

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
 Application And
 Notes, If Any,
 Attached

BU **INSPECTION**

PERMIT

Permit Number: 081429

This is to certify that HORTON LLC / Monaghan Works Inc works in
 has permission to Amendment to Permit #08-046 Remove of metal fire escape above garbage enclosure form State street to N.E
 AT 118 STATE ST CL 045-D005001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is done-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
 Health Dept. _____
 Appeal Board _____
 Other _____
 Department Name

11/12/08 *Cheryl M.*
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

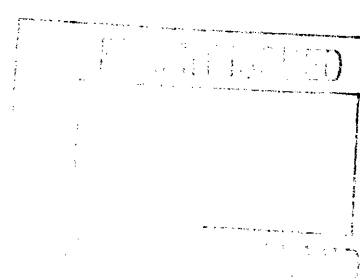
Permit No: 08-1429	Issue Date: 11/12/08	CBL: 045 D005001
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Location of Construction: 118 STATE ST	Owner Name: HORTON LLC	Owner Address: 100 COMMERCIAL ST	Phone: 207-775-2252
Business Name:	Contractor Name: Monaghan Woodworks Inc.	Contractor Address: 100 Commercial St. Portland	Phone: 2077752683
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Commercial Duplex	Zone: R-6

Past Use: Two Single Townhouses <i>residential condominiums</i>	Proposed Use: Two Single Townhouses <i>residential condos</i> Amendment to Permit #08-0463, Remove rear metal fire escape, move garbage enclosure form State street to N.E. Side of the Building	Permit Fee: \$30.00	Cost of Work: \$0.00	CEO District: 2
Proposed Project Description: Amendment to Permit #08-0463, Remove rear metal fire escape, move garbage enclosure form State street to N.E. Side of the Building		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>R-3</i> Type: <i>SB</i> <i>IRC-2003</i>	
		Signature: _____ Signature: <i>11/12/08</i> <i>ca</i>		
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: lmd	Date Applied For: 11/04/2008	Zoning Approval		
-------------------------	---------------------------------	------------------------	--	--

<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK w/ conditions</i> Date: <i>11/10/08</i> <i>ABU</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <i>yes.</i> <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>11/10/08</i> <i>D. Andrews</i>
---	---	---	--



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1429	Date Applied For: 11/04/2008	CBL: 045 D005001
------------------------------	--	----------------------------

Location of Construction: 118 STATE ST	Owner Name: HORTON LLC	Owner Address: 100 COMMERCIAL ST	Phone: 207-775-2252
Business Name:	Contractor Name: Monaghan Woodworks Inc.	Contractor Address: 100 Commercial St. Portland	Phone: (207) 775-2683
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Duplex	

Proposed Use: Two residential condominiums - Amendment to Permit #08-0463, Remove rear metal fire escape, move garbage enclosure form State street to N.E. Side of the Building	Proposed Project Description: Amendment to Permit #08-0463, Remove rear metal fire escape, move garbage enclosure form State street to N.E. Side of the Building
---	--

Dept: Historic	Status: Approved	Reviewer: Deborah Andrews	Approval Date: 11/10/2008
Note:			Ok to Issue: <input checked="" type="checkbox"/>
Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 11/10/2008
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.			
2) This property shall remain as two residential condominiums. Any change of use shall require a separate permit application for review and approval.			
3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			
Dept: Building	Status: Approved with Conditions	Reviewer: Chris Hanson	Approval Date: 11/12/2008
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) Your guardrail system installed around your deck must meet the loading requirements of section 1607.7.1 of the IBC 2003 Building Code.			
2) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.			
3) ANY exterior work requires separate review and approval thru Historic Preservation			
4) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.			
Dept: Planning	Status: Approved	Reviewer: Molly Casto	Approval Date: 11/07/2008
Note: dumpster relocation is considered di minimus change and does not require a site plan amendment.			Ok to Issue: <input checked="" type="checkbox"/>

Comments:
11/7/2008-amachado: Left voicemail for Jack Soley. In the letter to Chris Hanson, what does he mean by a "home office" in each condo at 116 State Street?
11/10/2008-amachado: Spoke to Jack Soley. Asked what he meant by "home office". He said that they want to market the condos having a space for a personal office for their own use and they are not conducting a business from their home.



General Building Permit Application

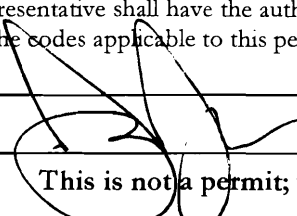
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>116/118 STATE ST.</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>45 D 005</u>	Applicant * must be owner, Lessee or Buyer* Name <u>HOLTON, LLC</u> Address <u>100 COMMERCIAL ST.</u> City, State & Zip <u>PTD, 04101</u>	Telephone: <u>775-2252</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>DEPT. OF PERMIT INSPECTION</u> Address <u>CITY OF PORTLAND, ME</u> City, State & Zip <u>NOV 4 2008</u>	Cost Of Work: \$ _____ C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) _____ If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>① REMOVE REAR FIRE ESCAPE (METAL) PERMIT 080403</u> <u>② MOVE GARBAGE ENCLOSURE FROM STATE ST. TO N.E. SIDE OF SITE</u>	Number of Residential Units _____	
Contractor's name: <u>MONAHAN WOODWORKS, INC.</u> Address: <u>100 COMMERCIAL ST.</u> City, State & Zip <u>PTD 04101</u> Telephone: _____ Who should we contact when the permit is ready: <u>JACK SOLEY</u> Telephone: <u>775-2252</u> Mailing address: <u>100 COMMERCIAL ST. 04101</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: 

Date: 11/4/08

This is not a permit; you may not commence ANY work until the permit is issued

Jack Soley
Horton, LLC
100 Commercial Street
Portland, Maine 04101
207-775-2252
jack@soley.com

Christopher Hanson
Code Enforcement Officer/Plan Reviewer
City of Portland
389 Congress St.
Portland, ME 04101

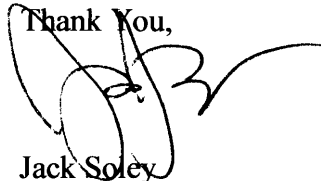
October 20, 2008

Dear Chris:

Please find attached the revised plans for 116 and 118 State Street project, the "Townhouses at the Eaton Shaw Block" submitted for your approval. The project is four townhouse condominiums (116Front, 116Rear, 118Front, 118Rear). Specifically, please note the following changes on drawings C1.1, A1.2 and A2.2:

- Solid waste receptacle area move to the northeast side of the property
- 116F room to be used as a "Home Office"; removal of new closet space from that room and the addition of hard wired smoke detector
- 116R small existing second floor room to be used as a "Home Office"; removal of additional closet and addition of hard wired smoke detector
- Removal of existing fire escape from 118R

Please call or email with any questions concerning these changes.

