

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 071265

Please Read Application And Notes, If Any, Attached

This is to certify that PASSMORE GERALDINE MPEO Architect Contracting

has permission to After the fact permit for deck and stairs

AT 143 BRACKETT ST City of Portland 045 E028001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

PERMIT ISSUED
DEC 2 1971
CITY OF PORTLAND

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is occupied or closed-in. **HEAVY NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

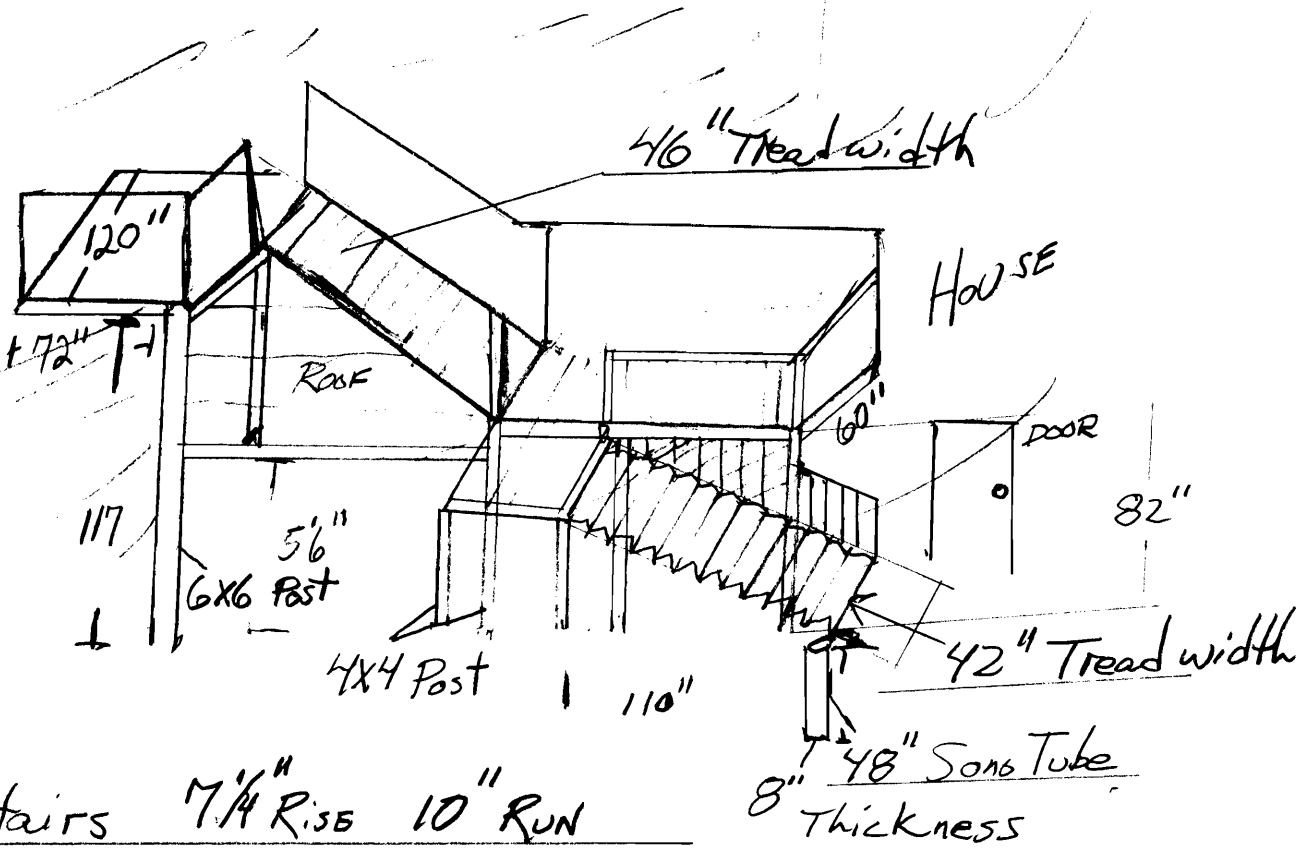
OTHER REQUIRED APPROVALS
Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

