

FLOOR PLAN NOTES:

- SEE GENERAL NOTES ON G1002.
- FURNITURE DASHED IN BY OTHERS IS INDICATED FOR COORDINATION. PROVIDE IN WALL BLOCKING FOR ALL WALL MOUNTED CASEWORK, FURNITURE, EQUIPMENT AND ANY OTHER NIC ITEM.
- PARTITION TYPE \diamond IS TYPICAL UNLESS NOTED OTHERWISE.
- REFER TO DETAILS AND/OR ENLARGED PLANS FOR ADDITIONAL INFORMATION.
- AT ALL REMOVED ITEMS, PATCH WALL SURFACE TO MATCH ADJACENT MATERIAL, TYPICAL.
- EXTERIOR DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, UNLESS NOTED OTHERWISE.

KEYED NOTES:

- PLAM SHELVES ON STANDARDS AND WALL BRACKETS
- EXISTING FURNITURE RELOCATED
- NEW FURNITURE
- N/A
- INFILL WALL WHERE EXISTING DOOR AND FRAME WAS REMOVED. INFILL WALL FLUSH ON BOTH SIDES WITH MATERIAL SIMILAR TO ADJACENT CONSTRUCTION.
- REINSTALL DOOR FRAME, DOOR AND HARDWARE
- POSSIBLE WATER COOLER LOCATION
- WALL MOUNTED TV, PROVIDE IN WALL BLOCKING
- CHAIR RAIL, 1X6 STAINED TO MATCH EXISTING
- CORNER GUARD

FINISH SCHEDULE

ROOM NUMBER	ROOM NAME	FLOOR	BASE	WALLS				CEILING	
				NORTH	SOUTH	EAST	WEST	MATERIAL	HEIGHT
3009	OFFICE	CPT	RB-1	PTD	PTD	PTD	PTD	ACT	EXIST
3009A	STORAGE	CPT	RB-1	PTD	PTD	PTD	PTD	ACT	EXIST
3010	TOILET	EXIST	EXIST	PTD	PTD	PTD	PTD	EXIST	EXIST
3011A	CHECK IN/ WAITING	CPT	RB-1	PTD	PTD	PTD	PTD	ACT	EXIST
3011B	CHECK IN/WORK ROOM	CPT	RB-1	PTD	PTD	PTD	PTD	ACT	EXIST
3092	CORRIDOR	EXISTING	EXISTING	EXIST	EXIST	PTD	EXIST	EXIST	EXIST

FINISH ABBREVIATIONS:

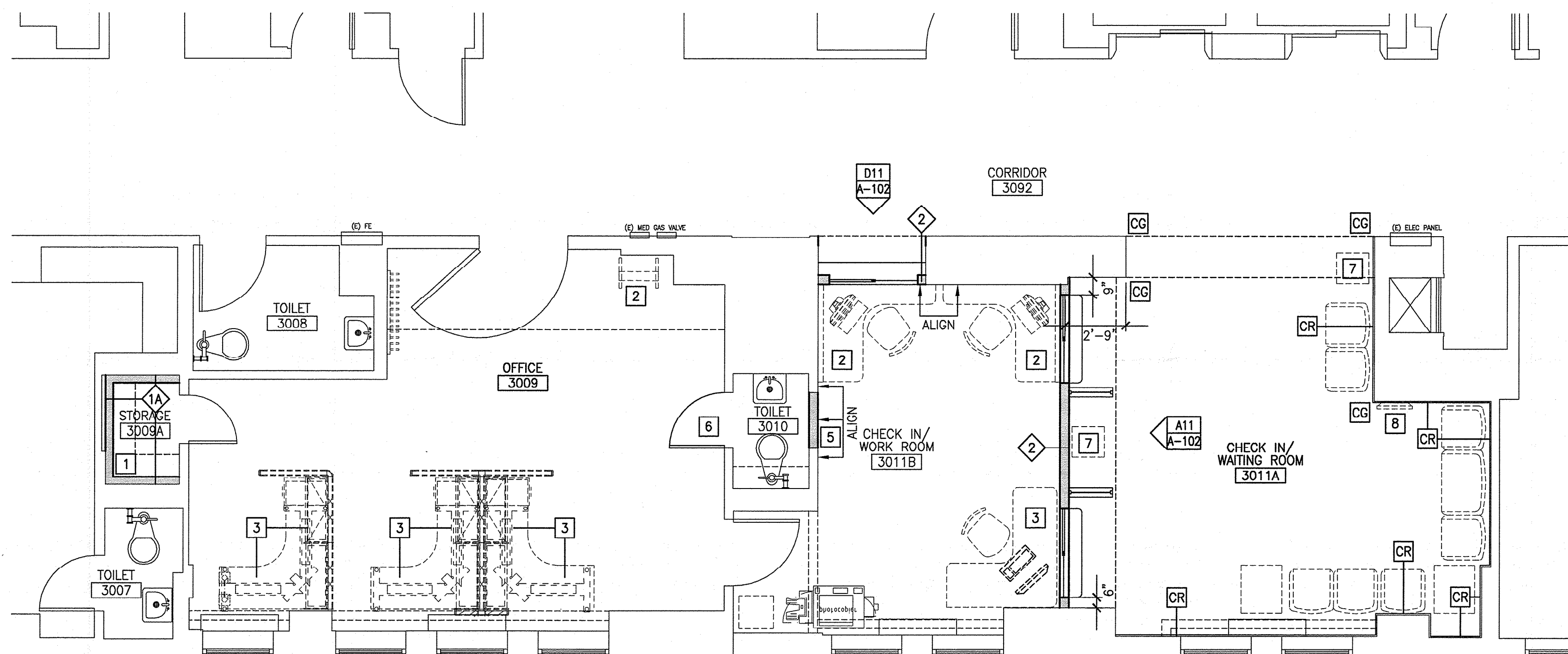
ACT	ACOUSTICAL CEILING TILE	PTD	PAINTED
CPT	CARPET	RB	RUBBER BASE
EXIST	EXISTING TO REMAIN	SSM	SOLID SURFACE MATERIAL
EXP	EXPOSED STRUCTURE	SV	SHEET VINYL FLOORING
GWB	GYPSUM WALLBOARD	VCT	VINYL COMPOSITION TILE
PLAM	PLASTIC LAMINATE	WD	WOOD

GENERAL DEMOLITION NOTES:

- COORDINATE EXTENT OF DEMOLITION WITH THE REQUIREMENTS OF OTHER WORK OF THIS CONTRACT AS DESCRIBED HERE IN AND IN THE CONTRACTORS SUBMITTALS, AND WITH LOCATIONS OF FINISHES NOTED AS EXISTING TO REMAIN.
- ANY WALL, PARTITION OR SURFACE DISTURBED BY WORK OF THIS CONTRACT SHALL BE PATCHED AND FINISHED CONTINUOUSLY TO THE NEAREST CORNER UNLESS NOTED OTHERWISE, MATCH EXISTING ADJACENT CONSTRUCTION FINISHES, CONTINUITY AND FIRE RATINGS UNLESS NOTED OTHERWISE.
- PROTECT ALL FINISHES, MATERIALS AND EQUIPMENT NOTED AS EXISTING TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE ALL FINISHES, MATERIALS AND EQUIPMENT DAMAGED DURING CONSTRUCTION.
- DIMENSIONS INDICATED \pm ARE EXISTING CONDITION DIMENSIONS TO BE VERIFIED IN FIELD.
- OWNER IS RESPONSIBLE FOR THE REMOVAL AND RELOCATION OF EXISTING FURNITURE WITH IN SCOPE OF CONSTRUCTION.

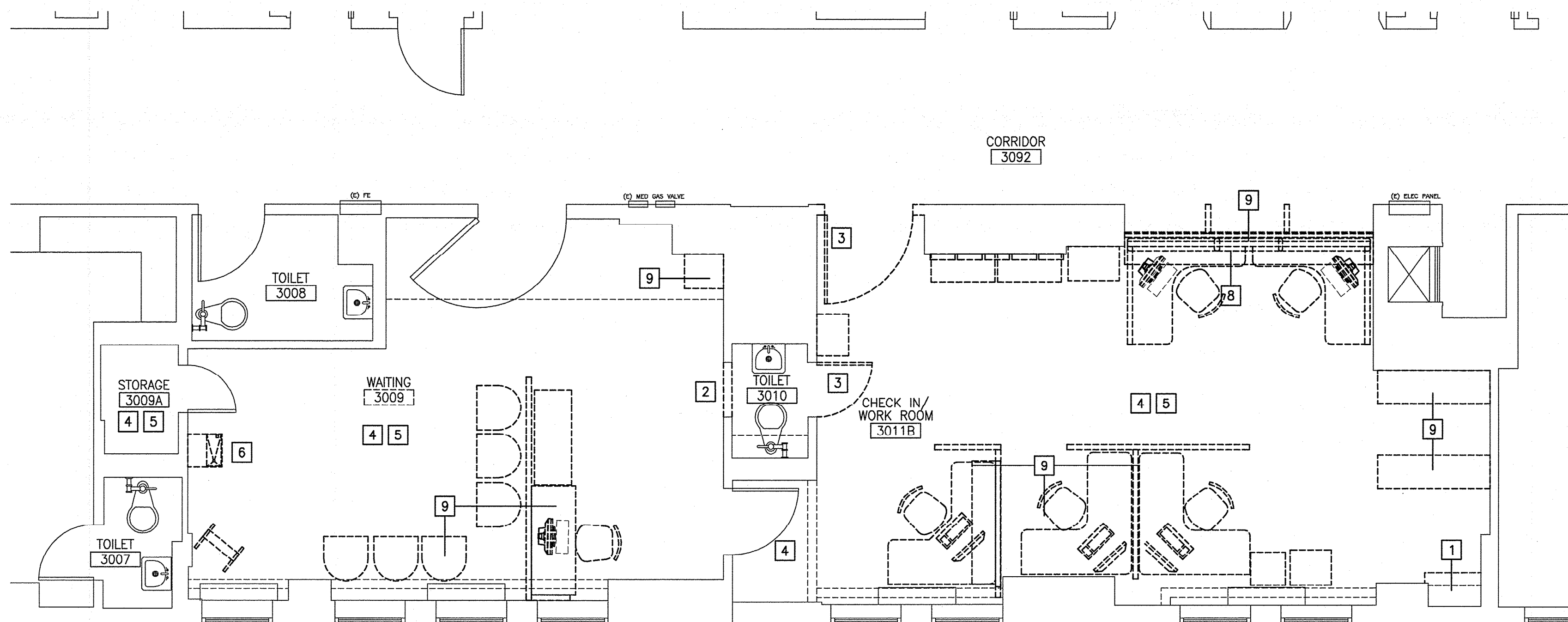
DEMOLITION KEY NOTES:

- REMOVE CASEWORK COMPLETE.
- REMOVE PORTION OF THE EXISTING WALL TO ALLOW FOR THE INSTALLATION OF DOOR AND FRAME.
- REMOVE DOOR, FRAME AND HARDWARE ASSEMBLY COMPLETE. TURN OVER TO OWNER.
- REMOVE CEILING TILE AND GRID ASSEMBLY COMPLETE. COORDINATE EXTENTS OF REMOVAL WITH PARTITION LOCATIONS AND EXISTING FINISHES TO REMAIN.
- REMOVE FLOORING SYSTEM AND PREPARE SUBSTRATE FOR PROPOSED FLOORING. COORDINATE EXTENT WITH PROPOSED FINISH.
- REMOVE WATER FOUNTAIN. RETURN TO OWNER, CAP PIPES.
- NA
- REMOVE OVERHEAD COILING DOOR COMPLETE.
- REMOVE FURNITURE, RELOCATE FOR OWNER.