Thank You,

Jack Soley

OCT 20 2008

Townhouses at the Eaton Shaw Bl

at current 116, 118 State Street
Portland, Maine

DEMOLITION NOTES:

1. CONTRACTOR TO SEE SURVEY PROVIDED BY OWNER, VISIT SITE TO VERIFY CONDITIONS AND CONTACT, "DIG SAFE", (1-800-225-4977) BEFORE DOING ANY WORK.
2. ALL DEMOLITION WORK IS RESPONSIBILITY OF CONTRACTOR.
3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND TAKE ALL NECESSARY PRECAUTIONS TO ENSURE SAFETY OF ANYONE ON SITE, INCLUDING SHORING AND BRACING.
4. CONTRACTOR TO DISPOSE OF ALL MATERIAL APPROPRIATELY OFF SITE ACCORDING TO ALL APPLICABLE LAWS.
5. CONTRACTOR TO REMOVE ALL ELECTRICAL AND MECHANICAL WIRES, PIPES, BURNERS, EVERYTHING NOT REUSED ACCORDING TO ALL APPLICABLE LAWS AND IN AGREEMENT WITH OWNER AND A RECORD OF THIS ASPECT OF PROJECT IS TO BE KEPT BY OWNER AND AVAILABLE TO CITY AND ARCHITECT.
6. SAVE ANY APPLIANCES, PLUMBING, FIXTURES, ETC., AS DIRECTED BY OWNER.
7. EXISTING TREES TO REMAIN. PROTECT DURING DEMOLITION AND THROUGHOUT CONSTRUCTION. NO CONSTRUCTION MATERIALS, EQUIPMENT, OR ACTIVITIES PERMITTED WITHIN THE TREE PROTECTION ZONES.
8. CONTRACTOR TO REMOVE ALL ASBESTOS, LEAD PAINT, AND ANY OTHER HAZARDOUS MATERIALS IF REQUIRED BY ANY APPLICABLE LAWS, ETC.

GENERAL NOTES:

1. OWNER/DEVELOPER: HORTON, LLC, PORTLAND ME
2. ARCHITECT: MICHAEL BELLEAU ARCHITECT, PORTLAND ME
3. PROPERTY BOUNDARY, EXISTING SITE CONDITIONS AND TO ON BOUNDARY SURVEY, "BOUNDARY SURVEY ON STATE STRI PORTLAND, MAINE", PREPARED FOR MERCY HOSPITAL BY OW PORTLAND, MAINE, NOVEMBER 3, 2006 AND UPDATED FOR HO ARCHITECT'S EXISTING CONDITIONS DRAWINGS ARE ONLY AP
4. ZONE: R-6
5. TAX MAPS CBL: 45-D-5
6. TWO PARCELS-
SIZE OF 116 PARCEL ~ 5,945 S.F.
SIZE OF 118 PARCEL ~ 3,538 S.F.
SIZE OF COURTYARD EASEMENT ~ 160 S.F.
SIZE OF PAVED EASEMENT ~ 1,152 S.F.
7. STREET NUMBERS TO BE CLEARLY VISIBLE ON BUILDING FR
8. BUILDING TO BE SERVICED BY PUBLIC GAS, WATER & SEWER
9. THE SITE PLAN IS DEPENDENT UPON, AND LIMITED TO, THE PROPOSALS AND PLANS CONTAINED IN THE APPLICATION AND SUPPORTING DOCUMENTS SUBMITTED AND AFFIRMED BY THE APPLICANT AND ANY VARIATION FROM THE PLANS, PROPOSAL AND SUPPORTING DOCUMENTS IS SUBJECT TO REVIEW AND APPROVAL BY THE PLANNING BOARD, EXCEPT FOR DEMINIMUM CHANGES WHICH THE DIRECTOR OF PLANNING AND ZONING M APPROVE.
10. DRAWING NOTES, UNLESS THEY INDICATE "EXISTING", REFER TO NEW CONSTRUCTION.
11. DO NOT SCALE DRAWINGS! CONTRACTOR TO VERIFY ALL D IN FIELD INCLUDING DOORS AND WINDOWS BEFORE ORDERING
12. THESE DRAWINGS ARE FOR COMMUNICATING OWNERS DES INTENSIONS AND DO NOT DESCRIBE THE ELECTRICAL, HEATING ETC. SYSTEMS NECESSARY TO COMPLETE. CONTRACTOR RESP FOR ALL ASPECTS OF THIS PROJECT. CONTRACTOR RESPONSIBLE FOR WEATHERABILITY/ BUILDING ENVELOPE. AF NO LIABILITY. CONTRACTOR RESPONSIBLE FOR PROJECT MEET LOCAL, STATE, AND FEDERAL BUILDING, MECHANICAL, ELECTI CODES, LAWS AND ORDINANCES.
13. CONTRACTOR TO VERIFY WHETHER RADON IS PRESENT ANI RADON VENTING SYSTEM IF NECESSARY.
14. CONTRACTOR TO INSPECT ALL CHIMNEYS AND HAVE PROFE VERIFY ALL REGARDING SAFETY ISSUES INCLUDING, BUT NOT USE, WEATHERABILITY, STRUCTURE, CONDITION.
15. CONTRACTOR TO INSTALL RAILINGS AT STAIRS IF NONE EXI AND RESTORE/ REPAIR ALL EXISTING RAILINGS AND STAIRS.
18. THESE DRAWINGS ARE NOT TO BE USED AS CONDOMINIUM I

PARKING CONFIGURATION FOR TOM ERICO PARKING

NOTE: SIDEWALK AND CURBING ALONG STATE STREET FRONTAGE TO BE REPAIRED AND/OR REPLACED AS REQUIRED BY PORTLAND PUBLIC WORKS. IF DISTURBANCE TO EXISTING SIDEWALK AND/OR CURBING ALONG STATE STREET OR SPRING STREET TAKES PLACE DURING CONSTRUCTION, THE DISTURBED SECTIONS SHALL BE REPLACED WITH BRICK SIDEWALK AND GRANITE CURB.