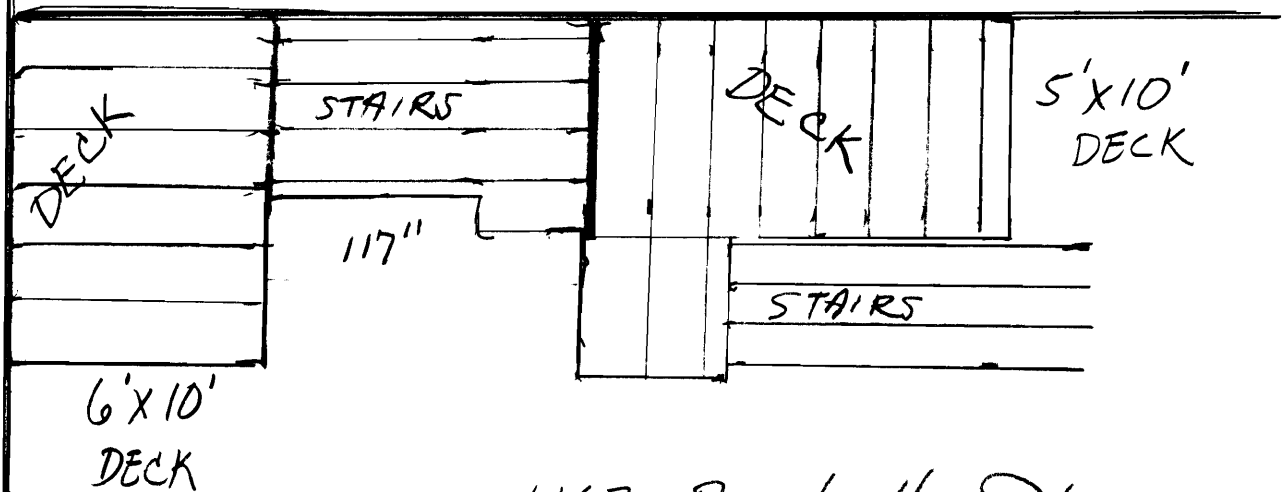
299-1300
Glen

DEC 8 1977



Stairs 7 1/4" Rise 10" Run

Railings 40" Height 4" Spacing



143 Brackett St
Pompeo

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-1265	Date Applied For: 10/10/2007	CBL: 045 E028001
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Location of Construction: 143 BRACKETT ST	Owner Name: PASSMORE GERALDINE POMPE	Owner Address: 115 HENNESSEY DR	Phone: () 797-7505
Business Name:	Contractor Name: Rodney Contracting	Contractor Address: 28 Summitt Street OOB	Phone (207) 329-1300
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Duplex	

Proposed Use: Two Family/Replace deck	Proposed Project Description: After the fact permit for deck and stairs
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Dept: Historic **Status:** Approved with Conditions **Reviewer:** Scott Hanson **Approval Date:** 11/01/2007
Note: **Ok to Issue:**
1) Lower section of stairs to run toward rear of property, not toward driveway. This will reduce the visibility of the stairs sufficiently to avoid usual H.P. requirements for finish materials and design.

