Form # P 04

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

DEDMI

Permit Number: 071265

7.11.05.150		
This is to certify thatPASSMORE GERAL	DINE APEO /	THIS UED
has permission toAfter the fact permit for	for deck	PERMIT
AT _143 BRACKETT ST		045 F028001
provided that the person or person the provisions of the Statutes the construction, maintenance at this department.	s of Name and of the same	pting this permit shall comply with a ces of the City of Portland regulation on file i
Apply to Public Works for street line and grade if nature of work requires such information.	N ication inspect must gi and wron permis in procul be eithis to ding or at thereo la dor o proceed-in. He R NOTICE IS REQUIRED.	A certificate of occupancy must be procured by owner before this building or part thereof is occupied.
OTHER REQUIRED APPROVALS		
Fire Dept		
Appeal Board		
Other Department Name		Director - Building & Inspection Services
P	PENALTY FOR REMOVING THIS	CARD

DEC a may 46 Treatwidth HOUSE 4x4 Post 1 110" Stairs 7/4 Riss 10" RUN Railings 40" Height 4" Spacing 5'x10' STAIRS DECK STAIRS 6'X10' DECK 143 Brackett St Pompeo

CBL: Permit No: Date Applied For: City of Portland, Maine - Building or Use Permit 07-1265 10/10/2007 045 E028001 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716 Owner Name: Location of Construction: Owner Address: Phone: 143 BRACKETT ST PASSMORE GERALDINE POMPE 115 HENNESSEY DR () 797-7505 Business Name: Contractor Name: Contractor Address: Phone Rodney Contracting 28 Summitt Street OOB (207) 329-1300 Lessee/Buyer's Name Phone: Permit Type: Additions - Duplex Proposed Use: Proposed Project Description: Two Family/Replace deck After the fact permit for deck and stairs Dept: Historic Status: Approved with Conditions Reviewer: Scott Hanson Approval Date: 11/01/2007 Ok to Issue: Note: 1) Lower section of stairs to run toward rear of property, not toward driveway. This will reduce the visibility of the stairs sufficiently to avoid usual H.P. requirements for finish materials and design. 10/30/2007 Status: Approved with Conditions Reviewer: Ann Machado Approval Date: Dept: Zoning Ok to Issue: Note: 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that 2) This permit is being issued based on the information provided by the owner. The rear and side setbacks will be confirmed by an inspector in the field. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor. 3) This property shall remain a two family dwelling. Any change of use shall require a separate permit application for review and approval. 4) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District. Dept: Building 12/07/2007 Status: Approved with Conditions Reviewer: Chris Hanson **Approval Date:** Ok to Issue: Note: Stairs must run parallel w/ bldg. Ck setbacks 12/072007 rec'd plan showing stair detail CSH 1) As discussed during the review process, ballusters must be spaced with less than a 4" opening between each. 2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approrval prior to work. 3) Open risers are permitted, provided that the opening between treads does not pemit the passage of a 4" diameter sphere. 4) Maintain proper setback(s) from property lines/buildings 5) As discussed during the review process, ballusters must be spaced with less than a 4" opening between each.

7) Your guardrail system installed around your deck must meet the loading requirements of section 1607.7.1 of the IBC 2003 Building

10 Open risers are permitted, provided that the opening between treads does not pemit the passage of a 4" diameter sphere.

11 The existing deck shall be inspected for adequate fasteners and bearing for spans, and modifications may be required

8) Frost protection must be installed per the enclosed detail as discussed w/owner/contractor.

9) ANY exterior work requires separate review and approval thru Historic Preservation

6) Fastener schedule per the IRC 2003

12 Fastener schedule per the IRC 2003

Code.

