

**City of Portland, Maine – Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 144 State Street		Owner: Mercy Hospital		Phone: 879-3574		Permit No: <b>010141</b>			
Owner Address: 144 State Street, Portland, ME 04101-3795		Lessee/Buyer's Name:		Phone:		BusinessName:			
Contractor Name: Ledgewood Inc.		Address: 27 Main Street, So. Portland		Phone: 767-1866		Permit Issued:  FEB 26 2001			
Past Use:  Commercial / Hospital		Proposed Use:  Commercial / Hospital		COST OF WORK: \$ 252,000.00		PERMIT FEE: \$ 1,536.00			
				FIRE DEPT. <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: <i>I-2</i> Type: <i>1B</i>			
				Signature: <i>[Signature]</i>		Signature: <i>[Signature]</i>			
Proposed Project Description:  Interior & structural renovations to add medical space <i>operating room #8</i>				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied				Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	
Permit Taken By: Gayle		Date Applied For: February 5, 2001		gg		Zoning Approval <i>[Signature]</i> Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>			

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

\*\*\* Call Becky Knox @ 767-1866

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

February 21, 2001

SIGNATURE OF APPLICANT	ADDRESS:	DATE:	PHONE:
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE			PHONE:

PERMIT ISSUED WITH REQUIREMENTS

**Historic Preservation**

Not in District or Landmark  
 Does Not Require Review  
 Requires Review - *Any exterior work requires a separate review*

Action:  Approved  Approved with Conditions  Denied

Date: \_\_\_\_\_

PERMIT ISSUED WITH REQUIREMENTS

3

**BUILDING PERMIT REPORT**

DATE: 21 February 2007 ADDRESS: 144 State ST. CBL: 445-C-007

REASON FOR PERMIT: Renovate medical space

BUILDING OWNER: Mercy Hospital

PERMIT APPLICANT: \_\_\_\_\_ (CONTRACTOR 2 edge wood Inc)

USE GROUP: I-2 CONSTRUCTION TYPE: 10 CONSTRUCTION COST: \$252,000 PERMIT FEES: \$1,536.00

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)  
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

**CONDITION(S) OF APPROVAL**

This permit is being issued with the understanding that the following conditions shall be met: \*1, \*11, \*13, \*21, \*22, \*23, \*24, \*27, \*28, \*29.

- X 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- 2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection) **"ALL LOT LINES SHALL BE CLEARLY MARKED BEFORE CALLING."**
- 3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
- 4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts. Section 2305.17
- 5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
- 6. Precaution must be taken to protect concrete and masonry. Concrete Sections 1908.9-19.8.10/ Masonry Sections 2111.3-2111.4.
- 7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
- 8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1999)
- 9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
- 10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
- X 11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42". In occupancies in Use Group A, B.H-4, I-1, I-2, M, R, public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. Handrails shall be a minimum of 34" but not more than 38". Exception: Handrails that form part of a guard shall have a height not less than 36 inches (914 mm) and not more than 42 inches (1067 mm). Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0). Handrails shall be on both sides of stairway. (Section 1014.7)
- 12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
- X 13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
- 14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
- 15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508)mm, and a minimum net clear opening of 5.7 sq. ft. (Section 1010.4)
- 16. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
- 17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's. (Over 3 stories in height requirements for fire rating is two (2) hours. (Section 710.0)
- 18. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)

19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

- In the immediate vicinity of bedrooms
- In all bedrooms
- In each story within a dwelling unit, including basements

20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)

\* 21. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.

\* 22. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.

\* 23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)

24. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".

25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.

26. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).

27. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.

28. All requirements must be met before a final Certificate of Occupancy is issued.

29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).

\* 30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)

31. Please read and implement the attached Land Use Zoning report requirements.

32. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.

33. Bridging shall comply with Section 2305.16.

34. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)

35. All flashing shall comply with Section 1406.3.10.

36. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code. (The BOCA National Building Code/1999).

\* 37. This project will require special inspections as per Section 1205.0 of the Bldg Code

\* 38. The City of Portland has adopted The 1999 BOCA National Building Code & I have reviewed your zoning and feel that there is no major change between the 1996 & 1999 in the Bldg. Code Fire safety

\* 39. Restrictions of Fire resistance systems shall comply with sections 707.0, 709.0, 711.0, 1014, 1112 and 714.0

F. Samuel Hoffes, Building Inspector  
Cc: M. McDougall, PFD  
Marge Schmuckal, Zoning Administrator  
Michael Nugent, Inspection Service Manager

PSH 10/1/00  
\*\*This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.