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 10/30/2007
Note: **Ok to Issue:**
1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2) This permit is being issued based on the information provided by the owner. The rear and side setbacks will be confirmed by an inspector in the field. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor.
3) This property shall remain a two family dwelling. Any change of use shall require a separate permit application for review and approval.
4) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Chris Hanson **Approval Date:** 12/07/2007
Note: Stairs must run parallel w/ bldg. Ck setbacks 12/072007 rec'd plan showing stair detail CSH **Ok to Issue:**
1) As discussed during the review process, ballusters must be spaced with less than a 4" opening between each.
2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
3) Open risers are permitted, provided that the opening between treads does not permit the passage of a 4" diameter sphere.
4) Maintain proper setback(s) from property lines/buildings
5) As discussed during the review process, ballusters must be spaced with less than a 4" opening between each.
6) Fastener schedule per the IRC 2003
7) Your guardrail system installed around your deck must meet the loading requirements of section 1607.7.1 of the IBC 2003 Building Code.
8) Frost protection must be installed per the enclosed detail as discussed w/owner/contractor.
9) ANY exterior work requires separate review and approval thru Historic Preservation
10) Open risers are permitted, provided that the opening between treads does not permit the passage of a 4" diameter sphere.
11) The existing deck shall be inspected for adequate fasteners and bearing for spans, and modifications may be required
12) Fastener schedule per the IRC 2003

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Business Name:	Contractor Name: Rodney Contracting	Contractor Address: 28 Summitt Street OOB	Phone (207) 329-1300
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Duplex	

Comments:

10/25/2007-amachado: Spoke to the owner at the front desk. Told her that I needed to know what the side setback is from the end of the stairs to the right side property line. Left message for Glen Rodney. Told him that I needed to know the side setback and if it is not 10' then the stairs will have to be moved to meet setbacks.

10/30/2007-amachado: Owner left voicemail. Said that the steps will come to the edge of the driveway. Said that driveway is 10' wide at that point so it would meet the side setback.

11/1/2007-amachado: Left message for Glen Rodney. Historic has approved the deck and stairs only if the lower section of stairs run towards the end of the building. I need a new plot plan showing how the stairs are being located and Chris Hanson will need any new information about how the stairs will now be built.

11/15/2007-amachado: Glen Rodney came in today. He will bring in a detailed plan showing how the stairs will be built from the lower deck to the ground. He took a copy of the old plan and will draw new ones after he sees what will work at the site.

City of Portland, Maine - Building or Use Permit Application

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Permit No: 07-1265	Issue Date: 12/07/07	CBL: 045 E028001
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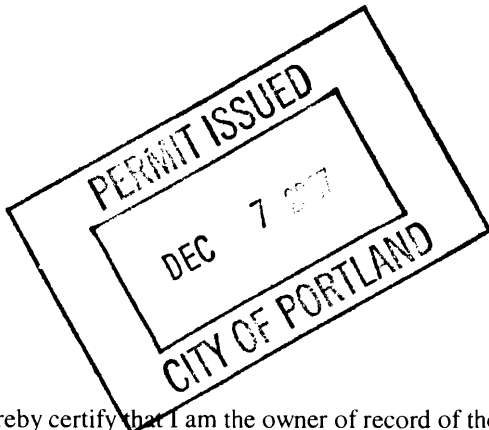
Location of Construction: 143 BRACKETT ST	Owner Name: PASSMORE GERALDINE POMPE	Owner Address: 115 HENNESSEY DR	Phone: 797-7505
Business Name:	Contractor Name: Rodney Contracting	Contractor Address: 28 Summitt Street OOB	Phone: 2073291300
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-6