F6 FLOOR PLAN

1/4"=1'-0"

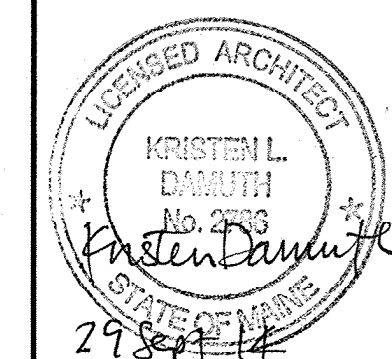


A6 DEMOLITION PLAN

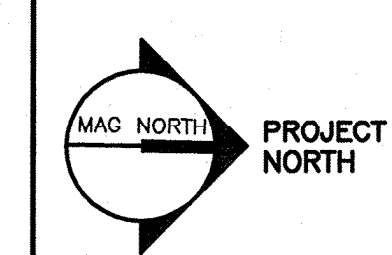
1/4"=1'-0"

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PROJECT NORTH:



**MERCY HOSPITAL
3S PULMONARY RENOVATIONS**
STATE STREET - PORTLAND, MAINE

**ISSUED FOR CONSTRUCTION
9-29-14**

REV	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	9-29-14

GRAPHIC SCALE:
1" = 1'

SCALE: 1/4"=1'-0"
PROJECT MANAGER: KD
JC/DRAWN BY: MDR /MDR
A/E OF RECORD: KD
PROJECT NO: 14087
SMRT FILE: A-101-14087
DATE: 9-29-14

SHEET TITLE:
FLOOR AND REFLECTED CEILING PLANS

SHEET No.
A-101

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SYMBOL LEGEND

- 2x2 SUSPENDED CEILING PANEL AND GRID ASSEMBLY.
- 2x4 SUSPENDED CEILING PANEL AND GRID ASSEMBLY.
- GWB CEILING.
- 2x4 LAY-IN LIGHT FIXTURE.
- 1x4 PENDANT LIGHT FIXTURE.
- DOWN LIGHT.
- CEILING MOUNTED EXIT LIGHT.
- RETURN AIR GRILLE.
- SUPPLY AIR GRILLE.
- EXHAUST AIR GRILLE.

REFLECTED CEILING NOTES

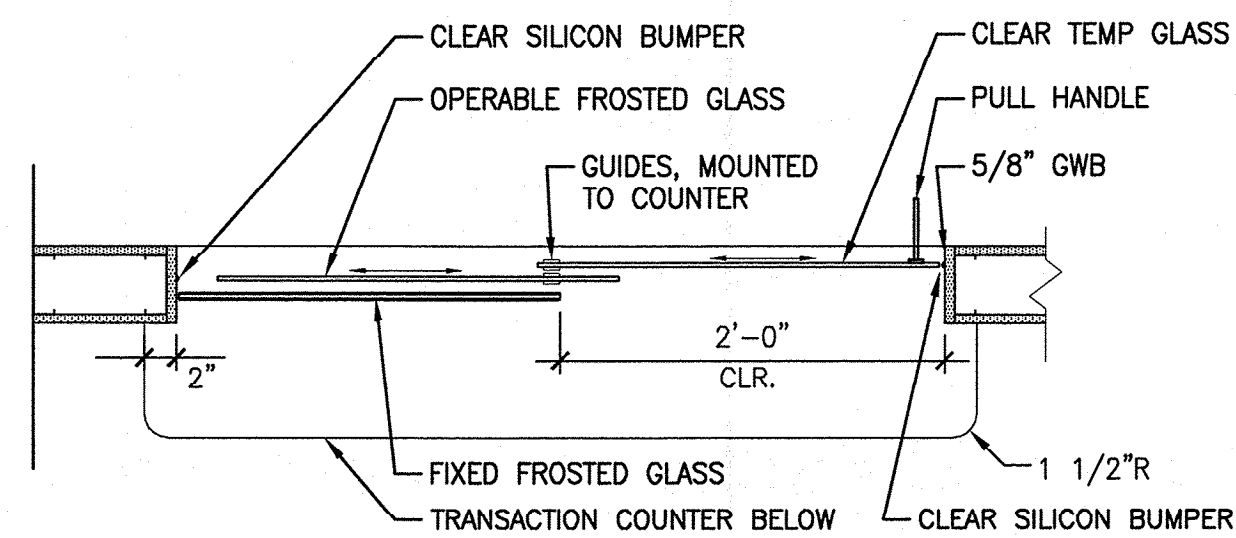
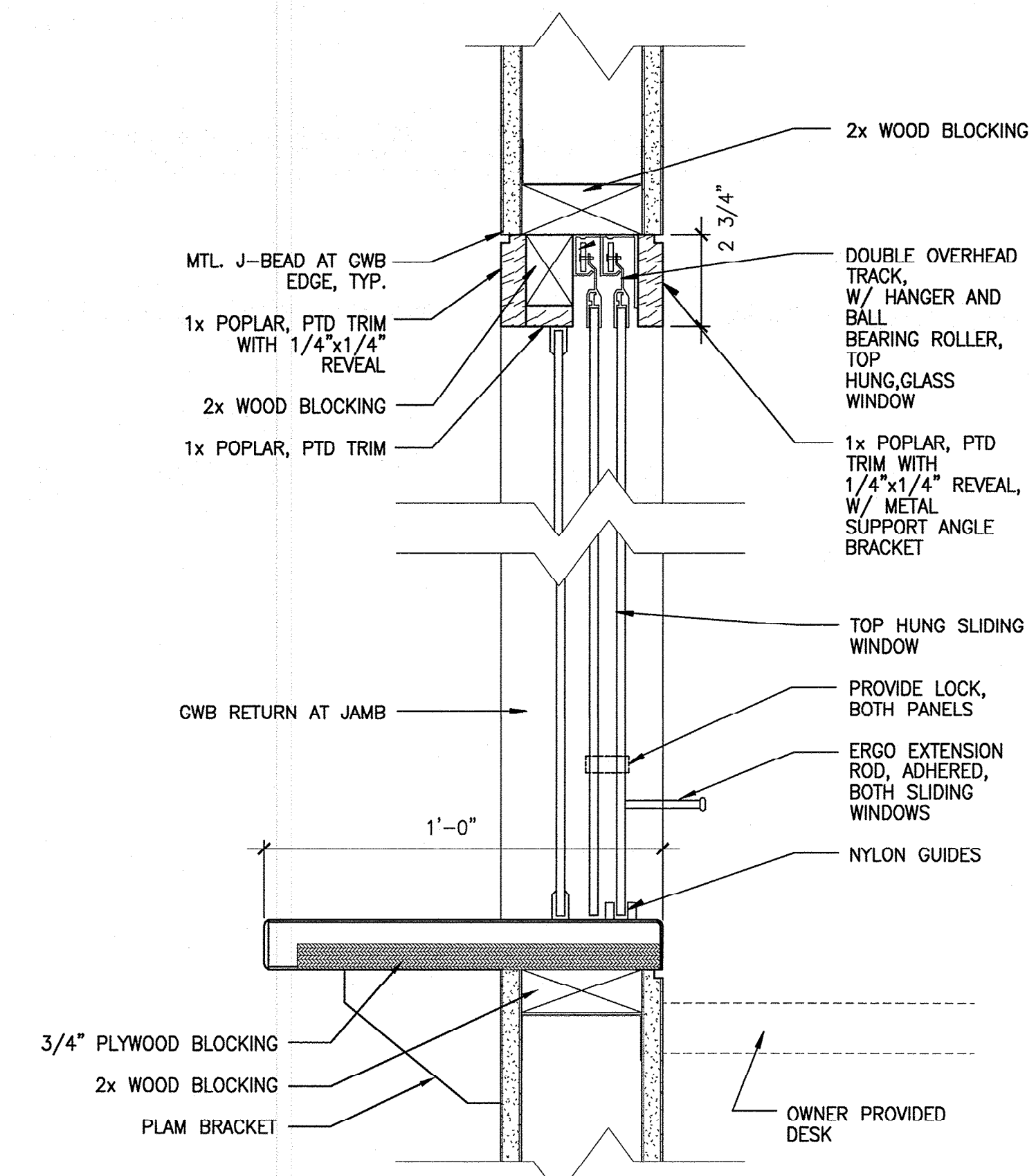
1. ALIGN CEILING ITEMS AS SHOWN, WITH COMMON CENTERLINES, TYPICALLY. CENTER ITEMS IN CEILINGS, OR IN AREAS UNLESS INDICATED OTHERWISE.
2. MATCH EXISTING CEILING HEIGHTS.
3. EXCEPT WHERE INDICATED, CENTER CEILING GRIDS IN ROOMS. USE HALF TILES OR GREATER @ PERIMETERS AS POSSIBLE.
4. PROVIDE ACCESS PANELS AS REQUIRED IN GWB CEILINGS FOR ACCESS TO MECHANICAL VALVES/ CONTROLS. REFERENCE MECHANICAL.

KEYED NOTES:

- 1 EXISTING CEILING TO REMAIN.
- 2 NA
- 3 EXISTING GWB SOFFIT TO REMAIN, PTD

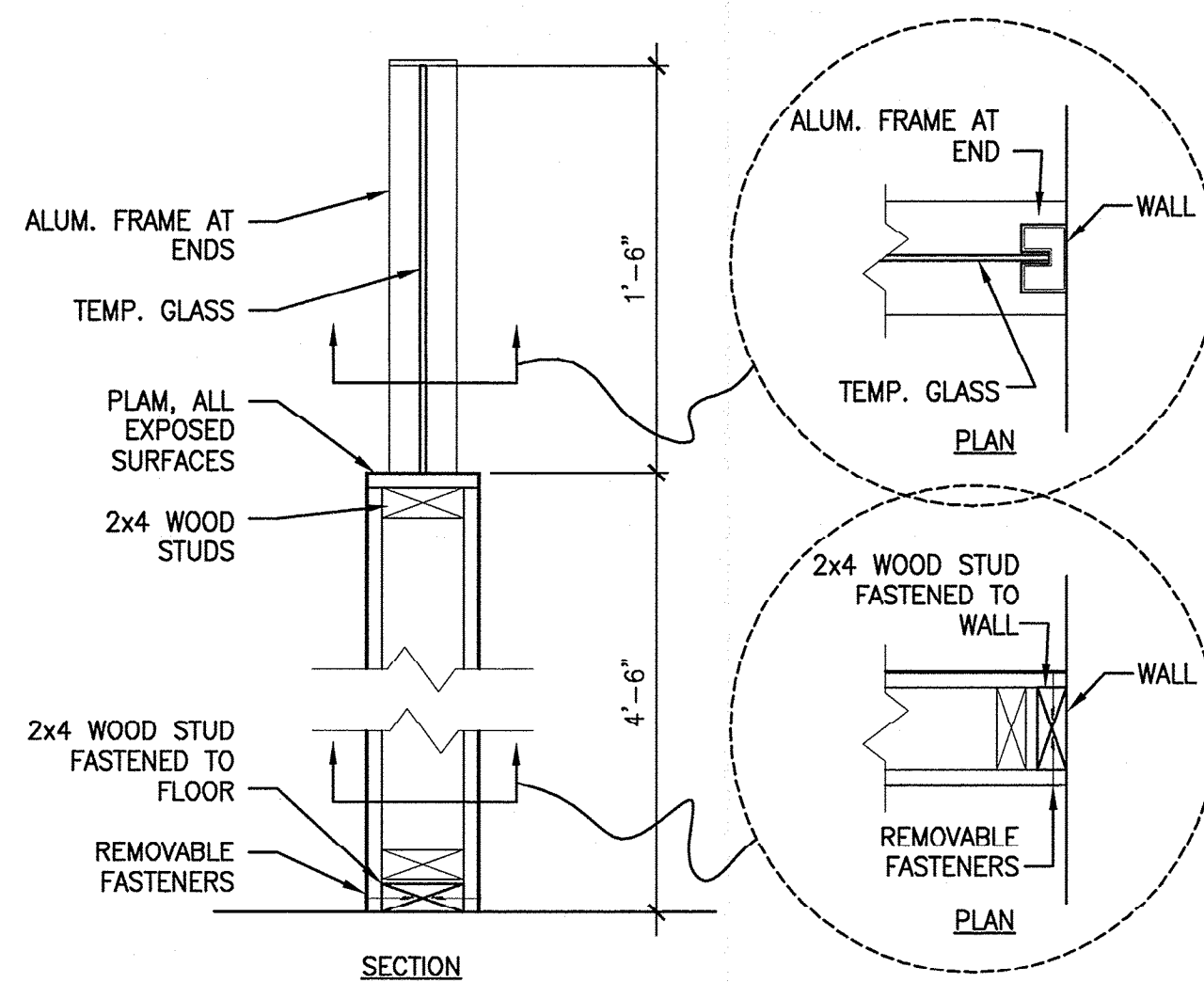
TRANSACTION WINDOWS

1. OVERHEAD TRACKS: ALUMINUM, OPEN DOUBLE OVERHEAD TRACK FOR PASS-THRU WINDOWS.
 - a. PRODUCT: C. R. LAURENCE CO., INC.; CRL D9A "MASTEROLL" TRACK SYSTEM, SATIN ANODIZED.
2. HANGERS: ALUMINUM, FRONT-MOUNTED.
 - a. PRODUCT: C. R. LAURENCE CO., INC.; CRL D28A "MASTEROLL" TRACK SYSTEM, SATIN ANODIZED.
3. ROLLERS: FLAT NYLON BALL BEARING ROLLER, 7/8-INCH DIAMETER, WITH SCREW STUD.
 - a. PRODUCT: C. R. LAURENCE CO., INC.; CRL D679 "MASTEROLL" TRACK SYSTEM.
4. BOTTOM CHANNELS: ALUMINUM, UNIVERSAL FRAMING EXTRUSIONS FOR GLAZING.
 - a. PRODUCT: C. R. LAURENCE CO., INC.; CRL D623A.
5. GUIDES: NYLON, LOWER GUIDES TO KEEP SLIDING PANELS VERTICAL AND PREVENT LIFT-OUT.
 - a. PRODUCT: C. R. LAURENCE CO., INC.; CRL D30.
6. LOCKS: UNIVERSAL PLUNGER LOCK, WITH KEYS.
 - a. PRODUCT: C. R. LAURENCE CO., INC.; CRL D802C
7. PULL HANDLES: ERGONOMIC POLYSTYRENE EXTENSION PULL, 6 INCH LENGTH.
 - a. PRODUCT: ERGO PROS; "ERGOGLIDE" (WWW.ERGOPROS.COM)
 - b. COLOR: AS SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL RANGE.



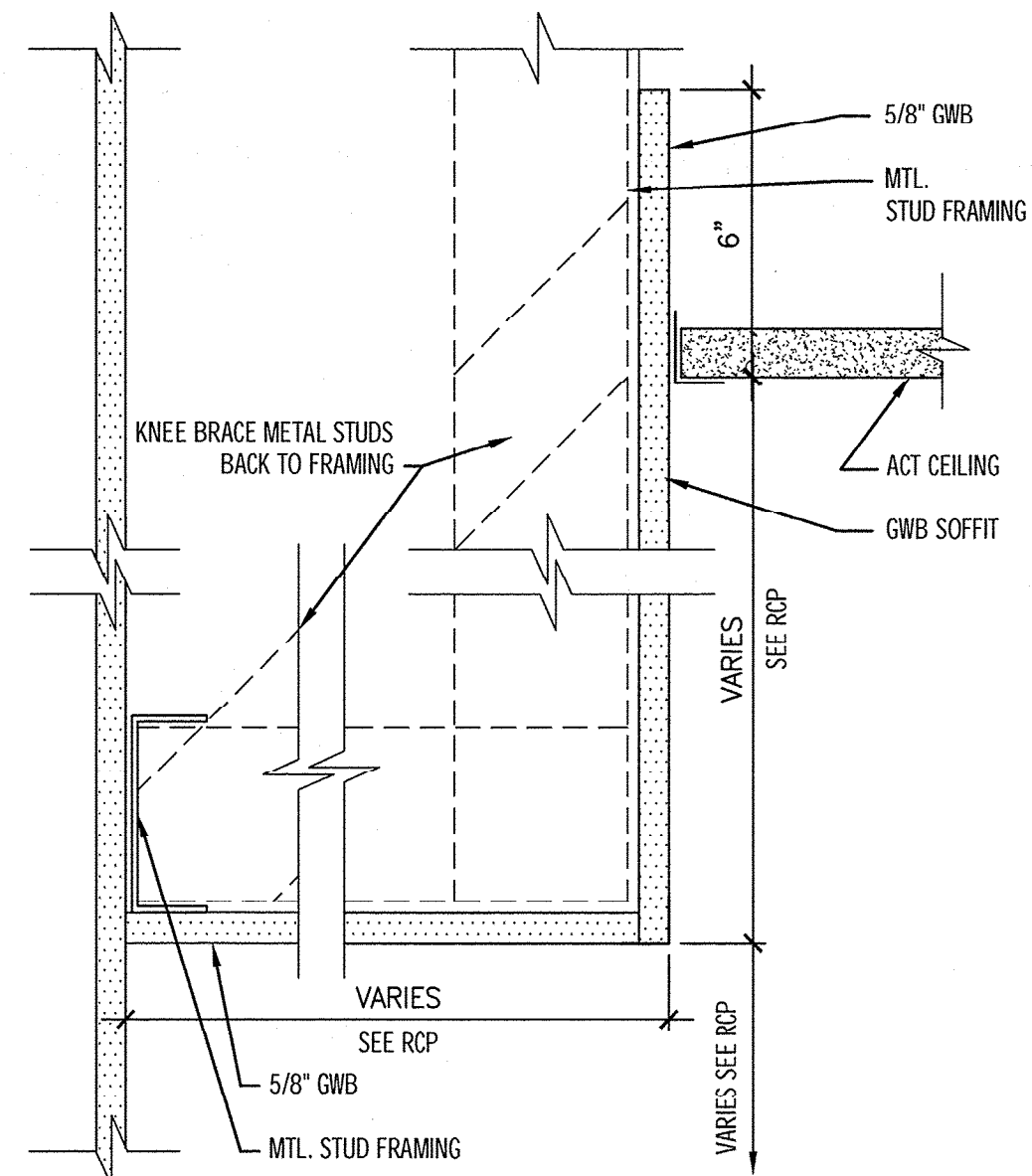
D5 SECTION

1"=1'-0"



A5 DIVIDER WALL DETAIL

1 1/2"=1'-0"

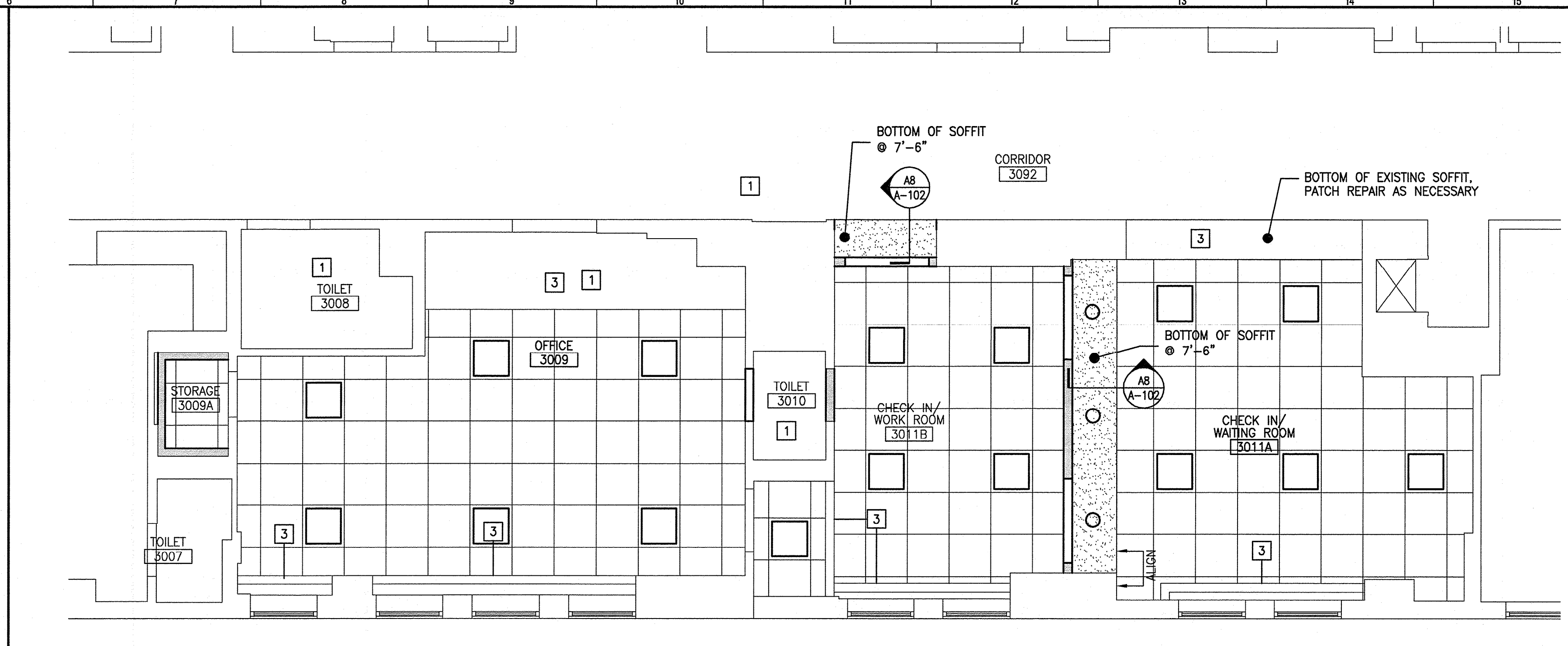


A8 SOFFIT DETAIL

3"=1'-0"