Location of Construction:	Owner Name:	Owner Address:	Phone:
143 BRACKETT ST	PASSMORE GERALDINE POMPE	115 HENNESSEY DR	() 797-7505
Business Name:	Contractor Name:	Contractor Address:	Phone
	Rodney Contracting	28 Summitt Street OOB	(207) 329-1300
Lessee/Buyer's Name	Phone:	Permit Type:	
		Additions - Duplex	

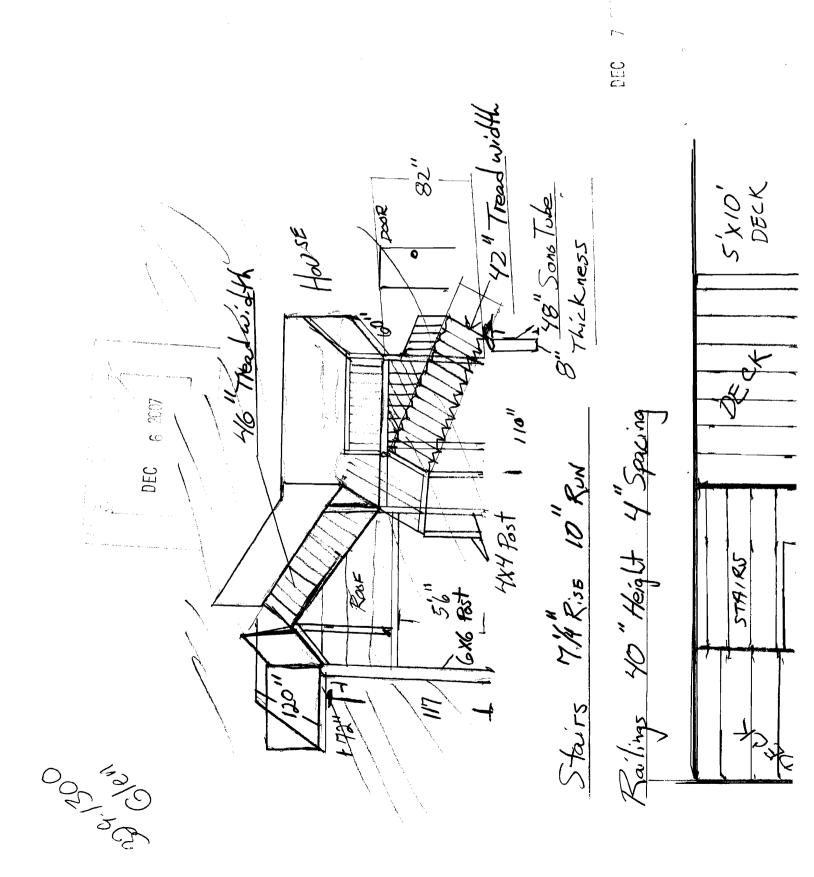
10/25/2007-amachado: Spoke to the owner at the front desk. Told her that I needed to know what the side setback is from the end of the stairs to the right side property line. Left message for Glen Rodney. Told him that I needed to know the side setback and if it is not 10' then the stairs will have to be moved to meet setbacks.

10/30/2007-amachado: Owner left voicemail. Said that the steps will come to the edge of the driveway. Said that driveway is 10' wide at that point so it would meet the side setback.

11/1/2007-amachado: Left message for Glen Rodney. Historic has approved the deck and stairs only if the lower section of stairs run towards the end of the building. I need a new plot plan showing how the stairs are being located and Chris Hanson will need any new information about how the stairs will now be built.

11/15/2007-amachado: Glen Rodney came in today. He will bring in a detailed plan showing how the stairs will be built form the lower deck to the ground. He took a copy of the old plan and will draw new ones after he sees what will work at the site.