Past Use: Two Family	Proposed Use: Two Family/Replace deck <i>legal use - 2 dv. (permicrofilm)</i>	Permit Fee: \$50.00	Cost of Work: \$3,000.00	CEO District: 2
Proposed Project Description: After the fact permit for deck and stairs		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>R-3</i> Type: <i>SB</i> <i>IRC-2003</i>	
		Signature:	Signature: <i>[Signature]</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: csh	Date Applied For: 10/10/2007	Zoning Approval		
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK w/conditions</i> Date: <i>10/30/07 ABM</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input checked="" type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>11/1/07 STH</i>
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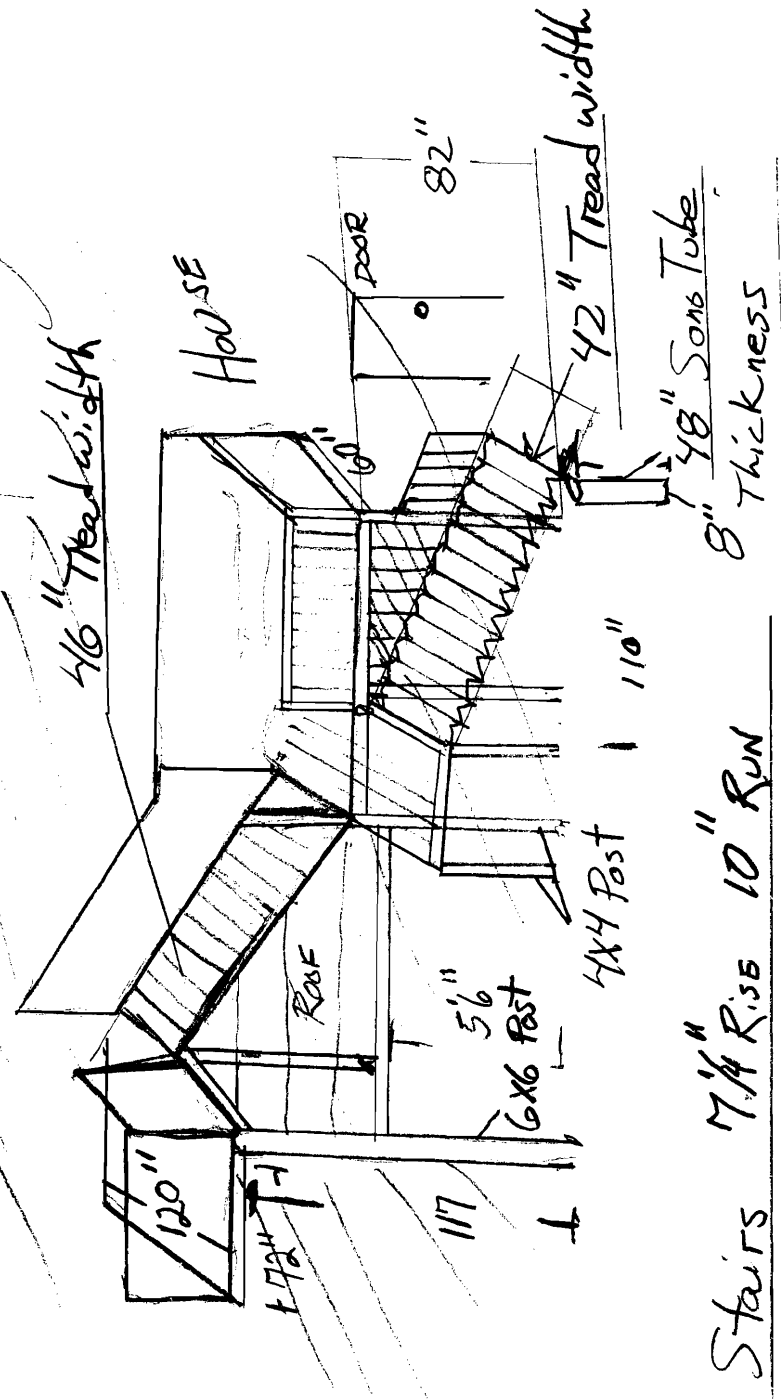
CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