\*\*\*THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. ( You Shall Call for Inspections )

\*\*\*\*ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.

\*\*\*\*\*CERTIFICATE OF OCCUPANCY FEE \$50.00

**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED**

**Building or Use Permit Pre-Application  
Attached Single Family Dwellings/Two-Family Dwelling  
Multi-Family or Commercial Structures and Additions Thereto**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

**NOTE\*\*If you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction (include Portion of Building): <b>MERCY HOSPITAL 144 STATE ST. Portland - 2nd Floor</b>		
Total Square Footage of Proposed Structure: <b>1740 sq ft</b>	Square Footage of Lot: <b>OR #8</b>	
Tax Assessor's Chart, Block & Lot Number Chart# <b>045</b> Block# <b>C</b> Lot# <b>007</b>	Owner: <b>Mercy Hospital</b>	Telephone#: <b>Bill Connolly 879-3574</b>
Owner's Address: <b>144 STATE ST. Portland ME 04101-3795</b>	Lessee/Buyer's Name (If Applicable):	Cost Of Work: <b>\$252,000</b> Fee: <b>\$1536.00</b>
Proposed Project Description: (Please be as specific as possible) <b>Interior &amp; Structural Renovations to add MEDICAL SPACE.</b>		
Contractor's Name, Address & Telephone: <b>LEDGEWOOD INC. 27 MAIN ST S. Portland</b> <i>CALL 767-1866 *Backup Ken up</i>		Rec'd By: <b>Guy</b>
Current Use: <b>MEDICAL STORAGE</b>	Proposed Use: <b>MEDICAL OPERATING ROOM</b>	

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must Include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan/Site Plan

Minor or Major site plan review will be required for the above proposed projects. The attached checklist outlines the minimum standards for a site plan.

**4) Building Plans**

**Unless exempted by State Law, construction documents must be designed by a registered design professional.**

A complete set of construction drawings showing all of the following elements of construction:

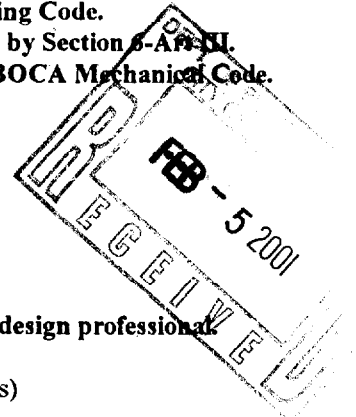
- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

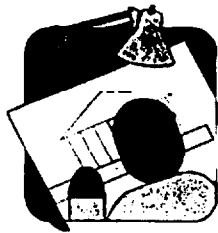
**Certification**

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <b>Scott W. [Signature]</b> Project Manager <b>LEDGEWOOD INC.</b>	Date: <b>1.24.01</b>
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Building Permit Fee: \$30.00 for the 1st \$1000. cost plus \$6.00 per \$1,000.00 construction cost thereafter.  
Additional Site review and related fees are attached on a separate addendum





# CITY OF PORTLAND MAINE

89 Congress St., Rm 315  
Portland, ME 04101  
Tel. -207-874-8704  
Fax- 207-874-8716

**TO:** Inspector of Buildings City of Portland, Maine  
Planning & Urban Development  
Division of Housing & Community Services

**FROM DESIGNER:** Theriault Landmann Associates, 118 Congress Street

**DATE:** Portland, ME 04101  
January 29, 2001

**Job Name:** Mercy Hospital Operating Room #8

**Address of**

**Construction:** 144 State Street, Portland Me 04101-3795

## THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION

Construction project was designed according to the building code criteria listed below:

Building Code and Year BOCA 1999 Use Group Classification(s) I2 Institutional HOSPITAL

Type of Construction 1B Bldg. Height 6 Stories Bldg. Sq. Footage 1,800 renov. / 44,000

Seismic Zone 2 Group Class GROUP III

Roof Snow Load Per Sq. Ft. 50 PSF+ Drift Snow Dead Load Per Sq. Ft. \_\_\_\_\_

Basic Wind Speed (mph) NA Effective Velocity Pressure Per Sq. Ft. NA

Floor Live Load Per Sq. Ft. 80 PSF under previous construction No new floor to be constructed

Structure has full sprinkler system? Yes X No \_\_\_ Alarm System? Yes X No \_\_\_

Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

Is structure being considered unlimited area building: Yes \_\_\_ No X

If mixed use, what subsection of 313 is being considered \_\_\_\_\_

List Occupant loading for each room or space, designed into this Project.