City	of Portland, Maine -	Building or Use	Permi	t Application	Pe	rmit No:	Issue Date	: /	CBL:	
389	Congress Street, 04101	Γel: (207) 874-8703	, Fax:	(207) 874-871	6	07-1265	12/07	70/1	045 E0	28001
Locat	ion of Construction:	Owner Name:			Owne	er Address:			Phone:	
143	BRACKETT ST	PASSMORE (GERAL	DINE POMPE	115 HENNESSEY DR				797-7505	
Busin	ess Name:	Contractor Name	:		Contr	ractor Address:			Phone	-
		Rodney Contra	acting		28 S	Summitt Stree	t OOB		2073291	300
Lesse	e/Buyer's Name	Phone:			Perm	it Type:			-	Zone:
					Ado	ditions - Dwe	llings			R-6
Past U	Use:	Proposed Use:			Perm	nit Fee:	Cost of Wor	k:	CEO District:	7
Two	Family	Two Family/R	eplace o	deck	ŀ	\$50.00	\$3,00	00.00	2	
					FIRE	E DEPT:	Approved	INSPE	CTION:	
			. (Denied	Use Gr	roup: 2 -3	Type: 5
	legal	un -2 du per	micro	tich)			Domed		TRC- JRC-	0.6-2
									TRC-	-2013
Propo	osed Project Description:									
Afte	er the fact permit for deck an	nd stairs			Signa	iture:		Signatu	ure: ・, こじつ?	· UM
					PEDI	ESTRIAN ACT	IVITIES DIST	TRICT (P.A.D.) [†]	
					Actio	on: Appro	ved App	proved w	/Conditions	Denied
					Signa	ature:			Date:	
Perm	it Taken By:	Date Applied For:	Ī			Zoning	Approva	 al		
csh		10/10/2007				20111112	, PP			
1.	This permit application doe	es not preclude the	Special Zone or Reviews Shoreland		ws	vs Zoning Appeal			Historic Preservation	
	Applicant(s) from meeting a Federal Rules.					☐ Variance			Not in District or Landman	
2.	Building permits do not inc septic or electrical work.	lude plumbing,	□ w	etland	Miscellaneous			Does Not Require Review		
3.	Building permits are void if within six (6) months of the		FI	Flood Zone Condition		onal Use Requires Rev		view		
	False information may inva permit and stop all work		Subdivision			[Interpretation			Approved	
			☐ Si	te Plan		Approve	ed		Approved w	/Conditions
	PERMITISSUED		Maj [Minor MM		Denied			Denied	
	DERIVIT 1838		Date: /	ulcoalities	<u> </u>	Date:		D	Date: [1/1] 67	514
I hav juriso shall	eby certify that I am the owr e been authorized by the ow diction. In addition, if a peri have the authority to enter a permit.	ner of record of the na oner to make this appli mit for work described	med procession and the contraction and the con	as his authorized application is is	ne pro d agen ssued,	nt and I agree I certify that	to conform the code of	to all a ficial's a	pplicable laws authorized rep	of this resentative
SIGN	ATURE OF APPLICANT			ADDRESS	5		DATE		PHC	ONE
								_		



Cit	v of	Portland, M	aine - Buil	ding or Use Permit	†	Pe	rmit No:	Date Applied For:	CBL:	
	•	•		207) 874-8703, Fax: (716	07-1265	10/10/2007	045	E028001
Loca	ation of	f Construction:		Owner Name:		Owne	er Address:		Phone:	
143	43 BRACKETT ST PASSMORE GERALDINE POMPE			E 115	HENNESSEY	DR	() 7	97-7505		
Busi	iness N	ame:		Contractor Name:			actor Address:		Phone	
				Rodney Contracting			Summitt Street	OOB	(207)	329-1300
Less	ee/Buy	er's Name		Phone:			<mark>it Type:</mark> ditions - Duple	x		
Prop	posed U	Jse:		-	Prop	osed Pro	ject Description:			
Tw	o Fan	nily/Replace de	ck		Aft	er the fa	act permit for d	eck and stairs		
De	ept:	Historic	Status: A	pproved with Condition	ns Review	er: Sc	ott Hanson	Approval Da		11/01/2007
	ote:								Ok to 1	
1)				ard rear of property, not for finish materials and o		way. T	his will reduce	the visibility of the s	tairs su	fficiently
De	ept:	Zoning	Status: A	pproved with Condition	ns Review	er: Ar	nn Machado	Approval Da	ite:	10/30/2007
No	ote:								Ok to l	Issue: 🔽
1)	ANY Distr		requires a sep	arate review and approv	al thru Histor	ric Prese	ervation. This p	property is located wi	thin an	Historic
2)				on the information prov proximity of the setback						
3)	This appro		emain a two f	amily dwelling. Any cha	ange of use sh	nall requ	iire a separate _l	permit application for	r reviev	v and
4)	This work		approved on	the basis of plans submi	tted. Any de	viations	shall require a	separate approval be	fore sta	arting that
De	ept:	Building	Status: A	pproved with Condition	ns Review	er: Ch	ris Hanson	Approval Da	ite:	11/05/2007
No	ote: S	Stairs must run	parallel w/ blo	dg. Ck setbacks					Ok to l	Issue: 🔽
1)	The e	existing deck sh	all be inspect	ed for adequate fastener	s and bearing	for spa	ns, and modific	cations may be requir	ed	
2)	Your Code	-	m installed ar	ound your deck must me	eet the loadin	g requir	ements of secti	on 1607.7.1 of the II	3C 200	3 Building
3)	Main	tain proper seth	oack(s) from p	property lines/buildings						
4)	Frost	protection mus	t be installed	per the enclosed detail a	as discussed v	v/owner	/contractor.			
5)	As di	scussed during	the review pr	ocess, ballusters must be	e spaced with	less tha	ın a 4" opening	between each.		
6)	As di	scussed during	the review pr	ocess, ballusters must be	e spaced with	less tha	ın a 4" opening	between each.		
7)	Faste	ner schedule pe	er the IRC 200)3						
		-		d that the opening between	een treads do	es not p	emit the passas	ge of a 4" diameter sr	ohere.	
	-	-	•	ed that the opening between		•	•	•		
	_	-	•	ate review and approval		•	• •	se of a 4 diameter sp		
	Appli	ication approva	l based upon i	information provided by				oved plans requires	separate	e review
	and a	pprorval prior t	o work.							