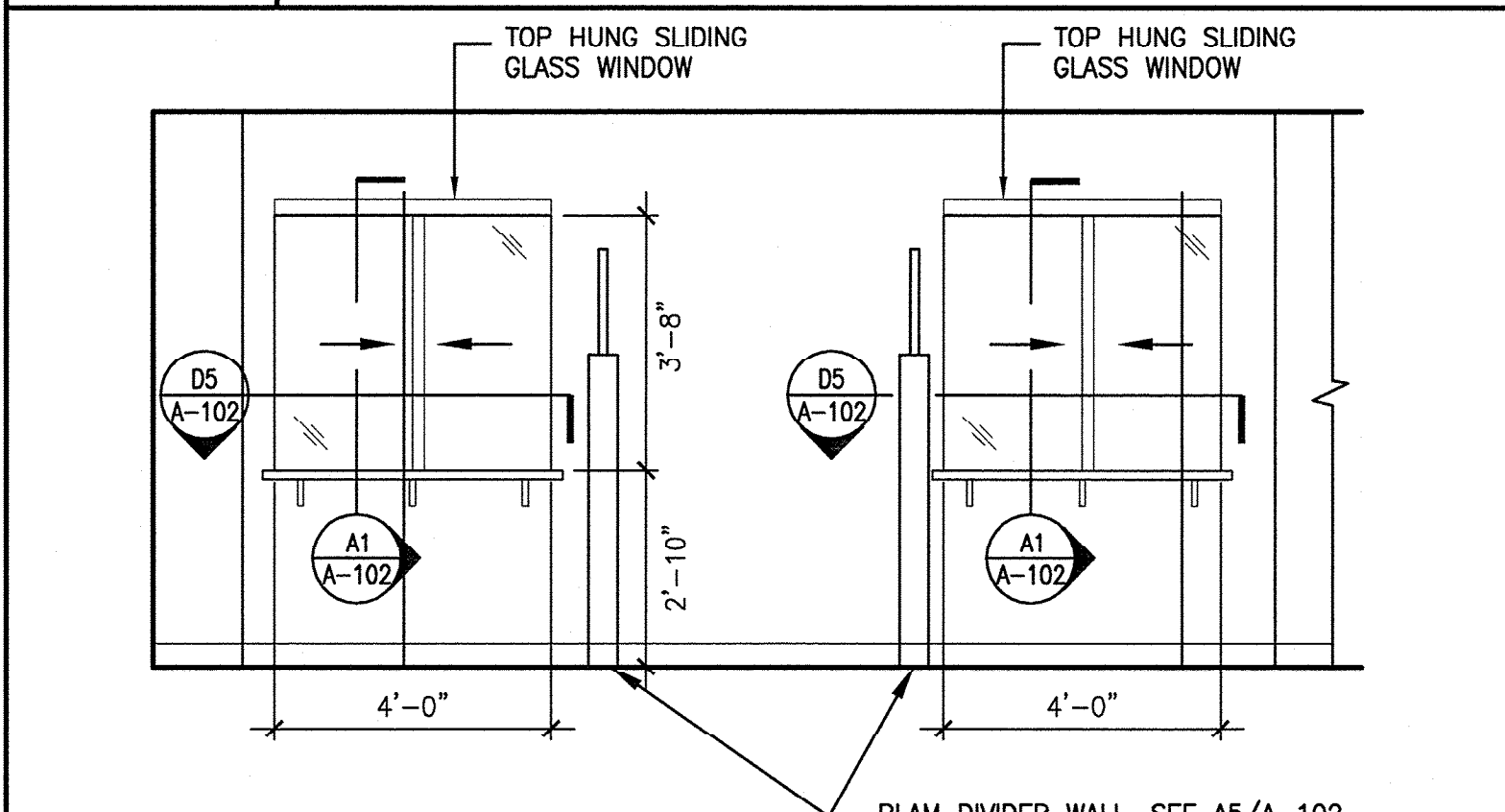
F6 REFLECTED CEILING PLAN

1/4"=1'-0" *



D11 INTERIOR ELEVATION

1"=1'-0" *



A11 INTERIOR ELEVATION

3/8"=1'-0"

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REGISTERED ARCHITECT
KRISTEN L. DAMUTH
No. 2786
STATE OF MAINE
29 SEP 17

PROJECT NORTH:
MAG NORTH PROJECT NORTH

MERCY HOSPITAL
3S PULMONARY RENOVATIONS
STATE STREET - PORTLAND, MAINE

ISSUED FOR CONSTRUCTION
9-29-14

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0" 1"

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PROJECT MANAGER: KD
JC/DRAWN BY: MDR /MDR
A/E OF RECORD: KD
PROJECT NO: 14087
SMART FILE: A-102-14087
DATE: 9-29-14
SHEET TITLE:
RCP, INTERIOR ELEVATION AND DETAILS
SHEET No.
A-102
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Accessibility Building Code Certificate



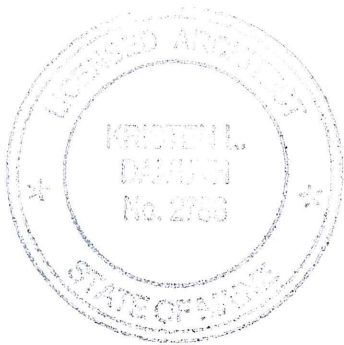
Inspections Division
Date: 10/22/14

Designer: KRISTEN DAMUTH, SMPT

Address of Project: 144 STATE ST MERCY 3rd FLOOR

Nature of Project: 885 SQ FT RENO FOR PULMONARY SUITE .
NEW CHECK-IN/OUT, WAITING ROOM
+ STAFF WORK AREA

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: Kristen Damuth

Title: ARCHITECT

Firm: SMPT

Address: 144 FORE STREET
PORTLAND

Phone: 207.772.3846

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design Application

From Designer:

KRISTEN DAMUTH, SMRT

Date:

9 Oct 14

Job Name:

MERCY HOSPITAL 3S PULMONARY RENOVATIONS

Address of Construction:

144 STATE ST

2009 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2009 Use Group Classification (s) HOSPITAL - # 2

Type of Construction LB

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2009 IRC YES

Is the Structure mixed use? NO If yes, separated or non separated or non separated (section 302.3) _____

Supervisory alarm System? YES Geotechnical/Soils report required? (See Section 1802.2) N/A

Structural Design Calculations N/A RENO

_____ Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
_____	_____
_____	_____
_____	_____
_____	_____

Wind loads (1603.1.4, 1609) N/A RENO

- _____ Design option utilized (1609.1.1, 1609.6)
- _____ Basic wind speed (1809.3)
- _____ Building category and wind importance Factor, w_b table 1604.5, 1609.5)
- _____ Wind exposure category (1609.4)
- _____ Internal pressure coefficient (ASCE 7)
- _____ Component and cladding pressures (1609.1.1, 1609.6.2.2)
- _____ Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623) N/A RENO

- _____ Design option utilized (1614.1)
- _____ Seismic use group ("Category")
- _____ Spectral response coefficients, S_D s & S_{DI} (1615.1)
- _____ Site class (1615.1.5)

- _____ Live load reduction
- _____ Roof *live* loads (1603.1.2, 1607.11)
- _____ Roof snow loads (1603.7.3, 1608)
- _____ Ground snow load, P_g (1608.2)
- _____ If $P_g > 10$ psf, flat-roof snow load P_f
- _____ If $P_g > 10$ psf, snow exposure factor, C_e
- _____ If $P_g > 10$ psf, snow load importance factor, I_s
- _____ Roof thermal factor, C_t (1608.4)
- _____ Sloped roof snowload, P_s (1608.4)
- _____ Seismic design category (1616.3)
- _____ Basic seismic force resisting system (1617.6.2)
- _____ Response modification coefficient, R_f and deflection amplification factor, C_d (1617.6.2)
- _____ Analysis procedure (1616.6, 1617.5)
- _____ Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612) N/A RENO

- _____ Flood Hazard area (1612.3)
- _____ Elevation of structure

Other loads

- _____ Concentrated loads (1607.4)
- _____ Partition loads (1607.5)
- _____ Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



Certificate of Design



Inspections Division
Date: 10/22/14

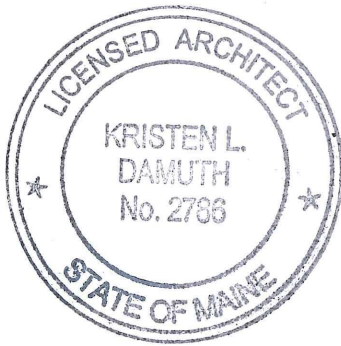
Date: 9 Oct 14

From: KRISTEN DAMUTH, SMRT

These plans and / or specifications covering construction work on:

MERCY HOSPITAL 3S. RENOVATIONS FOR WAITING ROOM,
CHECK-IN/OUT + STAFF WORK AREA.

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the **2009 International Building Code** and local amendments.



Signature: Kristen Damuth.

Title: ARCHITECT

Firm: SMRT

Address: 144 FORE STREET

PORTLAND

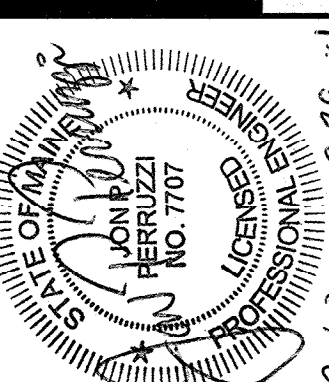
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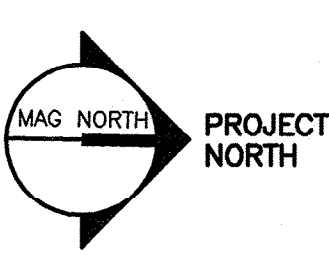


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PROJECT NORTH:



MERCY HOSPITAL
3S PULMONARY RENOVATIONS
STATE STREET - PORTLAND, MAINE
ISSUED FOR CONSTRUCTION
9-29-14
CURRENT ISSUE STATUS:

REV	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	9-28-14

GRAPHIC SCALE:
0" 1"

SCALE: NONE
PROJECT MANAGER: KD
JC/DRAWN BY: MDR / CDS
A/E OF RECORD: JPP
PROJECT NO: 14087
SMRT FILE: E-001-14087
DATE: 9-29-14

SHEET TITLE:
**LEGEND AND
GENERAL NOTES**

SHEET No.
E-001

ABBREVIATIONS

A,AMP	AMPERE	LA	LIGHTNING ARRESTER
AFF	ABOVE FINISHED FLOOR	LTG	LIGHTING
AFG	ABOVE FINISHED GRADE	MC	METAL CLAD
AHJ	AUTHORITY HAVING JURISDICTION	MCB	MAIN CIRCUIT BREAKER
AIC	AMPERE INTERRUPTING CAPACITY	MFR	MANUFACTURER
AWG	AMERICAN WIRE GAUGE	MI	MINERAL INSULATED
BFG	BELOW FINISHED GRADE	MLO	MAIN LUG ONLY
BOS	BOTTOM OF STEEL	MTD	MOUNTED
C	CONDUIT, CONDUCTOR	MV	MEDIUM VOLTAGE
CATV	CABLE TELEVISION	NC	NORMALLY CLOSED
CB	CIRCUIT BREAKER	NEC	NATIONAL ELECTRICAL CODE
CCTV	CLOSED CIRCUIT TELEVISION	NEG	NEGATIVE
CPT	CONTROL POWER TRANSFORMER	NEUT	NEUTRAL
CT	CURRENT TRANSFORMER	NIC	NOT IN CONTRACT
CU	COPPER	NO	NORMALLY OPEN
DACT	DIGITAL ALARM COMMUNICATOR TRANSMITTER	NTS	NOT TO SCALE
DB	DISCONNECT	PF	POWER FACTOR
DISC	DISCONNECT	PH	PHASE
DN	DOWN	PVC	POLYVINYL CHLORIDE
EMT	ELECTRICAL METALLIC TUBING	RGS	RIGID STEEL CONDUIT
EWC	ELECTRIC WATER COOLER	RSC	RIGID STEEL CONDUIT
FAA	FIRE ALARM ANNUNCIATOR	RTD	RESISTANCE TEMPERATURE DETECTOR
FACP	FIRE ALARM CONTROL PANEL	SN	SOLID NEUTRAL
FBO	FURNISHED BY OTHERS	STP	SHIELDED TWISTED PAIR
FU	FUSE	STT	SHIELDED TWISTED TRIPLET
FWE	FURNISHED WITH EQUIPMENT	SWBD	SWITCHBOARD
GEN	GENERATOR	SWGR	SWITCHGEAR
GFCI	GROUND FAULT CIRCUIT BREAKER	TOS	TOP OF STEEL
GND	GROUND	TRANSF	TRANSFORMER
HP	HORSEPOWER	TVSS	TRANSIENT VOLTAGE SURGE SUPPRESSOR
HTR	HEATER	V	VOLT
IG	ISOLATED GROUND	VA	VOLT-AMPERE
IMC	INTERMEDIATE METAL CONDUIT	VAR	VOLT-AMPERE REACTIVE
K	KILO	WM	WATT METER
KCMIL	THOUSAND CIRCULAR MILS	WP	WEATHER PROOF
KV	KILOVOLT	XFMR	TRANSFORMER
KVA	KILOVOLT-AMPERE	XP	EXPLOSION PROOF
KVAR	KILOVOLT-AMPERE REACTIVE		
KW	KILOWATT		
KWH	KILOWATT-HOUR		

GENERAL NOTES:

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH NFPA-70, NATIONAL ELECTRICAL CODE (NEC).
- UNLESS OTHERWISE NOTED CONVENIENCE RECEPTACLES SHALL BE MOUNTED 18-INCHES AFF, LIGHTING TOGGLE SWITCHES 48-INCHES AFF AND DATA SYSTEM OUTLETS 18-INCHES.
- AN EQUIPMENT GROUNDING CONDUCTOR SHALL BE INSTALLED WITH EVERY BRANCH CIRCUIT. UNLESS OTHERWISE NOTED WIRING SHALL BE 2#12 AWG CONDUCTORS AND #12 GND. WIRING ORIGINATING FROM EMERGENCY PANELBOARDS SHALL BE INSTALLED IN EMT. WHERE FISHED INTO EXISTING WALLS, WIRING IS PERMITTED TO BE MC CABLE. ALL OTHER BRANCH CIRCUIT WIRING SHALL BE HOSPITAL GRADE MC CABLE.
- LIGHTING TOGGLE SWITCHES SHALL BE COMMERCIAL SPECIFICATION GRADE 120/277 VOLT, SIDE WIRED AND PROVIDED WITH GROUNDING SCREW. DIMMING SWITCHES SHALL BE LEVITON PART #IP710-LFZ
- CONVENIENCE RECEPTACLES SHALL BE HOSPITAL GRADE, GROUNDING TYPE NEMA 5-20R, SIDE WIRED.
- PROVIDE WALL PLATES FOR ALL WIRING DEVICES, NYLON SMOOTH TYPE.
- FIRE ALARM NOTIFICATION APPLIANCES SHALL BE COMPATIBLE WITH EXISTING SIEMENS SYSTEM.