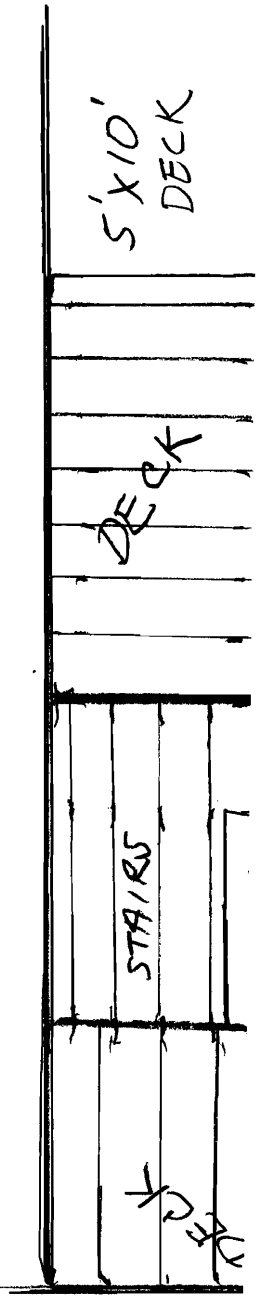
399.1300
Glen

DEC 6 2007



Stairs 7 1/4" Rise 10" Run

Railings 40" Height 4" Spacing



DEC 7 2007

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Lessee/Buyer's Name	Phone:	Permit Type: Additions - Duplex	

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Dept: Historic **Status:** Approved with Conditions **Reviewer:** Scott Hanson **Approval Date:** 11/01/2007

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- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Chris Hanson **Approval Date:** 11/05/2007

Note: Stairs must run parallel w/ bldg. Ck setbacks **Ok to Issue:**

- 1) The existing deck shall be inspected for adequate fasteners and bearing for spans, and modifications may be required
- 2) Your guardrail system installed around your deck must meet the loading requirements of section 1607.7.1 of the IBC 2003 Building Code.
- 3) Maintain proper setback(s) from property lines/buildings
- 4) Frost protection must be installed per the enclosed detail as discussed w/owner/contractor.
- 5) As discussed during the review process, ballusters must be spaced with less than a 4" opening between each.
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- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.
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Note: **Ok to Issue:**

- 1) Fastener schedule per the IRC 2003
- 2) Maintain proper setback(s) from property lines/buildings and proper clearances from verticle openings when direct venting.
- 3) Open risers are permitted, provided that the opening between treads does not permit the passage of a 4" diameter sphere.
- 4) Maintain proper setback(s) from property lines/buildings and proper clearances from verticle openings when direct venting.
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the stairs to the right side property line. Left message for Glen Rodney. Told him that I needed to know the side setback and if it is not 10' then the stairs will have to be moved to meet setbacks.

10/30/2007-amachado: Owner left voicemail. Said that the steps will come to the edge of the driveway. Said that driveway is 10' wide at that point so it would meet the side setback.

Submitted to Bureau (TAV) 10/11/07

Attn: Mr. Hanson
10/11/07



General Building Permit Application - Commercial

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>143 BRACKETT STREET PORTME</u>		
Total Square Footage of Proposed Structure/Area <u>140 4813 SF</u>		Square Footage of Lot <u>4813 SF</u>
Tax Assessor's Chart, Block & Lot Chart# <u>45</u> - Block# <u>E</u> - Lot# <u>28</u>	Applicant * must be owner, Lessee or Buyer* Name <u>GERALDINE POMPEO</u> Address <u>115 HENNESSEY DRIVE</u> City, State & Zip <u>PORTLAND MAINE</u>	Telephone: <u>797-7505</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost of Work: \$ <u>2970</u> C of O Fee: \$ _____ Total Fee: \$ <u>50.00</u>
Current legal use (i.e. single family) <u>2 Family</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Same</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Rebuild 2 Decks 2 sets Stairs</u> <u>AND ASSOCIATED REPAIRS</u> <u>ONE 4'x10' Deck ONE 6'x10' Deck</u>		
Contractor's name: <u>RODNEY CONTRACTING</u> Address: <u>28 Summit St</u> City, State & Zip: <u>COB MB 04064</u> Telephone: <u>329-1300</u> <i>or call</i> Who should we contact when the permit is ready: <u>GERALDINE POMPEO</u> Telephone: <u>797-7505</u> Mailing address: _____		

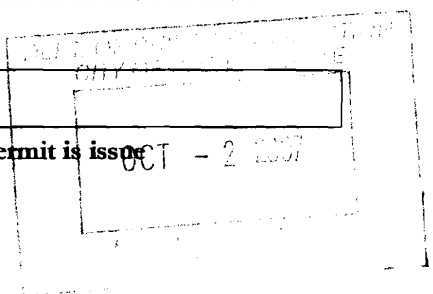
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