12 Fastener schedule per the IRC 2003

Location of Construction:	Owner Name:		Owner Address:	Phone:
143 BRACKETT ST	PASSMORE GERALDINE POMPE		115 HENNESSEY DR	() 797-7505
Business Name:	Contractor Name:		Contractor Address:	Phone
	Rodney Contracting		28 Summitt Street OOB	(207) 329-1300
Lessee/Buyer's Name	Phone:		Permit Type:	
			Additions - Duplex	

10/25/2007-amachado: Spoke to the owner at the front desk. Told her that I needed to know what the side setback is from the end of the stairs to the right side property line. Left message for Glen Rodney. Told him that I needed to know the side setback and if it is not 10' then the stairs will have to be moved to meet setbacks.

10/30/2007-amachado: Owner left voicemail. Said that the steps will come to the edge of the driveway. Said that driveway is 10' wide at that point so it would meet the side setback.

11/1/2007-amachado: Left message for Glen Rodney. Historic has approved the deck and stairs only if the lower section of stairs run towards the end of the building. I need a new plot plan showing how the stairs are being located and Chris Hanson will need any new information about how the stairs will now be built.

City of Portland, Main	e - Building or Use Permi	t	Permit No:	Date Applied For:	CBL:
389 Congress Street, 0410	1 Tel: (207) 874-8703, Fax:	(207) 874-871	607-1265	10/10/2007	045 E028001
Location of Construction:	Owner Name:		Owner Address:		Phone:
143 BRACKETT ST PASSMORE GERALDIN			115 HENNESSE	Y DR	() 797-7505
Business Name:	Contractor Name:	-	Contractor Address:		Phone
	Rodney Contracting		28 Summitt Stree	t OOB	(207) 329-1300
Lessee/Buyer's Name	Phone:		Permit Type:		
			Additions - Dupl		
Proposed Use: Two Family/Replace deck		-	sed Project Description the fact permit for		
r wo r anniy/Replace dock		Anto	the fact permit for	dock and starty	
Dept: Historic S	tatus: Approved with Conditio	ns Reviewe i	: Scott Hanson	Approval I	Date: 11/01/2007 Ok to Issue: ✓
	o run toward rear of property, no	t toward drivew	av. This will reduce	e the visibility of the	
	irements for finish materials and		uj. 11115 WINTEGUE		
Dept: Zoning S	tatus: Approved with Condition	ns Reviewer	: Ann Machado	Approval I	Date: 10/30/2007
Note:					Ok to Issue:
ANY exterior work requ District.	ires a separate review and appro	val thru Historic	Preservation. This	property is located v	within an Historic
	ed based on the information provue to the proximity of the setback	•			-
 This property shall rema approval. 	in a two family dwelling. Any ch	ange of use sha	Il require a separate	permit application f	or review and
 This permit is being app work. 	roved on the basis of plans subm	itted. Any devi	ations shall require	a separate approval l	before starting that
-	tatus: Approved with Condition	ns Reviewer	: Chris Hanson	Approval I	
Note: Stairs must run para	C				Ok to Issue:
1) The existing deck shall be	e inspected for adequate fastene	rs and bearing for	or spans, and modif	ications may be requ	iired
Your guardrail system in Code.	stalled around your deck must m	neet the loading	requirements of sec	tion 1607.7.1 of the	IBC 2003 Building
3) Maintain proper setback	(s) from property lines/buildings				
4) Frost protection must be	installed per the enclosed detail	as discussed w/o	owner/contractor.		
5) As discussed during the	eview process, ballusters must b	e spaced with le	ess than a 4" openin	g between each.	
6) As discussed during the	review process, ballusters must b	e spaced with le	ess than a 4" openin	g between each.	
7) Fastener schedule per the	e IRC 2003	-	•		
•	I, provided that the opening betw	veen treads does	not nemit the pass	age of a 4" diameter	snhere
	I, provided that the opening betw		•		•
2) Open risers are permitted	i, provided that the opening betw	reen a caus uoes	not pennt the passa	ige of a + diameter	apricie.

