MASONRY WITH LOW-CONTRAST COLOR TO BE DETERMINED BY ARCHITECT AND AS APPROVED BY PORTLAND HISTORIC PRESERVATION BOARD.
 - ENTRY RAMP:** DEMO EXISTING CONCRETE AND BRICK ENTRY RAMP. EXCAVATE AND INSTALL NEW POURED CONCRETE FROST WALLS AND FOOTINGS TO DEFINE EXTENT OF NEW RAMP TO MATCH SIZE OF EXISTING. POUR NEW CONCRETE RAMP AT 1:12 PITCH WITH LEVEL LANDING AT TOP AND BOTTOM. FACE CONCRETE FROST WALLS AND RAMP SURFACE WITH BRICK PAVERS. INSTALL NEW PAINTED METAL PIPE RAIL.

ALTERNATE #2

- 2ND FLOOR WINDOWS:** REPLACE (4) WINDOWS ON 2ND FLOOR OF 3-STORY BUILDING, WEST ELEVATION. REMOVE EXISTING STORM WINDOWS AND ORIGINAL WOOD WINDOWS INCLUDING FULL FRAME AND WEIGHT POCKETS. REPLACE WITH CUSTOM ALUMINUM-CLAD WOOD ARCH-TOP WINDOWS TO MATCH EXISTING SIGHTLINES AS CLOSELY AS POSSIBLE. SIMULATED DIVIDED LIGHTS AND BRICKMOLD.

ALTERNATE #3

- 2ND FLOOR WINDOWS:** REPLACE (5) WINDOWS ON 2ND FLOOR OF 3-STORY BUILDING, SOUTH ELEVATION. REMOVE EXISTING STORM WINDOWS AND ORIGINAL WOOD WINDOWS INCLUDING FULL FRAME AND WEIGHT POCKETS. REPLACE WITH CUSTOM ALUMINUM-CLAD WOOD ARCH-TOP WINDOWS TO MATCH EXISTING SIGHTLINES AS CLOSELY AS POSSIBLE. SIMULATED DIVIDED LIGHTS AND BRICKMOLD.

ALTERNATE #4

- 2ND FLOOR WINDOWS:** REPLACE (5) WINDOWS ON 2ND FLOOR OF 3-STORY BUILDING, NORTH ELEVATION. REMOVE EXISTING STORM WINDOWS AND ORIGINAL WOOD WINDOWS INCLUDING FULL FRAME AND WEIGHT POCKETS. REPLACE WITH CUSTOM ALUMINUM-CLAD WOOD ARCH-TOP WINDOWS TO MATCH EXISTING SIGHTLINES AS CLOSELY AS POSSIBLE. SIMULATED DIVIDED LIGHTS AND BRICKMOLD.

ALTERNATE #5

- REPLACE (11) WINDOWS ON 1ST AND 2ND FLOORS OF 2-STORY BUILDING. REMOVE EXISTING REPLACEMENT WINDOWS AND ORIGINAL WOOD WINDOWS INCLUDING FULL FRAME AND WEIGHT POCKETS. REPLACE WITH CUSTOM ALUMINUM-CLAD WOOD WINDOWS TO MATCH ORIGINAL SIGHTLINES AS CLOSELY AS POSSIBLE. SIMULATED DIVIDED LIGHTS AND BRICKMOLD.
 - AT ALL REPLACEMENT WINDOWS REPAIR INTERIOR FINISHES AS REQUIRED AND REPAINT HEAD, JAMB & SILL RETURNS AND INTERIOR TRIM FOR UNIFORM, FINISHED APPEARANCE.

ALTERNATE #6

- WOOD-CLAD BUILDING:** REMOVE EXISTING DOUBLE EXTERIOR DOORS AND (2) WINDOWS ABOVE ON WEST SIDE OF WOOD BUILDING. REMOVE OVERHEAD DOOR AND ASSOCIATED HARDWARE FROM INTERIOR. REMOVE EXISTING EXTERIOR OSB SHEATHING AND INSPECT FRAMING FOR SIGNS OF DAMAGE/DECAY. REPLACE AS REQUIRED. FRAME NEW SINGLE OPENING AND INSTALL NEW DOUBLE EXTERIOR DOOR WITH TRANSOM LIGHT. INSTALL NEW EXTERIOR SHEATHING AND WRB, FINISH WITH NEW WOOD CLAPBOARD SIDING TO MATCH EXISTING.
 - REPLACE EXISTING 6/6 WOOD WINDOWS ON WEST ELEVATION WITH NEW 2/2 ALUMINUM CLAD WOOD WINDOWS.