NOTE: THIS SITE PLAN BY OWEN HASKEL CONTRACTOR TO I WITH THIS DRAWING FOR THIS DRAWING

SOLID WASTE RECEPTILES AREA (MOVE)

MERCY HOSPITAL TO PROVIDE AND INSTALL NEW GUARDRAILS AS SHOWN, ON THEIR PROPERTY

REMOVE PIECE OF EXIST. BITUM. CURB AND PATCH WITH BITUM. PAVING

PAVE AREA SHOWN WITH GRAVEL

NEW SOLID WASTE RECEPTILES

S48°04'38"W 82.20'

EASEMENT: ~1,152 S.F.

S47°44'04"W 64.00'

142°15'56"W 15.59'

B-8

18'-0"

REMOVE A/C UNIT & CHAIN LINK FENCING. PATCH WITH BITUM. PAVING

REPAVE EXISTING PAVED AREAS TO MAKE UNIFORM

EXISTING 3 1/2 STORY BRICK ADDITION

EXIST. STONE WALK

EXIST. CONC. WALK

NEW 2ND STORY WOOD ADDITION OVER EXISTING ONE STORY WOOD ADDITION

EXIST. WOOD STEPS / ON CONC. PAD TO BE AND REPLACED BY NEW PATIO AND STEP

EXISTING BULKHEAD REMOVED

3 EXIST. TREES

EXISTING WOOD SHED ENTRY VESTIBULE ADDITION ON CONC. PAD TO BE REMOVED

NEW STONE PATIO

EXISTING 2 STORY BRICK ADDITION

160 S.F. EASEMENT

#116 FRONT TOWNHOUSE

#116 REAR TOWNHOUSE

#118 FRONT TOWNHOUSE

#118 REAR TOWNHOUSE

EXIST. FLOWER BED

EXIST. BRICK WALK

EXIST. FLOWER BED

EXIST. CONC. TIP-DOWN

BRICK SIDEWALK

N46°56'12"E 143.85'

OVERHEAD ELECTRIC

118 LAND PARCEL

116 LAND PARCEL

5 NEW TREES AS SPECIFIED BY JEFF TARTLING PER CITY CODE GIVEN TO OWNER TO LOCATE TREES ANYWHERE ON PARCEL

1 SITE PLAN
C1.1 SCALE: 1/16" = 1'-0"

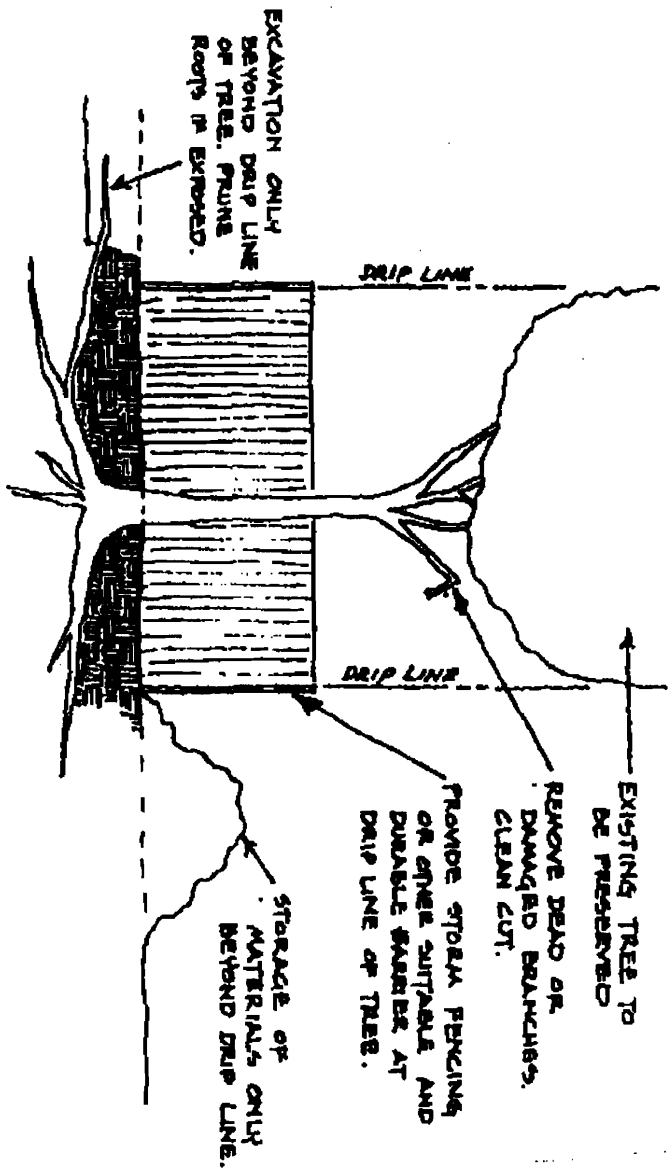
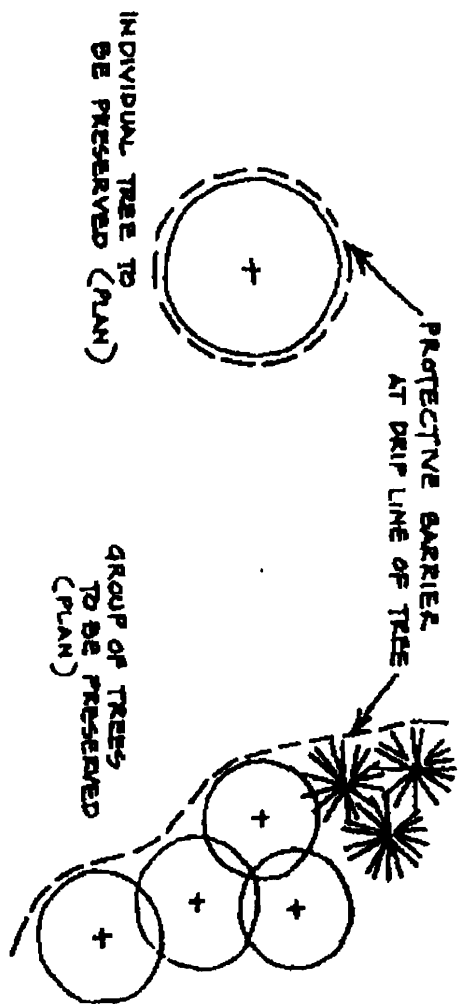
SPRING STREET