11 Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review

10 ANY exterior work requires separate review and approval thru Historic Preservation

and approrval prior to work.12 Fastener schedule per the IRC 2003

Location of Construction:	Owner Name:	Owner Address:	Phone:	
143 BRACKETT ST	PASSMORE GERALDINE POMPE	115 HENNESSEY DR	() 797-7505	
Business Name:	Contractor Name:	Contractor Address:	Phone	
	Rodney Contracting	28 Summitt Street OOB	(207) 329-1300	
Lessee/Buyer's Name	Phone:	Permit Type:		
		Additions - Duplex		

10/25/2007-amachado: Spoke to the owner at the front desk. Told her that I needed to know what the side setback is from the end of the stairs to the right side property line. Left message for Glen Rodney. Told him that I needed to know the side setback and if it is not 10' then the stairs will have to be moved to meet setbacks.

10/30/2007-amachado: Owner left voicemail. Said that the steps will come to the edge of the driveway. Said that driveway is 10' wide at that point so it would meet the side setback.

11/1/2007-amachado: Left message for Glen Rodney. Historic has approved the deck and stairs only if the lower section of stairs run towards the end of the building. I need a new plot plan showing how the stairs are being located and Chris Hanson will need any new information about how the stairs will now be built.

Cit	City of Portland, Maine - Building or Use Permit				Permit No:	Date Applied For:	CBI	.:
389	Congress Street, 04101 Tel: (2	6	07-1265 	10/10/2007	04	45 E028001		
Loc	ation of Construction:	Owner Name:		Owner Ac	ddress:		Phon	ıe:
14	143 BRACKETT ST PASSMORE GERALDINE POMP 11			115 HE	NNESSEY	DR	()	797-7505
Bus	iness Name:	Contractor Name:			or Address:		Phor	
		Rodney Contracting			mitt Street	OOB	(20	7) 329-1300
Less	see/Buyer's Name	Phone:		Permit Ty	=			
			<u></u>		ons - Duple			
	posed Use: vo Family/Replace deck		1 -	•	Description:	leck and stairs		
							-	
D	ept: Historic Status: A	approved with Condition	ns Reviewe	: Scott	Hanson	Approva	l Date:	11/01/2007
N	ote:						Ok t	o Issue:
1)	Lower section of stairs to run town to avoid usual H.P. requirements			ay. This	will reduce	the visibility of t	he stairs	sufficiently
D	ept: Zoning Status: A	pproved with Condition	s Reviewe	: Ann M	1achado	Approva	l Date:	10/30/2007
N	ote:						Ok t	o Issue: 🗹
1)	This permit is being issued based inspector in the field. Due to the							
2)	This property shall remain a single approval.	e family dwelling. Any o	change of use s	nall requi	re a separa	te permit applicat	ion for re	view and
3)	ANY exterior work requires a sep District.	arate review and approv	al thru Historio	Preserva	tion. This	property is located	d within a	an Historic
4)	This permit is being approved on work.	the basis of plans submi	tted. Any devi	ations sha	Il require a	separate approva	al before	starting that
D	ept: Building Status: A	pproved with Condition	s Reviewe i	: Chris	Hanson	Approva	l Date:	10/10/2007
N	ote:						Ok t	o Issue: 🔽
1)	Fastener schedule per the IRC 200)3						
2)	Maintain proper setback(s) from p	property lines/buildings	and proper clea	rances fro	om verticle	openings when d	irect vent	ting.
3)	Open risers are permitted, provide	ed that the opening between	een treads does	not pemi	t the passa	ge of a 4" diamete	er sphere	
4) Maintain proper setback(s) from property lines/buildings and proper clearances from verticle openings when dire				irect vent	ting.			
5)	Maintain proper setback(s) from p	property lines/buildings a	and proper clea	rances fro	om verticle	openings when d	irect vent	ting.
6)	Maintain proper setback(s) from p	property lines/buildings a	and proper clea	rances fro	om verticle	openings when d	irect vent	ting.
7)	Maintain proper setback(s) from p	roperty lines/buildings	-			-		-
8) Application approval based upon information provided by applicant. Any de and approval prior to work.				deviation	n from app	roved plans requi	res separ	ate review