ALTERNATE #7

- REPLACE (3) WINDOWS ON 1ST FLOOR OF 3-STORY BUILDING. REMOVE EXISTING STORM WINDOWS AND (1) ORIGINAL WOOD WINDOW AND (2) NON-ORIGINAL WINDOWS IN ORIGINAL DOOR OPENINGS, INCLUDING FULL FRAME AND WEIGHT POCKETS. RE-BUILD WALL FRAMING AND INTERIOR FINISHES AS REQUIRED TO FRAME NEW WINDOW OPENINGS AND PREP TO RECEIVE NEW BRICK INFILL BELOW SILLS. REPLACE WITH CUSTOM ALUMINUM-CLAD WOOD WINDOWS TO MATCH EXISTING/OIGINAL SIGHTLINES AS CLOSELY AS POSSIBLE. SIMULATED DIVIDED LIGHTS AND BRICKMOLD.
 - INFILL WITH BRICK (2) BOARDED UP ORIGINAL DOOR OPENINGS ON SOUTH SIDE OF 3-STORY BUILDING BELOW NEW REPLACEMENT WINDOWS. RECESS BRICKWORK 1/2" BACK FROM FACE OF ORIGINAL BRICK. USE ALL NEW BRICK BEDDED AND POINTED WITH MORTAR TO MATCH ORIGINAL.
 - REPAINT EXISTING METAL BULKHEAD DOORS ADJACENT TO ENTRY RAMP. COLOR TO BE SELECTED BY ARCHITECT AND APPROVED BY PORTLAND HISTORIC PRESERVATION BOARD

ALTERNATE #8

- HIP ROOF 3-STORY BUILDING:** STRIP ALL EXISTING ROOFING, UNDERLAYMENT AND FLASHING FROM ALL FOUR PITCHES OF ROOF. REPLACE ANY DAMAGED/ROTTING SHEATHING WITH EXTERIOR GRADE PLYWOOD TO MATCH THICKNESS OF EXISTING ADJACENT MATERIAL. ASSESS CONDITION OF STRUCTURE WHERE EXPOSED DUE TO REPLACEMENT OF EXTERIOR ELEMENTS. NOTIFY ARCHITECT/OWNER'S REP OF ANY SIGNS OF STRUCTURAL DAMAGE TO WOOD FRAMING MEMBERS. INSTALL SELF-ADHERED WATERPROOF ROOFING UNDERLAYMENT IN TWO COURSES (6" TOTAL WIDTH) AT EAVES. INSTALL 30LB ROOFING FELT OVER REMAINDER OF ROOF. INSTALL METAL DRIP-EDGE AT TRANSITION TO WOOD TRIM AND STEEP-SLOPE PORTION OF MANSARD ROOF. INSTALL NEW ASPHALT SHINGLE ROOFING (3-TAB FIBERGLASS REINFORCED ASPHALT SHINGLE).
 - REPOINT MASONRY AS REQUIRED ON (4) CHIMNEYS OF 3-STORY BUILDING - MORTAR TO MATCH ORIGINAL

ALTERNATE #9

- INTERIOR RENOVATIONS:** REMOVE EXISTING BUILT-IN LOW-WALL AT RECEPTION DESK. REMOVE EXISTING VCT FLOORING THROUGHOUT LOBBY AND INSTALL NEW CARPET. REMOVE EXISTING INTERIOR FIXED WINDOW IN CONFERENCE ROOM AND INSTALL NEW 5'-0" WIDE X 3'-6" HIGH PASS-THRU RECEPTION WINDOW WITH SILL AT 42" AFF. PROVIDE NEW HEADER AND JACK STUDS AND PATCH/REPAIR GWB FINISHES AS REQUIRED.

SYMBOL LEGEND	
	DETAIL NUMBER BUILDING SECTION DRAWING NUMBER
	DETAIL NUMBER CALL OUT DRAWING NUMBER
	CENTERLINE
	DOOR TAG
	ELEVATION INDICATOR
	ELEVATION TAG
	ELEVATION TAG
	NORTH ARROW
	REVISION
	ROOM TAG WITH NUMBER
	STRUCTURAL GRID BUBBLE
	WALL TAG
	WINDOW TAG

DRAWING LIST	
NUMBER	SHEET TITLE
A001	COVER SHEET
A101	FIRST FLOOR PLAN
A102	SECOND FLOOR PLAN
A103	THIRD FLOOR PLAN
A201	ELEVATIONS
A202	ELEVATIONS & WINDOW SCHEDULE
A401	STOREFRONT DETAILS
A402	ARCH WINDOW DETAILS
A403	3RD FLOOR WINDOW DETAILS
A501	DOOR SCHEDULE
A601	EXISTING CONDITIONS PHOTOGRAPHS

NOTES:

- EXISTING WINDOWS AND SURROUNDING FINISHES MAY HAVE LEAD-BASED PAINT APPLIED. REFER TO SPECIFICATIONS AND LEAD SURVEY. CONTRACTOR SHALL BE EPA CERTIFIED FOR LEAD-SAFE WORK PRACTICES AND COMPLY WITH OSHA REGULATIONS.
- ASBESTOS CAULK HAS BEEN IDENTIFIED IN SMALL AMOUNTS AT RANDOM LOCATIONS BETWEEN WINDOWS AND MASONRY OPENINGS. REFER TO SPECIFICATIONS AND ASBESTOS SURVEY. CONTRACTOR SHALL COMPLY WITH OSHA REGULATIONS FOR REMOVAL OF THIS MATERIAL.

CONSULTANTS:

REVISIONS:

ISSUED: 07/29/15
PROJECT No: 1503
DRAWN BY: RIP
CHECKED BY: HWH
SHEET TITLE:
COVER SHEET

A001