(Designers Stamp & Signature)

*Handwritten Signature: Anne Blackwell*  
*AR 1839*



# City of Portland Maine

389 Congress St., Rm. 315  
Portland, ME 04101

## ACCESSIBILITY CERTIFICATE

**TO:** Inspector of Buildings City of Portland, Maine  
Department of Planning & Urban Development  
Division of Housing & Community Services

**FROM:** Theriault Landmann Associates, 118 Congress Street, Portland ME

**RE:** Certificate of Design, HANDICAP ACCESSIBILITY

**DATE:** January 29, 2001

These plans and/or specifications covering construction work on:

Operating Room #8

Mercy Hospital, 144 State Street, Portland, ME 01401-379

Have been designed and drawn up by the undersigned, a Maine registered engineer/architect according to State Regulations as adopted by the State of Maine on Handicapped Accessibility.

(SEAL)

Signature

Clyde Blackwell AR1834

Title

Clyde Blackwell, Architect

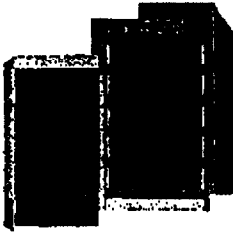
Firm

Theriault Landmann Associates

Address

118 Congress Street, Portland

Portland ME 04101



**CITY OF PORTLAND  
BUILDING CODE CERTIFICATE  
389 Congress St., Rm 315  
Portland, ME 04101**

TO: Inspector of Buildings City of Portland, Maine  
Department of Planning & Urban Development  
Division of Housing & Community Service

FROM: Theriault Landmann Associates, 118 Congress Street, Portland, ME 04101

RE: Certificate of Design

DATE: January 29, 2001

These plans and/or specifications covering construction work on:  
Mercy Hospital Operating Room #8, 144 State Street, Portland ME 04101

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the **BOCA National Building Code 1999 Fourteenth Edition**, and local amendments.

(SEAL)	Signature	<u>Clyde Blackwell</u> AR 1834
	Title	<u>Clyde Blackwell, Architect</u>
	Firm	<u>Theriault Landmann Associates</u>
	Address	<u>118 Congress Street, Portland, ME 04101</u>

**As per Maine State Law:**

\$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.

PSH 6/20/2k



**State of Maine**  
**Department of Public Safety**  
**Construction Permit**



Reviewed  
 for Barrier  
 Free

# 11425

Sprinkled  
 Sprinkler Supervised

**MERCY HOSPITAL: OPERATING ROOM #8**

Located at: 144 STATE STREET  
**PORTLAND**  
 Occupancy/Use: HOSPITAL

Permission is hereby given to:

MERCY HOSPITAL

144 STATE STREET  
 PORTLAND, ME 041013795

to construct or alter the afore referenced building according to the plans hitherto filed with the Commissioner and now approved. no departure from application form/plans shall be made without prior approval in writing. This permit is issued under the provision of Title 25, Chapter 317, Section 2448. and the provisions of Title 5, Section 4594 - F.

Nothing herein shall excuse the holder of this permit for failure to comply with local ordinances, zoning laws, or other pertinent legal restrictions. Each permit issued shall be displayed/available at the site of construction.

*This permit will expire at midnight on the 16th of July 2001*

Dated the 17th day of January A.D. 2001

Commissioner

Fee: \$150.00  
 \$50.00

**Copy-2 Architect**

Comments:

CLYDE BLACKWELL

118 CONGRESS STREET  
 PORTLAND, ME 04101



# Mercy Hospital: Operating Room #8

Portland Maine

**Shelley Engineering, Inc.**  
 STRUCTURAL CONSULTANTS  
 90 Bridge Street, Westbrook, Maine 04092  
 Tel. (207) 854-5465  
 Fax (207) 854-8706  
 www.ShelleyEngineering.com

**THERIAULT/LANDMANN ASSOCIATES INC.**  
 ARCHITECTURE  
 118 Congress St. Portland, ME 04101  
 Tel: (207) 842-8260  
 Fax: (207) 842-6271  
 1 (800) 232-2253  
 www.Admin@e-TLA.com

### Instructions To Bidders

**1. INVITATION:** Notice is hereby given that **Mercy Hospital (Owner)** will accept bids for:

**Operating Room #8**

Bidders may obtain additional copies of the Bid Documents from:

AM-AT-LEP Services  
 231 Oxford Street  
 Portland, ME 772-7006

Bids shall be submitted on the bid form supplied. Each bid shall be enclosed in a sealed envelope bearing the title of the work and the name of the bidder or they may be faxed to 207 842-6271. The Architect will receive and open sealed bids on:

January 5th, 2001 (12:00 noon at the office of Theriault/Landmann Associates).