10/25/2007-amachado: Spoke to the owner at the front desk. Told her that I needed to know what the side setback is from the end of

9) As discussed during the review process, ballusters must be spaced with less than a 4" opening between each.

Location of Construction:	Owner Name:		Owner Address:	Phone:
143 BRACKETT ST	PASSMORE GERALDINE POMP		115 HENNESSEY DR	() 797-7505
Business Name:	Contractor Name:		Contractor Address:	Phone
	Rodney Contracting		28 Summitt Street OOB	(207) 329-1300
Lessee/Buyer's Name	Phone:		Permit Type:	
			Additions - Duplex	

the stairs to the right side property line. Left message for Glen Rodney. Told him that I needed to know the side setback and if it is not 10' then the stairs will have to be moved to meet setbacks.

10/30/2007-amachado: Owner left voicemail. Said that the steps will come to the edge of the driveway. Said that driveway is 10' wide at that point so it would meet the side setback.

on is the name ITAV celly

At Ohis thenson

General Building Permit Application - Continue of

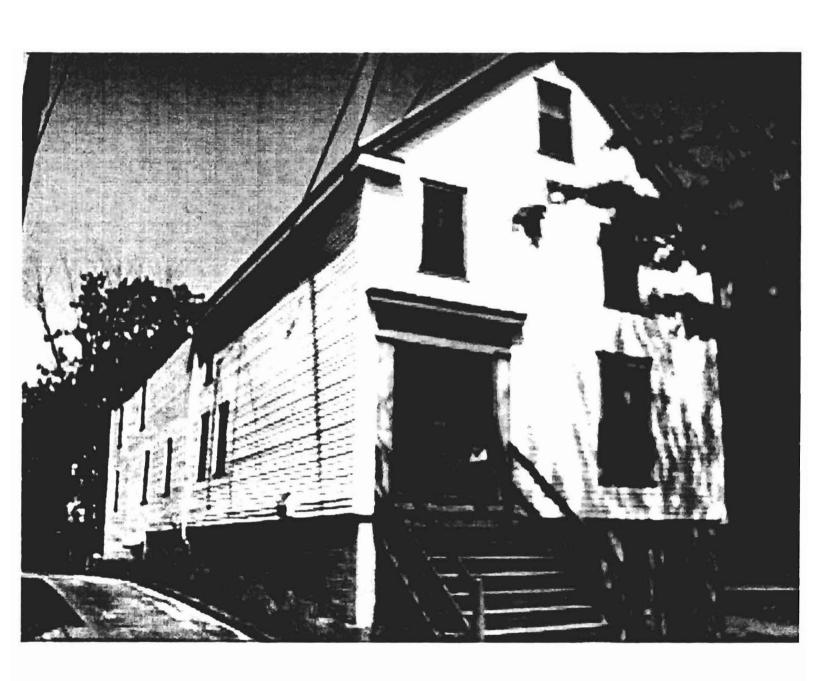
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