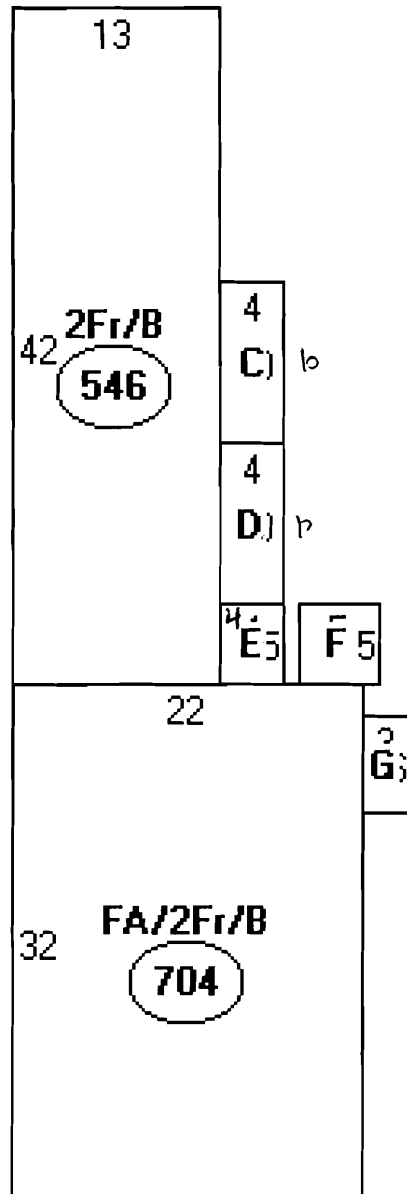
I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Geraldine Pompeo Date: 9/21/07

This is not a permit; you may not commence ANY work until the permit is issued

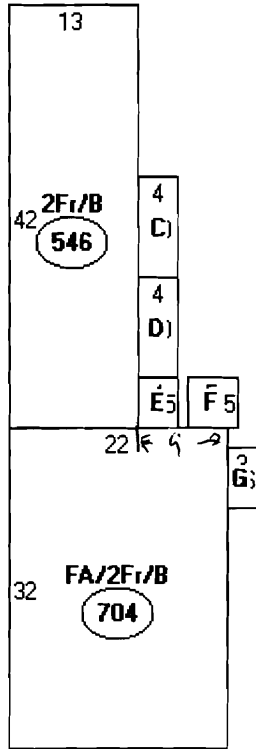






Descriptor/Area

- A: FA/2Fr/B
704 sqft
- B: 2Fr/B
546 sqft
- C: N/A ?
40 sqft
- D: WD
40 sqft
- E: Bsmt
20 sqft
- F: Bsmt
25 sqft
- G: FBAY
18 sqft



Descriptor/Area

A: FA/2F1/B
704 sqft

B: 2F1/B
546 sqft

~~C: N/A~~
40 sqft

~~D: WD~~
40 sqft

~~E: Bsmt~~
20 sqft

F: Bsmt
25 sqft

G: FBAY
18 sqft

Rb

lot size 41813

rear - 20' req. - 41' b back of house (ok)

side - 10' req. - ? *

lot coverage 50% = 2406.5 sq ft
ok
1463 sq ft

= 1293

170 deck stairs

1463 sq ft

* owner says that driveway is 10' wide that the stairs will go to the edge of the driveway.

deck 6x10 = 60

deck 4x10 = 40 = 170

stairs 4x8.6" = 34

4x10 platform 40

The Home Depot # 2406
300 CLARKS POND PKWY, S PORTLAND, ME 04106
(207) 879-2500
Mon Sep 24 11:29:39 2007

This Project cannot be priced because not all materials are carried in stock.
See Store Associate for prices on non-stock items shown in Bill-of-Materials.

GERRY POMPEO
DECK
149862
Deck Layout