LIGHTING

	2x4 FLUORESCENT FIXTURE
	1x4 FLUORESCENT FIXTURE
	2x2 LED FIXTURE
	FIXTURE WIRED TO SWITCHED EMERGENCY CIRCUIT
	SINGLE POLE TOGGLE SWITCH
	DIMMER SWITCH
	OCCUPANCY SENSOR
	1 =HUBBELL CEILING SENSOR OMNIDT2000RP

COMMUNICATION & DATA SYSTEMS

	COMBINATION VOICE/DATA SYSTEM OUTLET
	CABLE TELEVISION SYSTEM OUTLET.

POWER

	JUNCTION BOX
	POWER/TELECOMMUNICATIONS POLE
	HOSPITAL GRADE DUPLEX RECEPTACLE, NEMA 5-20R
	DOUBLE DUPLEX (QUADRUPLEX) RECEPTACLE, NEMA 5-20R

FIRE ALARM

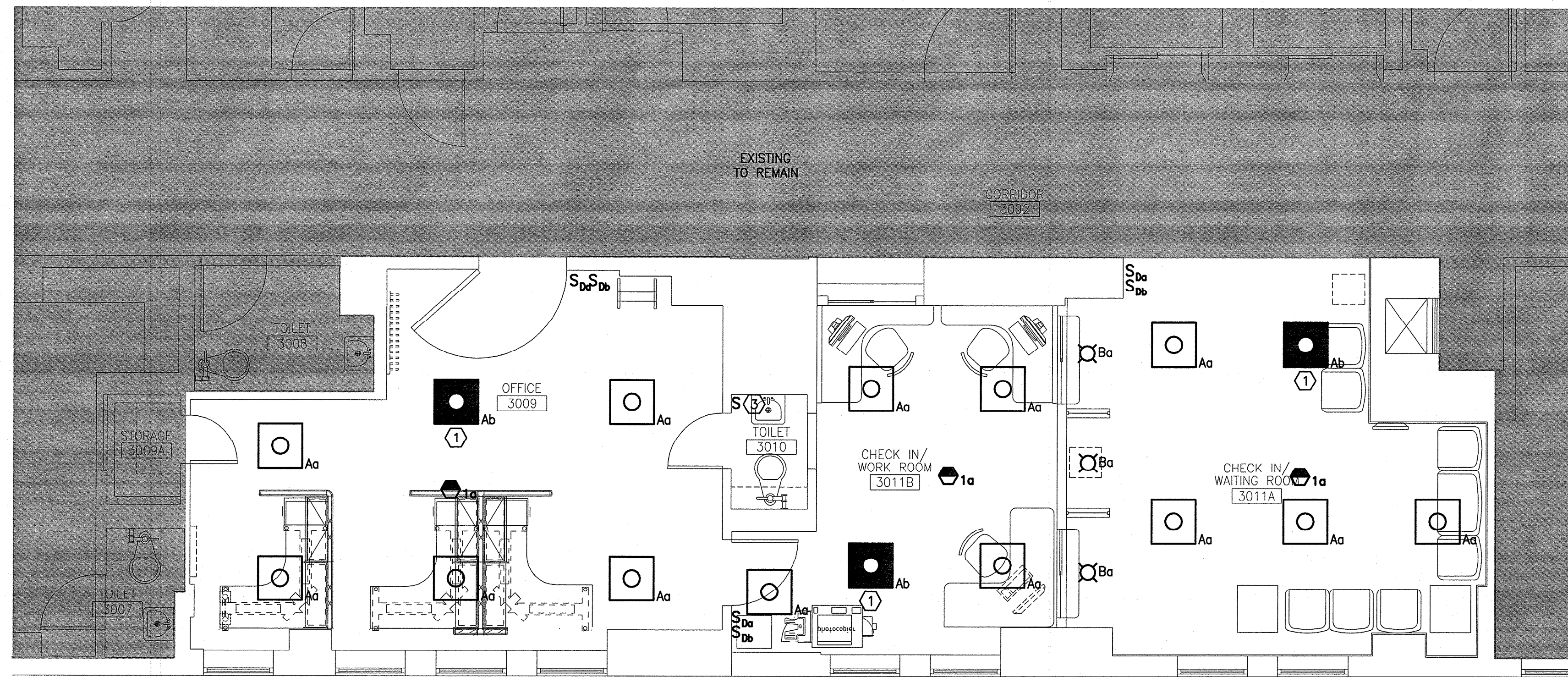
	FIRE ALARM AUDIBLE/VISIBLE NOTIFICATION APPLIANCE (GENERAL EVACUATION)
	FIRE ALARM VISIBLE ONLY NOTIFICATION APPLIANCE

LINE TYPES

	EXISTING
	NEW
	DEMOLITION

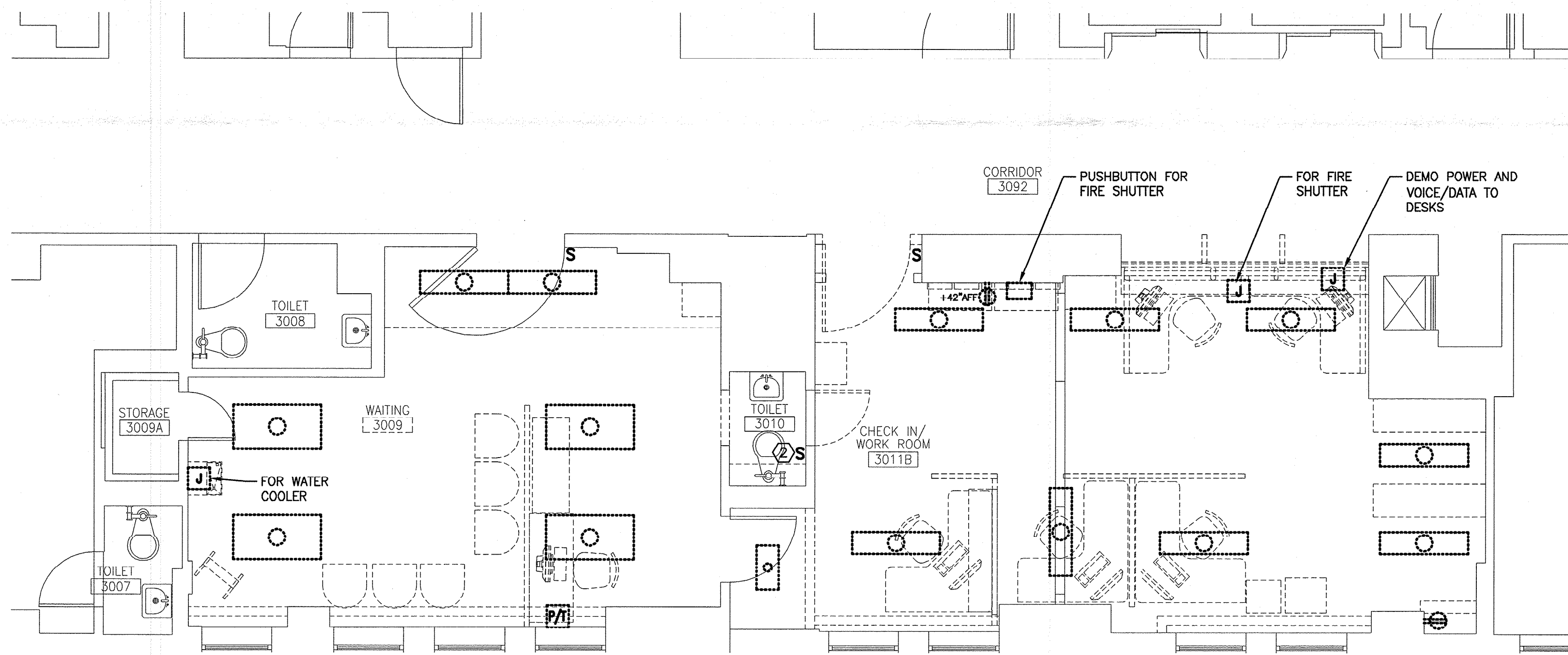
GENERAL NOTE

1. ALL GENERAL NOTES, SYMBOL LISTS, AND DETAILS ARE TO BE CONSIDERED AS APPLICABLE TO ALL ELECTRICAL DRAWINGS FOR THIS PROJECT. SYMBOLS AND ABBREVIATIONS SHOWN ON THIS SHEET ARE FOR REFERENCE ONLY AND DO NOT INDICATE THEIR INCORPORATION IN THE DESIGN.



F1 LIGHTING PLAN

1/4"=1'-0"



A1 ELECTRICAL DEMO PLAN

1/4"=1'-0"

NOTES:

- SEE SHEET E-001 FOR LEGEND AND GENERAL NOTES.
- FIXTURE A IS A 2x2 RECESSED LED DIMMABLE TROFFER WITH ACRYLIC LENS. LITHONIA PART # 2GTL2LP835. FIXTURES B IS A 6" OPEN, LED DOWNLIGHT. GOTHAM PART # EVO-35/10-6AR-MVOLT.
- ALL LIGHT FIXTURES, EXCEPT THOSE IDENTIFIED TO BE CONNECTED TO A LIFE SAFETY CIRCUIT, SHALL BE CONNECTED TO EXISTING LIGHTING CIRCUITS IN THE AREA.

KEYED NOTES:

- CONNECT TO LIFE SAFETY CIRCUIT.
- SWITCH TO BE RELOCATED.
- RELOCATED SWITCH POSITION.