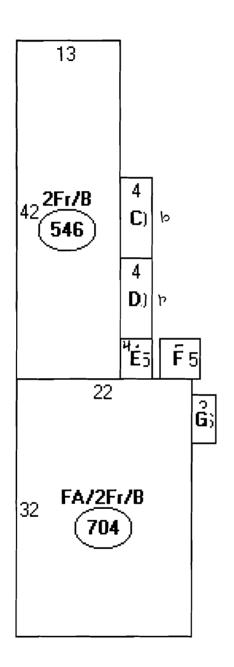
		, (a
Location/Address of Construction: 1 H 3		REET PORTME
Total Square Footage of Proposed Structure/A	rea Square Footage of Lot	813 SF
Tax Assessor's Chart, Block & Lot	Applicant *must be owner, Lessee or Buyer	r* Telephone:
Chart# Block# Lot#	NameGERALdINE FOM PEO	797-7505
15-E-28	Address 115 HENNESSEY DRI	
	City, State & Zip POR / Cund MC	und d
Lessee/DBA (If Applicable)	Owner (if different from Applicant)	Cost 0 9 70
	Name	Work: \$ 2,1 10
	Address	C of O Fee: \$
	City, State & Zip	Total Fee: \$
	Family	
If vacant, what was the previous use? Proposed Specific use:		
Is property part of a subdivision?	If yes, please name	
Project description: REbuild 2!		irs
AND Associated		
	one 4'x10' Deck	one 6x 10 back
Contractor's name: RODNEY C	ONTRACTING	
Address: L&Scmm17	15.7	VIX COM
City, State & Zip OB	<i>04064</i>	Telephone: 329-1300
Who should we contact when the permit is read	dy - ERAIDINE POMPEO T	elephone: 797-7505
Mailing address:		
Please submit all of the information	outlined on the applicable Checkli	ist. Failure to
do so will result in the	automatic denial of your permit.	

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

		<u> </u>		i		
Signature:	Geralding	fomple Date:	9/21	107	17/11	
	This is not a permit; yo	ou may not commence	ANY worl	k until the pe	rmit is issue	- 2 2007