LOCATION OF SEWER LATERALS TO BE DETERMINED BY PORTLAND WATER DISTRICT SEWER CAM WHEN REPAIRED

VAULT

MERCY HOSPITAL

BICYCLE PARKING TO BE PROVIDED IN UNIT BASEMENTS (SECTION XVIII OF CITY TECHNICAL CODE)



**ILLUSTRATION VI - 1
TREE PRESERVATION DETAIL**

VI - 25

BUILDING PERMIT PARTIAL SET

Note: Do not scale these drawings.
These drawings are approximate.
Contractor to verify all dimensions in field.
This drawing property of Michael Belleau Architect
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Project Title
Townhouses at the Eaton Shaw Block

Horton LLC
100 Commercial St.
Portland ME 04101

Drawing Title
SITE DETAILS

Drawing Number

C1.2



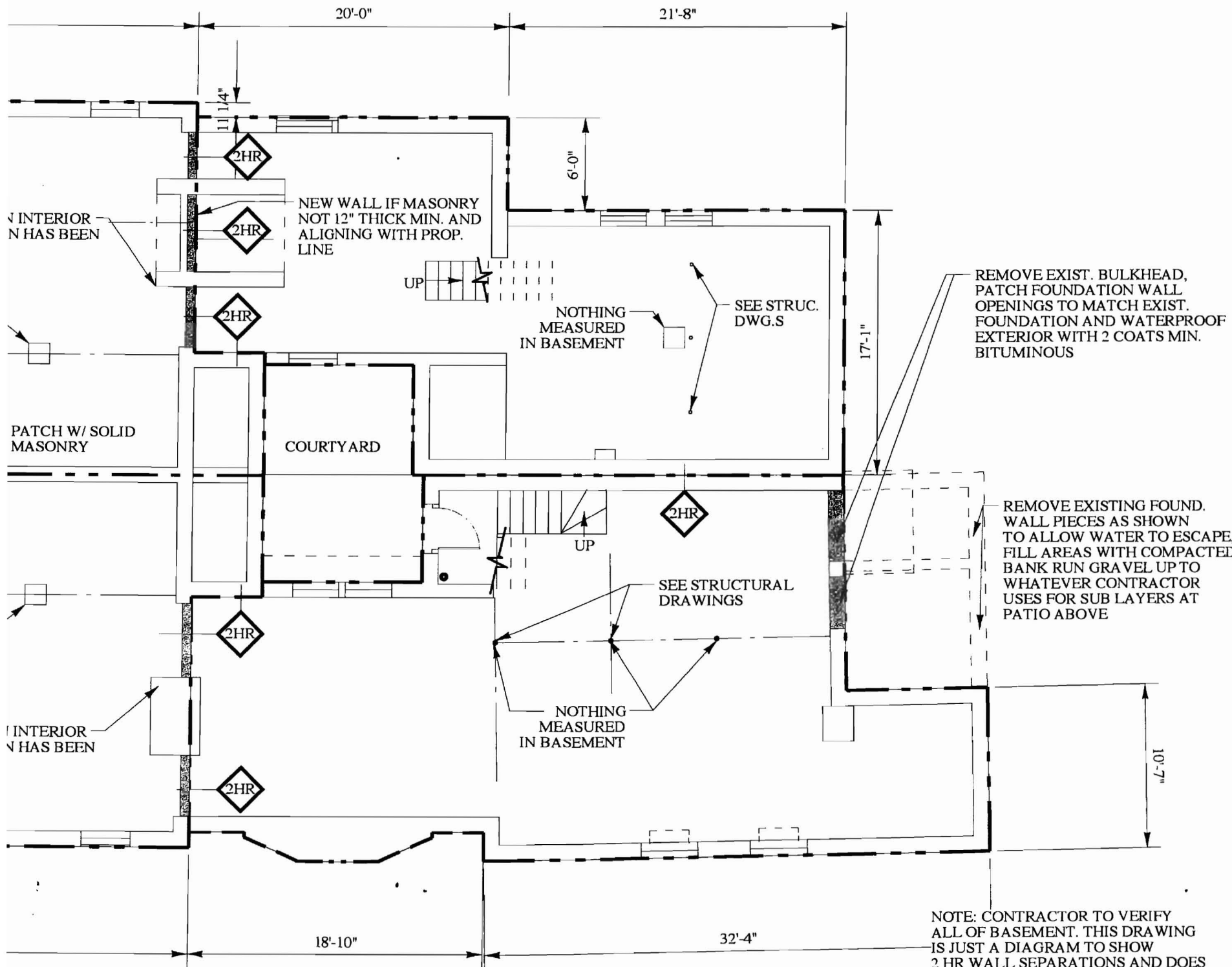
Copyright 2008 Michael Belleau Architect
61 Pleasant Street Portland ME 04101 (207)874-7668
www.michaelbelleau.com

Date: 4/18/08

Scale: NO SCALE

Project Number: 07.04

Reference: NONE



BASEMENT FLOOR PLAN

SCALE: 1/8" = 1'-0"