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NO. 7707

REV. 0 9-29-14

PROJECT NORTH:
MAG NORTH PROJECT NORTH

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3S PULMONARY RENOVATIONS**
STATE STREET - PORTLAND, MAINE

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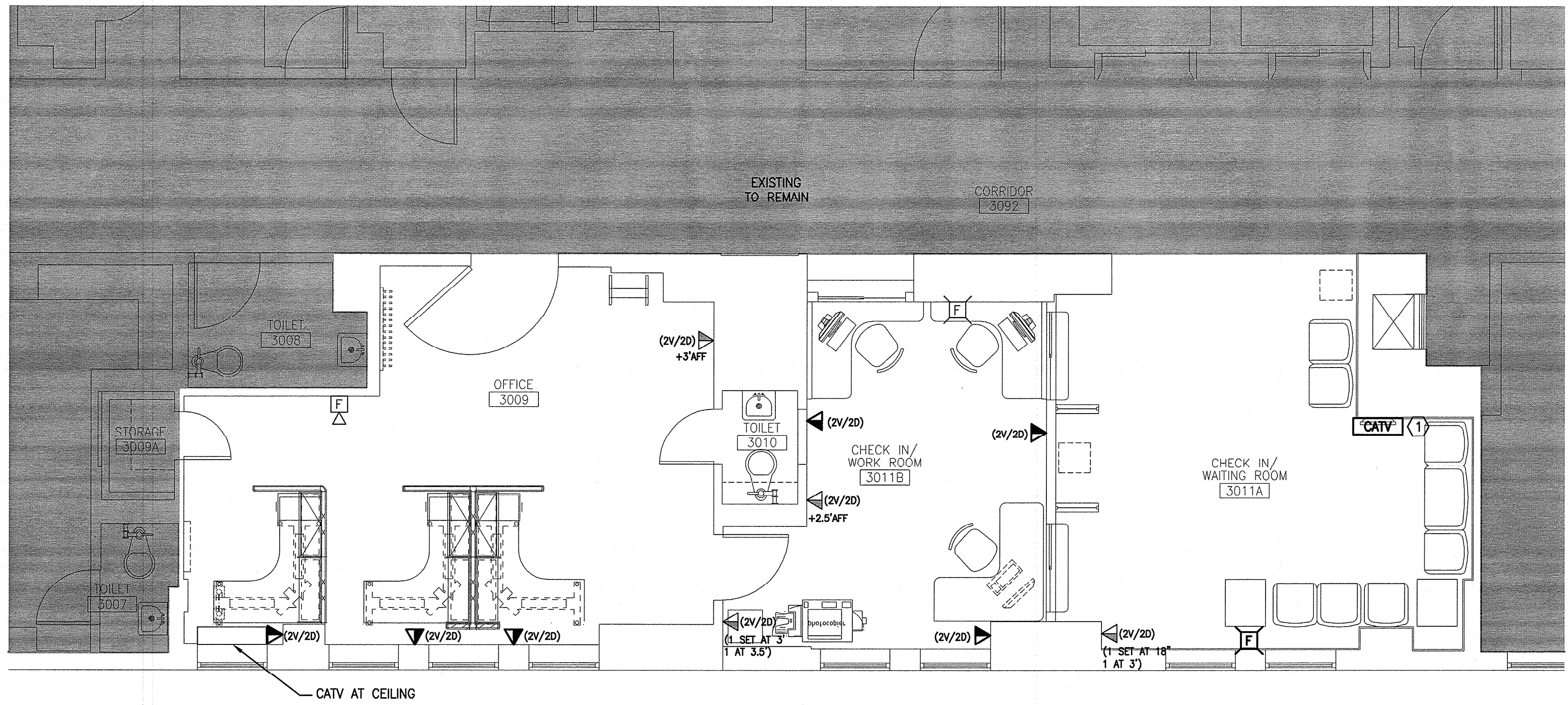
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A/E OF RECORD: JPP
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SHEET TITLE:
**DEMOLITION
AND LIGHTING
PLANS**

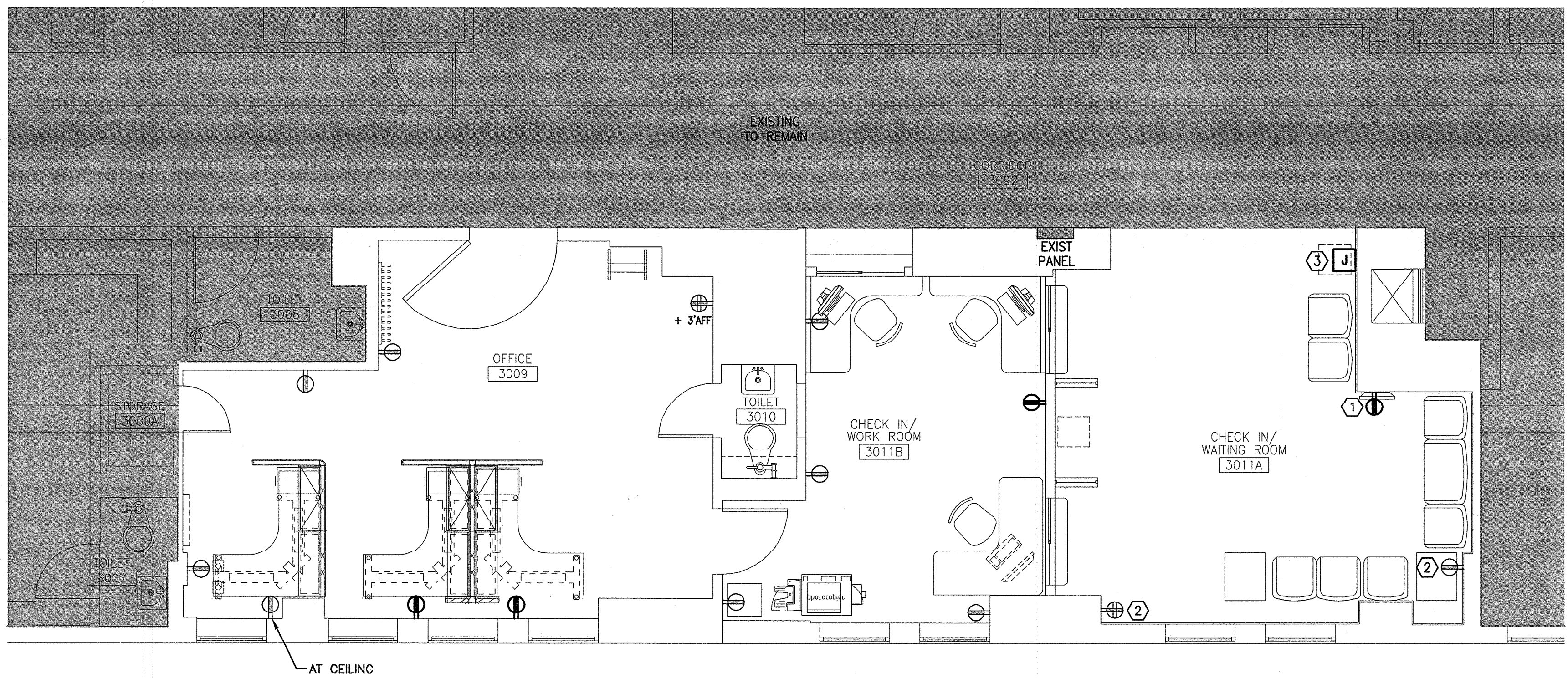
SHEET No.
E-101

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F1 SYSTEMS PLAN

1/4"=1'-0"



A1 POWER PLAN

1/4"=1'-0"

NOTES:

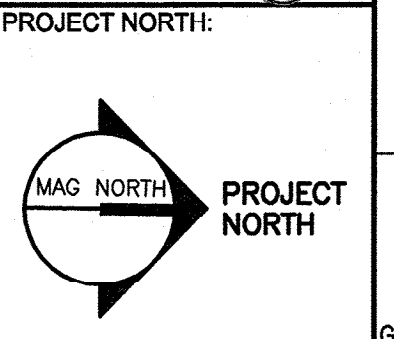
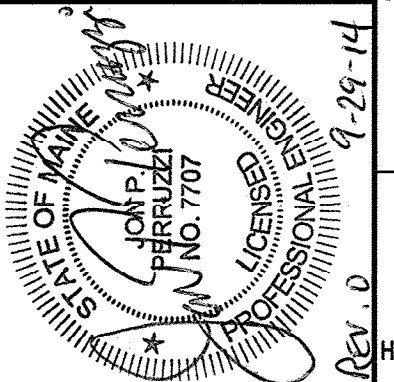
- SEE SHEET E-001 FOR LEGEND AND GENERAL NOTES.
- RECEPTACLE AND WATER COOLER CIRCUITS WILL BE ASSIGNED BY THE OWNER. THE WATER COOLER REQUIRES EITHER A GFCI BRANCH CIRCUIT OR A GFCI RECEPTACLE.

KEYED NOTES:

- COORDINATE DEVICE HEIGHT WITH MONITOR LOCATION.
- CHANGE RECEPTACLE TO TAMPER RESISTANT.
- PROVIDE CONNECTION TO WATER COOLER. LOCATION TO BE CONFIRMED WITH OWNER.

144 Fors Street P.O. Box 616
Portland, Maine 04104
Tel: (207) 772-3948
Fax: (207) 772-1070
www.smartinc.com

ARCHITECTURE
ENGINEERING
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**MERCY HOSPITAL
3S PULMONARY RENOVATIONS**
STATE STREET - PORTLAND, MAINE

**ISSUED FOR CONSTRUCTION
9-29-14**

CURRENT ISSUE STATUS:

REV	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	9-29-14

GRAPHIC SCALE:
0' 1'

SCALE: 1/4"=1'-0"
PROJECT MANAGER: KD
JC/DRAWN BY: MDR / CDS
A/E OF RECORD: JPP
PROJECT NO: 14087
SMRT FILE: E-102-14087
DATE: 9-29-14

SHEET TITLE:
**POWER AND
SYSTEMS PLANS**

SHEET No.
E-102

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PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Jeff Levine, AICP, Director
Director of Planning and Urban Development

Tammy Munson
Director, Inspections Division

Electronic Signature and Fee Payment Confirmation

Notice: Your electronic signature is considered a legal signature per state law.

By digitally signing the attached document(s), you are signifying your understanding this is a legal document and your electronic signature is considered a **legal signature** per Maine state law. You are also signifying your intent on paying your fees by the opportunities below.

I, the undersigned, intend and acknowledge that no permit application can be reviewed until payment of appropriate permit fees are **paid in full** to the Inspections Office, City of Portland Maine by method noted below:

Within 24-48 hours, upon receipt of an e-mailed invoice from Building Inspections, which signifies that my electronic permit application and corresponding paperwork have been received, determined complete, entered by an administrative representative, and assigned a permit number, I then have the following four (4) payment options:

- to provide an on-line electronic check or credit/debit card (we now accept American Express, Discover, VISA, and MasterCard) payment (along with applicable fees beginning July 1, 2014),
- call the Inspections Office at (207) 874-8703 and speak to an administrative representative to provide a credit/debit card payment over the phone,
- hand-deliver a payment method to the Inspections Office, Room 315, Portland City Hall,
- or deliver a payment method through the U.S. Postal Service, at the following address:

City of Portland
Inspections Division
389 Congress Street, Room 315
Portland, Maine 04101

Once my payment has been received, this then starts the review process of my permit. **After all approvals have been met and completed, I will then be issued my permit via e-mail.** No work shall be started until I have received my permit.

Applicant Signature: Kristen Damuth. 9 Oct 14 Date: _____

I have provided digital copies and sent them on: 10 Oct 14 Date: _____

NOTE: All electronic paperwork must be delivered to buildinginspections@portlandmaine.gov or by physical means ie; a thumb drive or CD to the office.

Room 315 - 389 Congress Street- Portland, Maine 04101 (207) 874-8703 - Fax: 874-8716 - TTY: 874-8936



Acknowledgment of Code Compliance Responsibility- Fast Track Project



I, Jeffrey Bennett am the owner or duly authorized owner's agent of the property listed below
Print Legal Name

MERCY HOSPITAL 144 STATE ST. 3rd FL.
Physical Address

I am seeking a permit for the construction or installation of:

RENOVATION OF 285 SQ FT. IN PULMONARY SUITE

Proposed Project Description

I understand that the permits obtained pursuant to this acknowledgement of code compliance responsibility will be in my name and that I am acting as the **general contractor** for this project. I accept full responsibility for the work performed.