Descriptor/Area

A:FA/2Fr/B 704 sqft

B: 2Fr/B 546 sqft

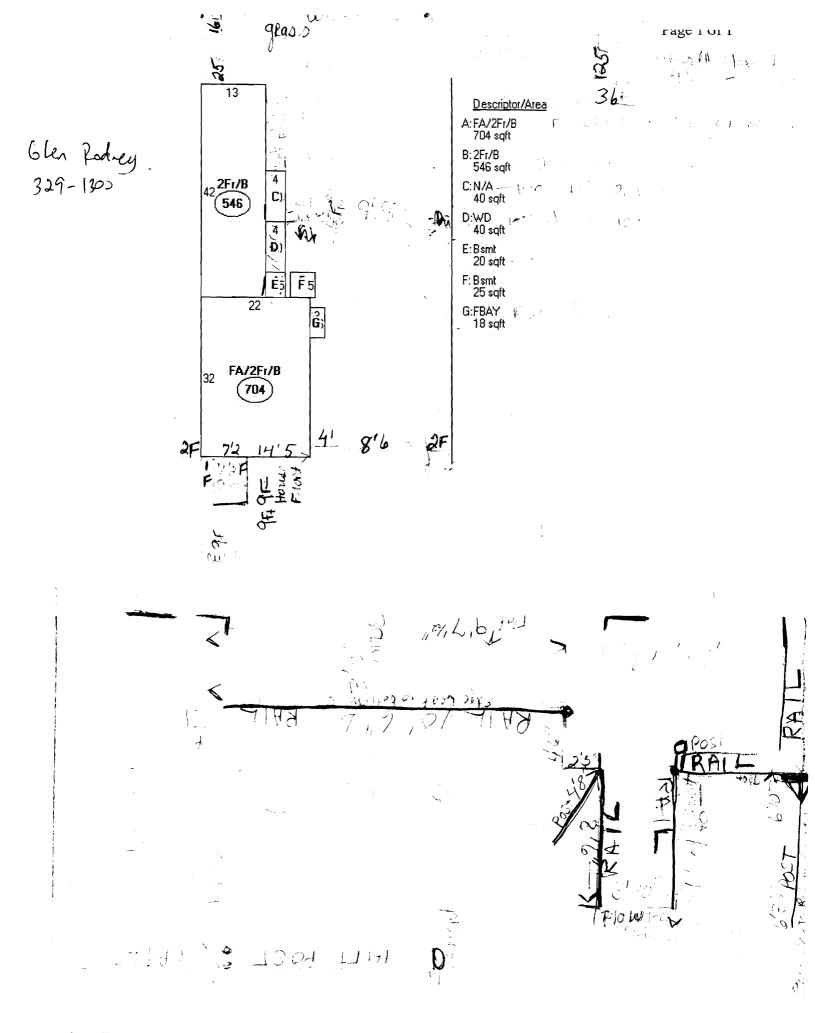
C: N/A ⁷ 40 sqft

D:WD 40 sqft

E:Bsmt 20 sqft

F: Bsmt 25 sqft

G:FBAY 18 sqft



Tr. 'ome Depot # 2406

300 .ARKS POND PKWY, S PORTLAND, ME 04106

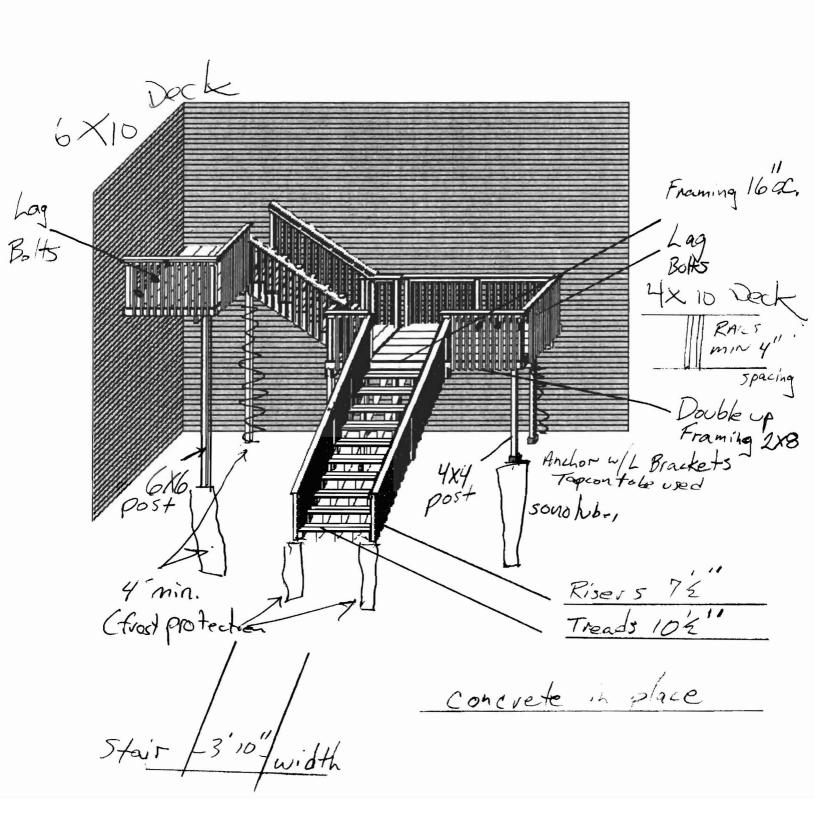
(20 79-2500

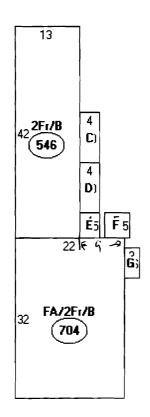
Mon 24 11:29:39 2007

This ct cannot be priced because not all materials are carried in stock.

See: Associate for prices on non-stock items shown in Bill-of-Materials.

GERI.. POMPEO DECK 149862 3D View





1
<u>Descriptor/Area</u>
A: FA/2Fr/B 704 sqft
B: 2Fr/B
546 sqft
CN/A OF SIZE LISTS
40 soft (ew - 20 reg - 41 brank of
Buyon 10 reg - 41 black of house OF. Buyon house OF. F. Bamt
F: Bsmt 25 sqft 1
G:FBAY Dr Covery & ok
18 sqft 14 4 3 4
- 1293 X DUMPE COUR
-1 000 0 30ap
170 dukistis that diving
1463 4 Heshire will go
be educat the
driving.
deck 6x10 = 60
duk 4x0 = 40 = 170
Stain 4x 8.6" = 34
4x10 platform 40

The Home Depot # 2406 300 CLARKS POND PKWY, S PORTLAND, ME 04106 (207) 879-2500 Mon Sep 24 11:29:39 2007

This Project cannot be priced because not all materials are carried in stock. See Store Associate for prices on non-stock items shown in Bill-of-Materials.

GERRY POMPEO DECK 149862 Deck Layout