NEW WALLS

NOTE: CONTRACTOR TO VERIFY ALL OF BASEMENT. THIS DRAWING IS JUST A DIAGRAM TO SHOW 2 HR WALL SEPARATIONS AND DOES NOT INCLUDE ANY OTHER INTERIOR EXISTING WALLS OR ANY OTHER ITEMS IN BASEMENT. REMOVE ALL WALLS/ ITEMS AT OWNERS DIRECTION. DISPOSE OF ALL PROPERLY - SEE DEMO NOTES C1.0

Drawing Number

A1.0

Drawing Title
BASEMENT FLOOR PLAN

Date: 4/18/08

Scale: 1/8" = 1'-0"

Project Number: 07.04

Reference: NONE

Project Title
Townhouses at the Eaton Shaw Block

Horton LLC
100 Commercial St
Portland ME 04101

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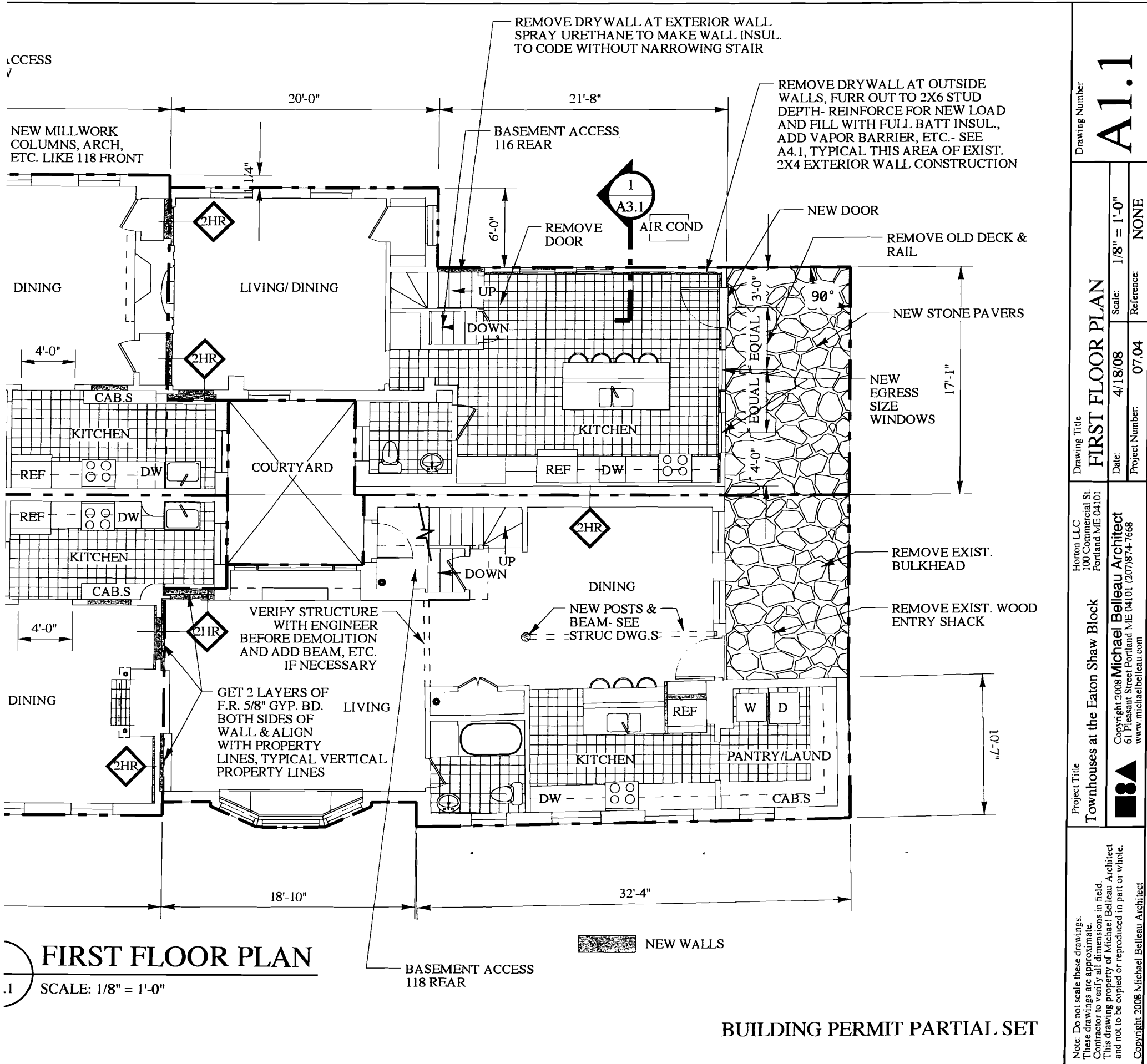