I am submitting for a permit authorized by the **State of Maine Uniform Building and Energy Code (MUBEC), Fuel Board Laws and Rules and all locally adopted codes and standards applying to Plumbing, Electrical, Fire Prevention and Protection in anticipation of having it approved or approved with conditions.** I have read the following statement and understand that **failure to comply with all conditions once construction is begun may necessitate an immediate work stoppage until such time as compliance with the stipulated conditions is attained.** I certify that I have made a diligent inquiry regarding the need for concurrent state or federal permits to engage in the work requested under this building permit, and no such permits are required or I will have obtained the required permits prior to issuance of this permit. I understand that the granting of this permit shall not be construed as satisfying the requirements of other applicable Federal, State or Local laws or regulations, including City of Portland historic preservation requirements, if applicable. I understand and agree that this permit does not authorize the violation of regulations.

In addition, I understand and agree that this building permit does not authorize the violation of the **12 M.R.S. § 12801 et seq. - Endangered Species.**

I certify under penalty of perjury and under the laws of the State of Maine the foregoing is true and correct. I further certify that all easements, deed restrictions, or other encumbrances restricting the use of the property are shown on the site plans submitted with this application.

I hereby apply for a permit as a OWNERS AGENT of the below listed property and by so doing will assume
Owner or Owner's Agent
responsibility for compliance with all applicable codes, bylaws, rules and regulations.

I further understand that it is my responsibility to schedule inspections of the work as required and that the City's inspections will, at that time, check the work for code compliance. The City's inspectors may require modifications to the work completed if it does not meet applicable codes. JB INITIAL HERE

Sign Here: Jeffrey Bennett
Owner or Owner's Authorized Agent

Date: 10/9/14

PLEASE ALSO FILL OUT AND SIGN SECOND PAGE



Acknowledgment of Code Compliance Responsibility- Fast Track Project

OFFICE USE ONLY



PERMIT # _____

CBL # _____

THIS PROJECT IS ELIGIBLE FOR FAST TRACK PERMITTING BECAUSE IT IS IN THE FOLLOWING CATEGORY / CATEGORIES (CHECK ALL THAT APPLY):

- One/Two Family Swimming Pools, Spas or Hot Tubs
- One/Two Family Decks, Stairs and Porches (attached or detached) First Floor Only
- One/Two Family Detached One Story Accessory Structures (garages, sheds, etc.) not to exceed 600sq ft with no habitable space
- Home Occupations (excluding day cares)
- One/Two Family Renovation/Rehabilitation (within the existing shell)
- Attached One /Two Family Garages /Additions/Dormers bearing the seal of a licensed design professional
- New *Sprinklered* One and Two Family Homes (bearing the seal of a licensed design professional stating code compliance) – **MUST STILL RECEIVE LEVEL 1 SITE PLAN APPROVAL FROM PLANNING**
- One/Two Family HVAC (including boilers, furnaces, heating appliances, pellet and wood stoves)
- Interior office renovations with no change of use (no expansions; no site work; no load bearing structural changes are eligible) bearing the seal of a licensed design professional stating code compliance
- Interior Demolition with no load bearing demolition
- Amendments to existing permits
- Commercial HVAC systems (with structural and mechanical plans bearing the seal of a licensed design professional stating code compliance)
- Commercial HVAC for Boilers/Furnaces/Heating Appliances
- Commercial Signs or Awnings
- Exterior Propane Tanks
- Residential or Commercial Subsurface Waste Water Systems (No Rule Variance Only)
- Renewal of Outdoor Dining Areas
- Temporary Outdoor Tents and stages under 750 sq ft per tent or stage
- Fire Suppression Systems (Both non-water and water based installations)
- Fences over 6'-0" in height
- Site work only
- Retaining walls over 4ft in height with stamped plans (or approval from inspection staff)

I understand that if the property is located in a historic district this application will also be reviewed by Historic Preservation. I further understand that the Building Inspections Division reserves the right to deny a fast track eligible project.

Sign Here: 
Owner or Owner's Authorized Agent

Date: 10/9/14



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Address/Location of Construction: <u>MERCY HOSPITAL STATE ST 3rd FLOOR</u>		
Total Square Footage of Proposed Structure:		<u>885 SQ. FT. RENOVATION</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Applicant Name: <u>MERCY HOSPITAL</u> <u>JEFF BENNETT</u> Address <u>144 STATE ST</u> City, State & Zip <u>PORTLAND 04101</u>	Telephone: <u>879.3865</u> Email: <u>bennettj@emhs.org</u>
Lessee/Owner Name : (if different than applicant) Address: City, State & Zip: Telephone & E-mail:	Contractor Name: (if different from Applicant) Address: City, State & Zip: Telephone & E-mail:	Cost Of Work: <u>\$ 67,000</u> C of O Fee: \$ _____ Historic Rev \$ _____ Total Fees : \$ <u>751.00</u>
Current use (i.e. single family) <u>HOSPITAL</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>HOSPITAL</u> Is property part of a subdivision? <input type="checkbox"/> If yes, please name _____ Project description: <u>RENOVATION OF 885 SQ FT IN PULMONARY SUITE FOR CHECK-IN/OUT, WAITING AREA + STAFF WORK AREA.</u>		
Who should we contact when the permit is ready: <u>JEFF BENNETT, MERCY HOSPITAL</u>		
Address: <u>144 STATE ST, PORTLAND 04101</u>		
City, State & Zip: _____		
E-mail Address: <u>BENNETTJ@EMHS.ORG</u>		
Telephone: <u>879.3865</u>		

Please submit all of the information outlined on the applicable checklist. Failure to do so causes an automatic permit denial.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: <u>Jeff Bennett</u>	Date: <u>10/9/14</u>
--------------------------------	----------------------

This is not a permit; you may not commence ANY work until the permit is issued.

MERCY HOSPITAL

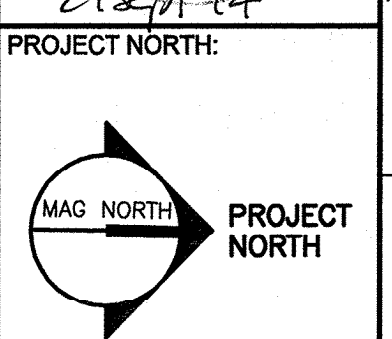
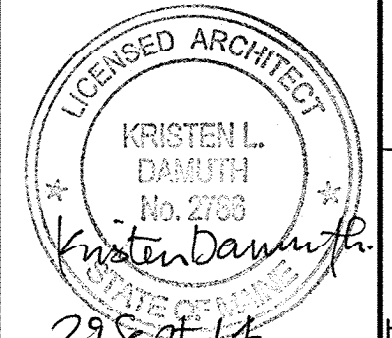
STATE ST. - 3S PULMONARY RENOVATIONS

PORTLAND, MAINE

144 Fore Street P.O. Box 618
Portland, Maine 04104
tel: (207) 772-3846
fax: (207) 772-1070
www.smrta.com

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**MERCY HOSPITAL
3S PULMONARY RENOVATIONS**
STATE STREET - PORTLAND, MAINE

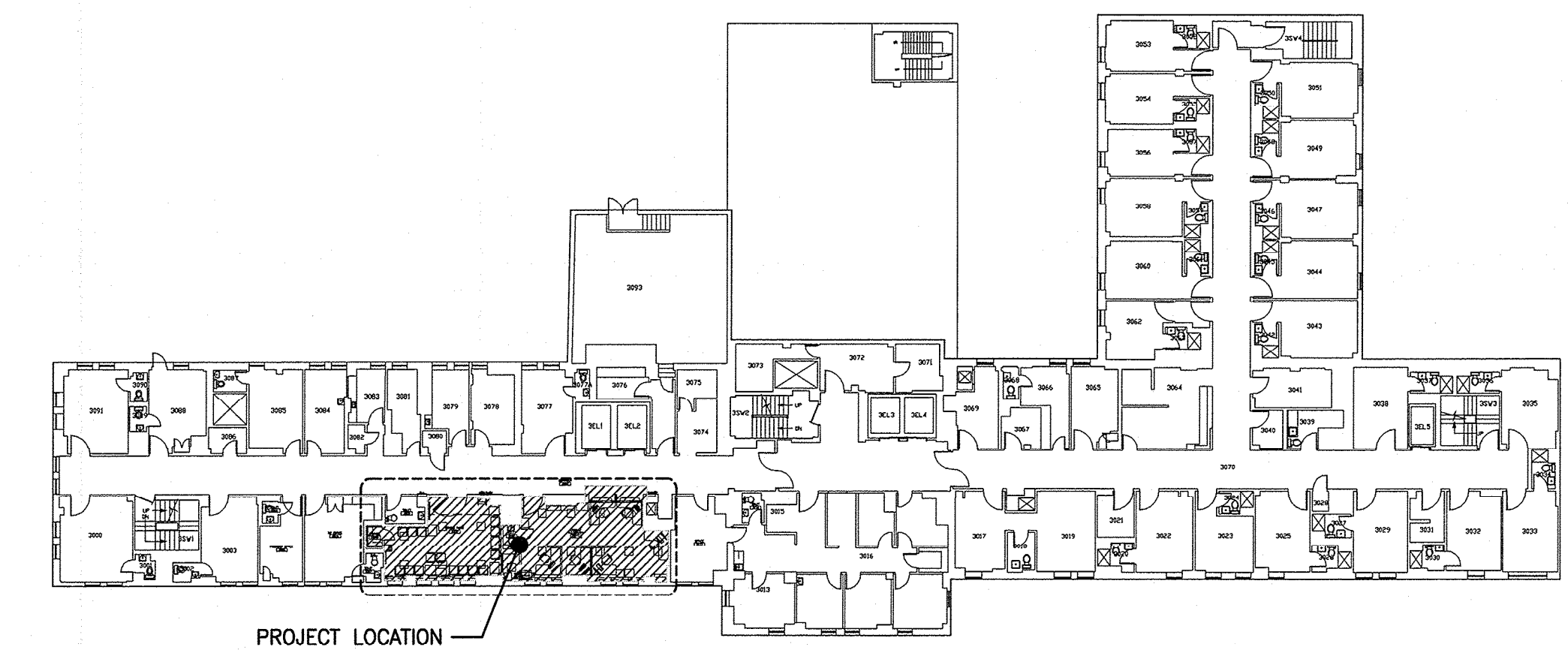
**ISSUED FOR CONSTRUCTION
9-29-14**

CURRENT ISSUE STATUS:

A/C	AIR CONDITIONING	N	NOISING
ACPLAS	ACOUSTICAL PLASTER	NIC	NOT IN CONTRACT
ACT	ACOUSTIC CEILING TILE	NS	NEAR SIDE
AFF	ABOVE FINISHED FLOOR	NTS	NOT TO SCALE
AP	ACCESS PANEL	OC	ON CENTER
BCE	BOTTOM CHORD EXTENSION	OF	OUTSIDE FACE
BD	BOARD	OH	OVERHEAD
BLP	BORROWED LIGHT PANEL	PA	PUBLIC ADDRESS
BO	BOTTOM OF	PAF	POWDER-ACTUATED FASTENER
BOF	BOTTOM OF FOOTING	PL	PLATE
BOS	BOTTOM OF STEEL	PLAM	PLASTIC LAMINATE
BS	BOTH SIDES	PLF	POUNDS PER LINEAR FOOT
BSE	BSBRICK SHELF ELEVATION	PP	POWER PANEL
C	CHANNEL	PSF	POUNDS PER SQUARE FOOT
CB	CATCH BASIN; CHALKBOARD	PSI	POUNDS PER SQUARE INCH
CFM	CUBIC FEET PER MINUTE	PT	PRESSURE-TREATED
CFJ	CONTROL JOINT; CONSTRUCTION JOINT	PVC	POLYVINYL CHLORIDE
CLG	CEILING	PWP	PLASCORE WALL PANEL
CMU	CONCRETE MASONRY UNIT	R	RISER; RADIUS
CT	CERAMIC TILE	RB	RESILIENT BASE
CUH	CABINET UNIT HEATER	RD	ROOF DRAIN
DF	DRINKING FOUNTAIN	RO	ROUGH OPENING
DR	DISPLAY RAIL	RUB	RUB-RAIL
DW	DISHWASHER	RR	
EF	EXHAUST FAN; EACH FACE	ACT	SUSPENDED ACOUSTIC
EJ	EXPANSION JOINT	TILE	TILE CEILING
EPDM	ETHYLENE PROPYLENE DIENE MONOMER	SBO	SUPPLIED BY OWNER
EW	ELECTRIC WATER COOLER	SC	SCHEDULE
EWC	ELECTRIC WATER COOLER	SCHD	SCHEDULE
FB	FLAT BAR	SF	SQUARE FOOT; SUPPLY FAN
FBO	FURNISHED BY OTHERS	SK	SHEAR KEY
FCO	FLOOR CLEAN-OUT	SN	SANITARY NAPKIN (DISPENSER)
FD	FLOOR DRAIN	SP	SPACES
FE	FIRE EXTINGUISHER	SS	STAINLESS STEEL
FF	FINISHED FLOOR; FAR FACE	T	TREAD
FO	FRAMED OPENING	TB	TACKBOARD
FS	FAR SIDE	T&B	TOP AND BOTTOM
GB	GRAB BAR	TBM	TEMPORARY BENCHMARK
GC	GENERAL CONTRACTOR	TCE	TOP CHORD EXTENSION
GDT	GYPSUM DROP-IN TILE	TJ	TIE JOIST
GW	GYPSUM WALL BOARD	TO	TOP OF
H	HORIZONTAL	TOC	TOP OF CONCRETE
HC	HANDICAPPED; HOLLOW CORE	TOF	TOP OF FOOTING
HM	HOLLOW METAL	TOM	TOP OF MASONRY
HRU	HEAT RECOVERY UNIT	TOP	TOP OF PIER
HT	HEIGHT	TOS	TOP OF STEEL; TOP OF SLAB
H&V	HEATING AND VENTILATING	TOW	TOP OF WALL
HVAC	HEATING, VENTILATING AND AIR CONDITIONING	TP	TOILET PAPER (DISPENSER)
IF	INSIDE FACE	TS	
IJ	ISOLATION JOINT	UH	UNIT HEATER
INV	INVERT	UNO	UNLESS NOTED OTHERWISE
JS	JOIST SUBSTITUTE	V	VENT PIPE; VERTICAL
L	ANGLE	VB	VAPOR BARRIER
LLH	LONG LEG HORIZONTAL	VCT	VINYL COMPOSITION TILE
LLV	LONG LEG VERTICAL	VP	VISION PANEL
LP	LIGHTING PANEL; LIQUIFIED PROPANE	VTR	VENT THROUGH THE ROOF
MB	MARKER BOARD	W/	WITH
MDO	MEDIUM DENSITY OVERLAY	WC	WATER CLOSET
MO	MASONRY OPENING	WF	WIDE FLANGE
MR	MOISTURE-RESISTANT	WH	WATER HEATER
MUA	MAKE-UP AIR	W/O	WITHOUT
		WP	WALL PROTECTION
		WS	WEB STIFFENER
		WWF	WELDED WIRE FABRIC

GRID LOCATION	TITLE
	SCALE REFERENCE SHEET
	DRAWING TITLE BLOCK
A1/A101	BUILDING SECTION
A1/A101	WALL SECTION
A1/A101	DETAIL
	LEVEL LINE
	REVISION
	WINDOW TYPE
A50Aa	DOOR NUMBER
LOBBY	ROOM NAME
A153	ROOM NUMBER
G14/A200	INTERIOR ELEVATION
15	WALL TYPE
S	BACKER ROD AND SEALANT
A1/A101	EXTERIOR ELEVATION

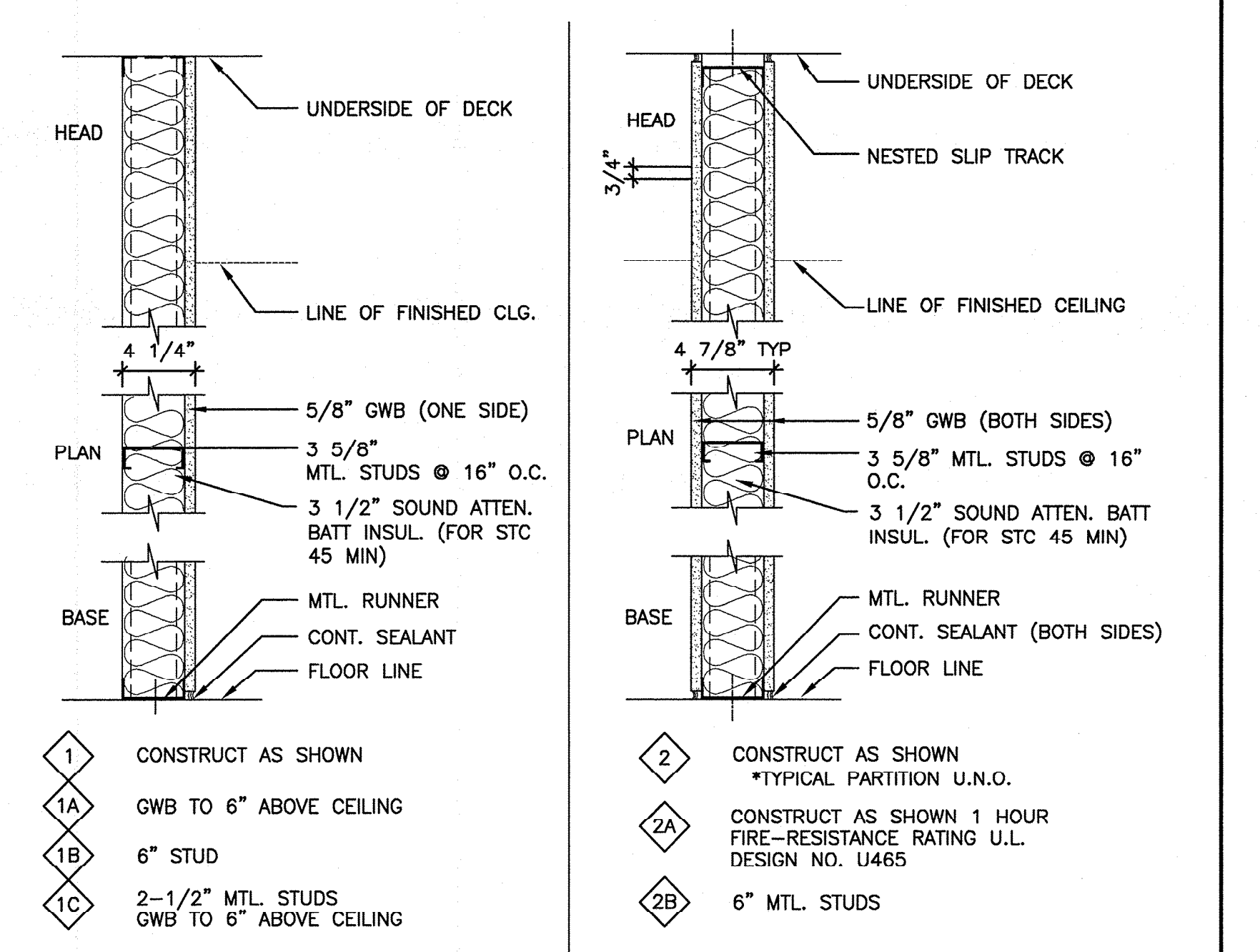
PROJECT LOCATION - 3RD FLOOR



DRAWING LIST

- GENERAL**
- G1001 COVER SHEET
- ARCHITECTURAL**
- A-101 DEMOLITION PLAN AND FLOOR PLAN
 - A-102 RCP, INTERIOR ELEVATION AND DETAILS
- ELECTRICAL**
- E-001 LEGEND AND GENERAL NOTES
 - E-101 DEMOLITION AND LIGHTING PLANS
 - E-102 POWER AND SYSTEMS PLANS

PARTITION TYPES



E EXISTING STUD WALL, PATCH AND REPAIR HOLES, CRACKS AND/OR ANY OTHER BLEMISH. PREPARE SUBSTRATE FOR SCHEDULED FINISH PER MANUFACTURERS WRITTEN RECOMMENDATIONS.

PROJECT SUMMARY:

THIS PROJECT CONSISTS OF APPROXIMATELY 885 SQUARE FEET OF RENOVATION FOR PULMONARY ON THE THIRD FLOOR OF THE HOSPITAL. CONSISTS OF FINISH UPGRADES: FLOORING REPLACEMENT, CEILING/LIGHT REPLACEMENT AND NEW PAINT. RENOVATION ALSO INCLUDES REPLACEMENT OF CHECK IN TRANSACTION WINDOW, IMPROVING PATIENT CONFIDENTIALITY.

APPLICABLE CODES

- FIRE:** NFPA INCLUDING 101 LIFE SAFETY CODE, 2000 AND 2009 EDITION
- BUILDING:** IBC BUILDING CODE, 2009 EDITION
- ACCESSIBILITY:** ADA, ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES 2010 EDITION.
- MECHANICAL:** 2007 ASHRAE STANDARD 90.1
- PLUMBING:** 2009 MAINE STATE PLUMBING CODE
- ELECTRICAL:** 2008 NATIONAL ELECTRIC CODE

REV	DATE	DESCRIPTION
0	9-29-14	ISSUED FOR CONSTRUCTION

GRAPHIC SCALE:
0" 1"

SCALE: 1/4"=1'-0"

PROJECT MANAGER: KD

JC/DRAWN BY: MDR /MDR

A/E OF RECORD: KD

PROJECT NO: 14087

SMRT FILE: G1001-14087

DATE: 9-29-14

SHEET TITLE:
COVER SHEET

SHEET No.
G1001



Commercial Interior & Change of Use Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

One (1) complete set of construction drawings must include:

Note: Construction documents for costs in excess of \$50,000.00 must be prepared by a Design Professional and bear their seal.

- N/A Cross sections w/framing details
- Detail of any new walls or permanent partitions
- Floor plans and elevations
- Window and door schedules
- Complete electrical and plumbing layout
- N/A Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment or other types of work that may require special review
- N/A Insulation R-factors of walls, ceilings, floors & U-factors of windows as per the IECC 2009
- N/A Proof of ownership is required if it is inconsistent with the assessors records.
- Reduced plans or electronic files in PDF format are required.
- N/A Per State Fire Marshall, all new bathrooms must be ADA compliant.

Separate permits are required for internal and external plumbing, HVAC & electrical installations.

For additions less than 500 sq. ft. or that does not affect parking or traffic, a site plan exemption should be filed including:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines.
- Location and dimensions of parking areas and driveways, street spaces and building frontage.
- Dimensional floor plan of existing space and dimensional floor plan of proposed space.

A Minor Site Plan Review is required for any change of use between 5,000 and 10,000 sq. ft. (cumulatively within a 3-year period)



Fire Department requirements.

The following shall be submitted on a separate sheet:

- Name, address and phone number of applicant **and** the project architect.
- Proposed use of structure (NFPA and IBC classification)
- Square footage of proposed structure (total and per story)
- Existing and proposed fire protection of structure.
- Separate plans shall be submitted for
 - a) Suppression system
 - b) Detection System (separate permit is required)
- A separate Life Safety Plan must include:
 - a) Fire resistance ratings of all means of egress
 - b) Travel distance from most remote point to exit discharge
 - c) Location of any required fire extinguishers
 - d) Location of emergency lighting
 - e) Location of exit signs
 - f) NFPA 101 code summary
- Elevators shall be sized to fit an 80" x 24" stretcher.

For questions on Fire Department requirements call the Fire Prevention Officer at (207) 874-8405.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

Permit Fee: \$25.00 for the first \$1000.00 construction cost, \$11.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.