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BUILDING PERMIT PARTIAL SET



Drawing Number
A1.1

Drawing Title
FIRST FLOOR PLAN

Date: 4/18/08
Scale: 1/8" = 1'-0"
Project Number: 07.04
Reference: NONE

Project Title
Townhouses at the Eaton Shaw Block

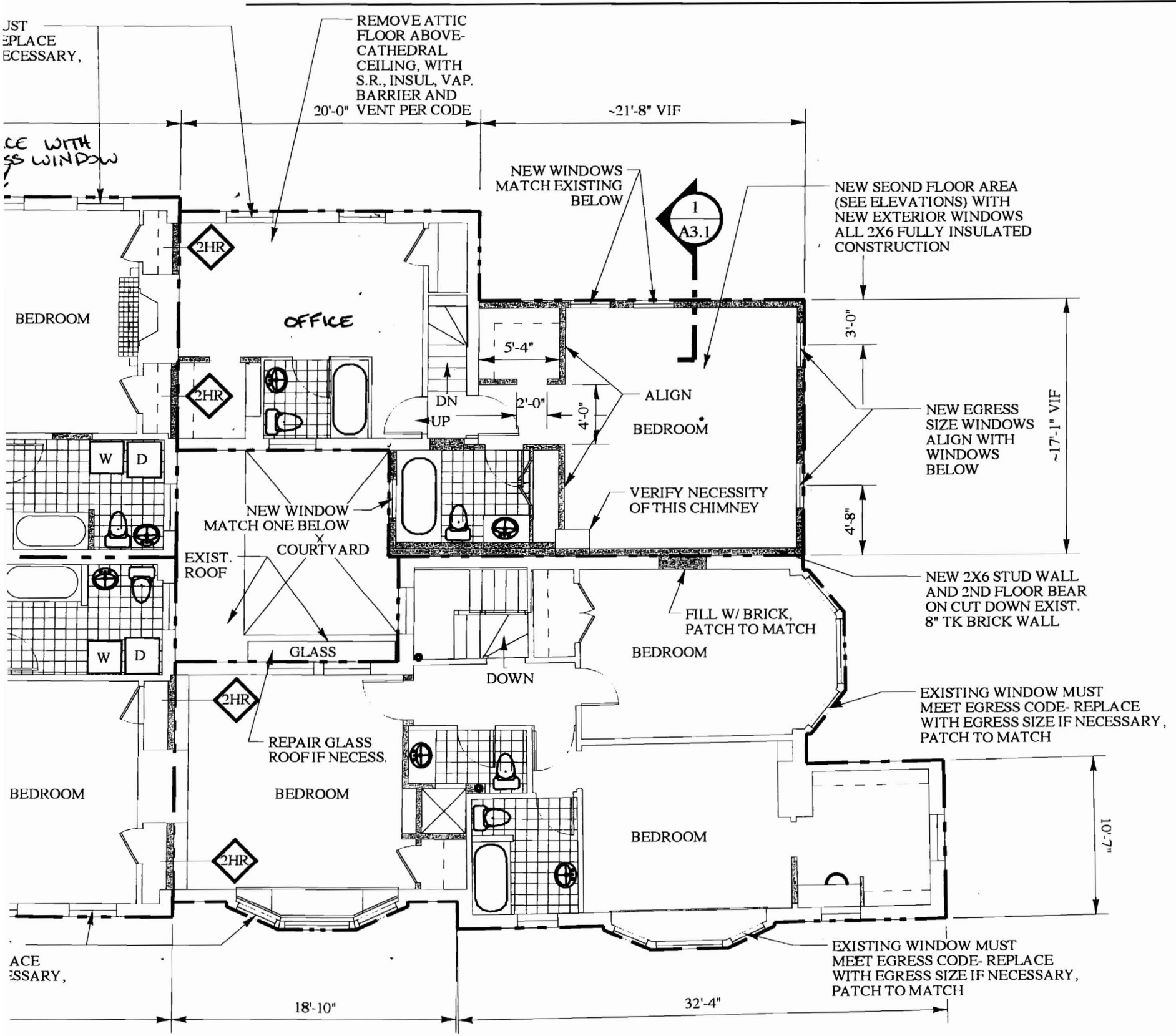
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BUILDING PERMIT PARTIAL SET



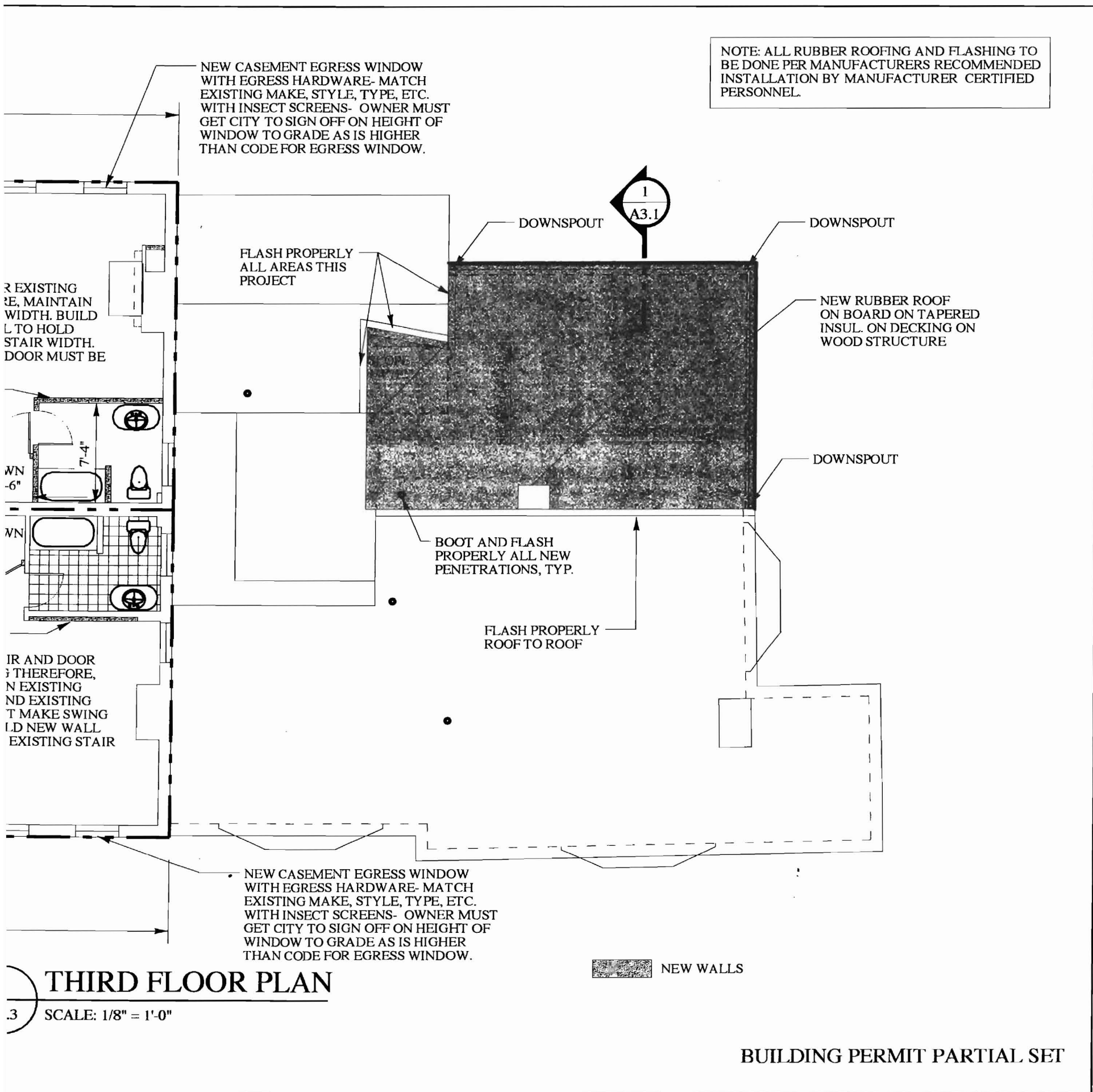
SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

BUILDING PERMIT PARTIAL SET

Drawing Number	A1.2		
	Drawing Title		
Project Title	Townhouses at the Eaton Shaw Block		
	Project Number: 07.04		
Drawing Title	SECOND FLOOR PLAN		
	Date:	4/18/08	Scale: 1/8" = 1'-0"
Project Title	Horton LLC 100 Commercial St. Portland ME 04101		
	Copyright 2008 Michael Belleau Architect 61 Pleasant Street Portland ME 04101 (207)874-7668 www.michaelbelleau.com		
Project Title	Townhouses at the Eaton Shaw Block		
	Project Number: 07.04		
Drawing Title	SECOND FLOOR PLAN		
	Date:	4/18/08	Scale: 1/8" = 1'-0"
Project Title	Horton LLC 100 Commercial St. Portland ME 04101		
	Copyright 2008 Michael Belleau Architect 61 Pleasant Street Portland ME 04101 (207)874-7668 www.michaelbelleau.com		
Project Title	Townhouses at the Eaton Shaw Block		
	Project Number: 07.04		
Drawing Title	SECOND FLOOR PLAN		
	Date:	4/18/08	Scale: 1/8" = 1'-0"
Project Title	Horton LLC 100 Commercial St. Portland ME 04101		
	Copyright 2008 Michael Belleau Architect 61 Pleasant Street Portland ME 04101 (207)874-7668 www.michaelbelleau.com		

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THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"

BUILDING PERMIT PARTIAL SET

Drawing Number

A1.3

Drawing Title
THIRD FLOOR PLAN

Date: 4/18/08 Scale: 1/8" = 1'-0"

Project Number: 07.04 Reference: NONE

Project Title
Townhouses at the Eaton Shaw Block

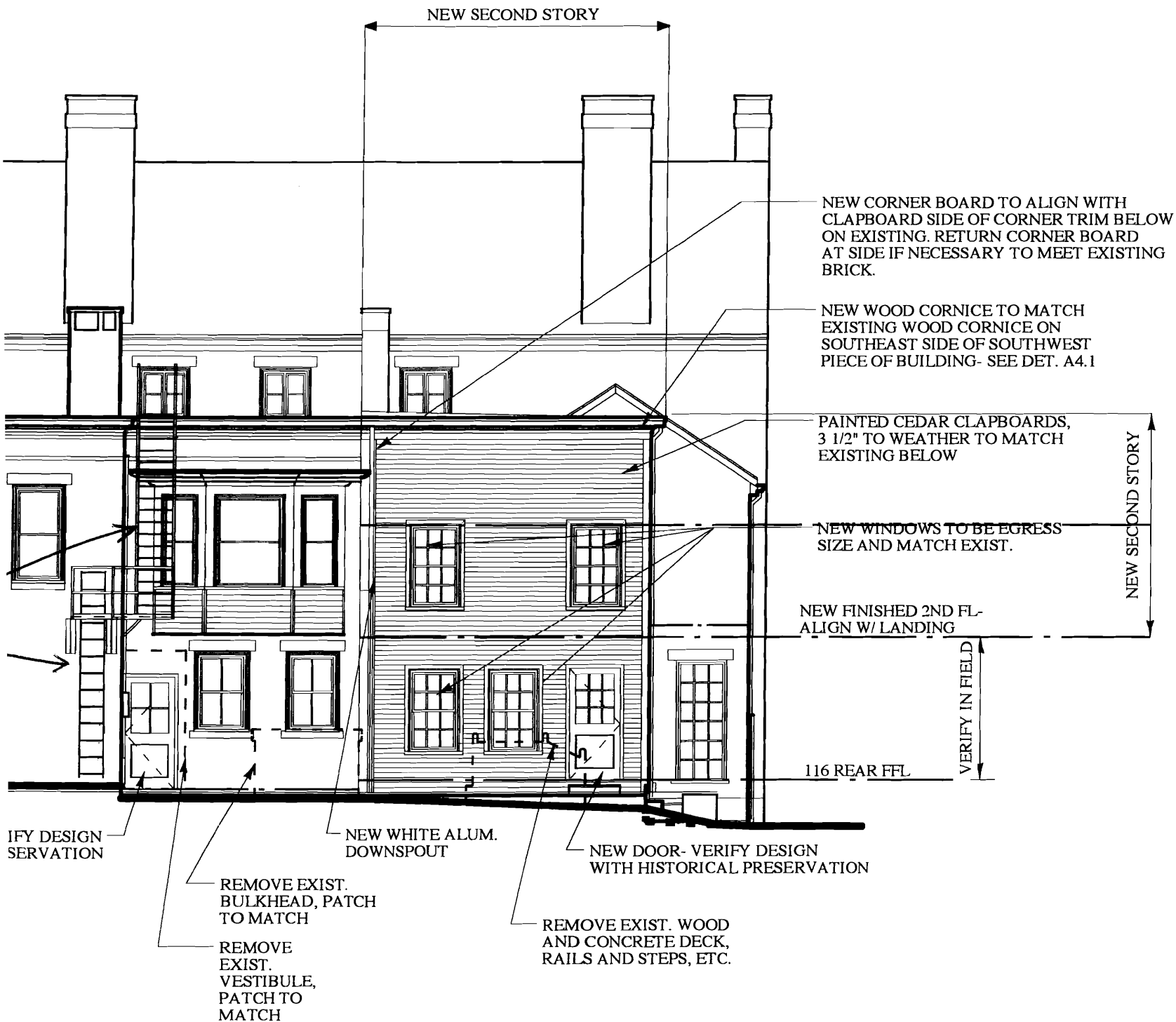
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1
A2.2

SOUTHWEST ELEVATION

SCALE: 1/8" = 1'-0"

BUILDING PERMIT PARTIAL SET

Drawing Number

A2.2

Drawing Title

SOUTHWEST ELEV.

Date: 4/18/08

Project Number: 07.04

Scale: 1/8" = 1'-0"

Reference: NONE

Horton LLC
100 Commercial St
Portland, ME 04101

Project Title
Townhouses at the Eaton Shaw Block

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MOD CORNICE
DED. SEE A4.1
CORNICE TO
F. - SEE A4.1

UNITED CEDAR CLARBORADS
H EXISTING BELOW - 3 1/2" TO WEATHER
NEW WINDOWS TO
MATCH EXISTING BELOW

NEW CASEMENT
EGRESS WINDOW -
MATCH EXISTING
TRIM, ETC.

REMOVE OUTSIDE MECHANICAL
AND CHAIN LINK FENCE SURROUND

SOUTHEAST ELEVATION

SCALE: 1/8" = 1'-0"

BUILDING PERMIT PARTIAL SET

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Project Title
Townhouses at the Eaton Shaw Block

Horton LLC
100 Commercial St.
Portland ME 04101

Drawing Title
SOUTHEAST ELEV.

Drawing Number

A2.1



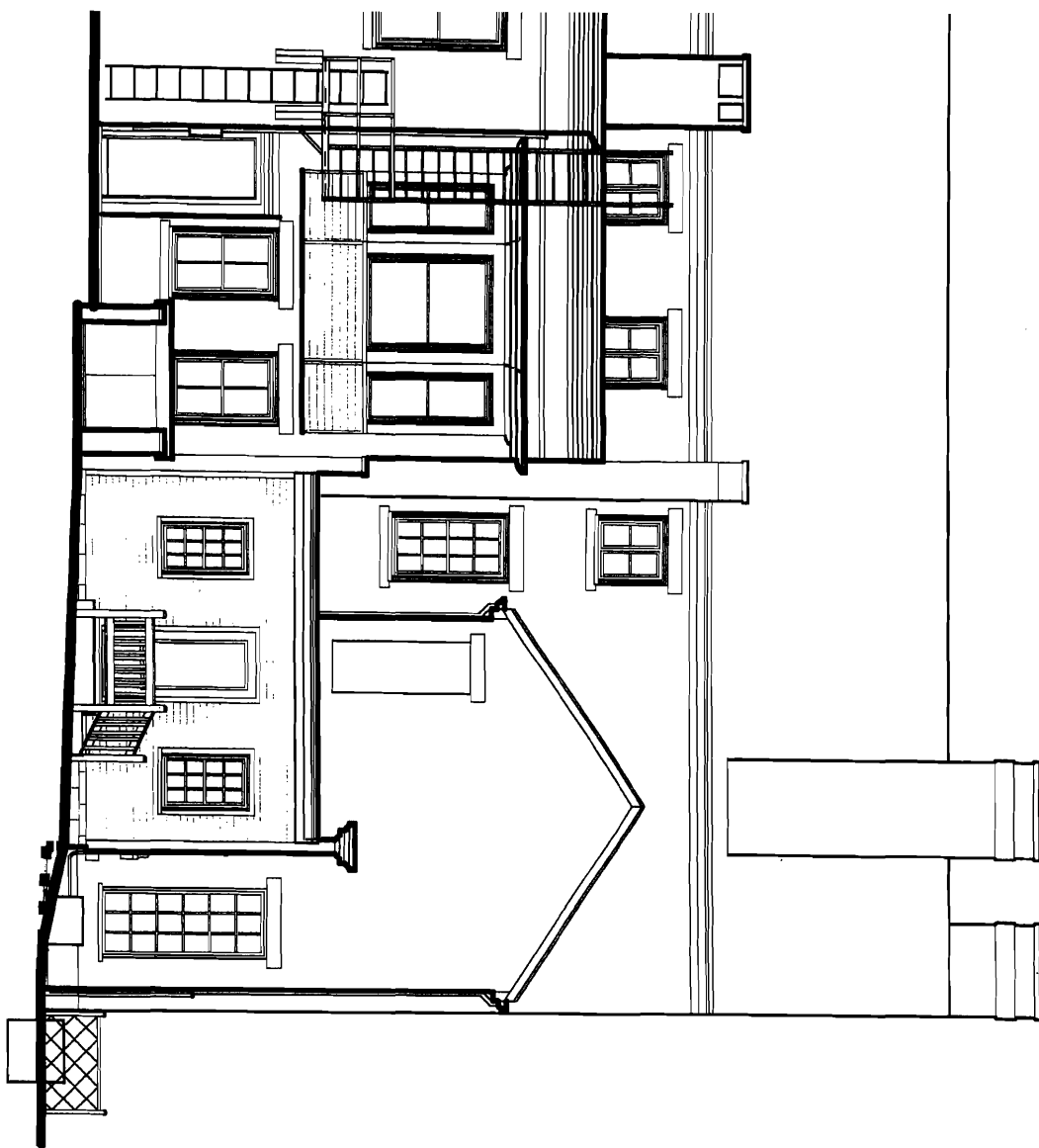
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61 Pleasant Street Portland ME 04101 (207)874-7668
www.michaelbelleau.com

Date: **4/18/08**

Scale: **1/8" = 1'-0"**

Project Number: **07.04**

Reference: **NONE**



1
EXISTING SOUTHWEST ELEVATION

XA2.2

SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION!!

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Project Title
116,118 State Street

Horton LLC
100 Commercial St.
Portland ME 04101



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www.michaelbelleau.com

Drawing Title
EXIST. SOUTHWEST ELEVATION

Date:	12/28/07	Scale:	1/8" = 1'-0"
Project Number:	07.04	Reference:	NONE

Drawing Number

XA2.2