It is the sole responsibility of the Bidder to deliver the bid on time. No telegraphic bid or modification to the bid will be considered after this time. Late bids will be disqualified and returned unopened.

**2. BID DOCUMENTS:** The Bid Documents include:

A. Contract Documents (drawings and specifications) as noted this Cover Sheet prepared by Theriault/Landmann Associates, 118 Congress Street., Portland, Maine 04101.

B. These Instructions to Bidders.

C. Addenda and written changes to the Bidding Documents, as may occur.

D. Bid Form: Make bids with line item breakdowns. Unaltered conditions, limitations, or provisions attached to the proposal may be cause for rejection of the proposal.

E. Contract Form: AIA Document A107-1997 (amended).

**3. EXAMINATION OF CONTRACT DOCUMENTS & WORK SITE:**

A. Before submitting a bid, each Bidder shall carefully examine the Bid Documents and attend an on-site meeting to review the new O.R. space, mechanical room and roof on Dec. 28, 2000 at 8:00 AM. Meet at the Engineering office on level B2 of Mercy Hospital.

Each Bidder shall fully inform himself of all existing conditions and limitations under which the work is to be performed. He shall include in his bid a sum to cover all costs of items necessary to perform the work as set forth in the Contract Documents. No allowance will be made to any Bidder because of lack of such examination or knowledge. Any Contractor who fails to visit the work site may be disqualified from the bid.

B. Items outside of this contract are described under "SPECIAL WORK SCOPE".

**4. WITHDRAWAL OF BIDS:** A Bidder may only withdraw his bid personally or by written request prior to the scheduled time for opening bids. All bids shall remain valid for a period of 60 days after the date set for opening.

**5. AWARD OR REJECTION OF BIDS:** The Contract, if awarded, will be awarded to the Bidder who has proposed the lowest Contract Sum and can complete work within the schedule. The Owner reserves the right to reject any or all bids and to waive any informality or irregularity in the bid or in the bidding process. Award will be made on January 8, 2001.

**6. PERMITS, FEES AND LICENSES:** The Contractor shall secure and pay for all permits, governmental fees, and licenses necessary for the proper execution and completion of the work which are applicable at the time the bids are received. Bidder's pricing shall include applicable sales tax, if any.

**7. INSURANCE:** A certificate of insurance containing policy information for Comprehensive General Liability Insurance, Worker's Compensation, and Employer's Liability Insurance shall be provided by the successful Contractor.

**8. GENERAL REQUIREMENTS:**  
 Commercial Auto/Truck Liability Combined Single Limit - \$500,000  
 Any One Accident (for Bodily Injury & Property Damage)  
 Comprehensive General Liability Personal Injury - \$1,000,000  
 Aggregate Combined Single Limit - \$1,000,000  
 Each Occurrence (for Bodily Injury & Property Damage) \$2,000,000  
 Aggregate Products or Complete Operation - Same as Above

Comprehensive General Liability Insurance may be arranged under a single policy for the full limits required or by a combination of underlying policies with the balance provided by an Excess or Umbrella Liability policy.

**9. INTERPRETATION OF CONTRACT DOCUMENTS:**  
 A. Should a Bidder find discrepancies or omissions in, or be in doubt as to the meaning of the drawing or specifications, he shall make inquiries in writing to the Architect, who will answer with a written addendum to all Bidders. Inquiries must be received by the Architect no later than four (4) working days prior to the time set for the receipt of bids. All addenda so issued shall become part of the Contract Documents.

B. Neither the Owner nor the Architect will be responsible for any oral or telephonic instructions.

C. Inquiries during bidding period shall be directed to: **Clare Blackwell, R.A. 207 842-6260.**

**10. EXECUTION OF AGREEMENT:** The Bidder to whom the Owner awards the Contract, shall sign and deliver to the Architect all required copies of the Agreement within 5 days after notice of award.

At or prior to delivery of the signed Agreement, the Contractor shall deliver to the Architect the following items, which shall be subject to the approval of the Owner and Architect before the successful Bidder may proceed with the work:

1) Policies of insurance or Certificates of Insurance;  
 2) Construction schedule;  
 3) Proposed phasing plan for the construction;  
 4) List of all subcontractors with company name and address, contact person(s), telephone and facsimile numbers.

**11. SPECIAL REQUIREMENTS:**  
 A. With respect to all work or construction, whether performed by the General Contractor, a subcontractor or any person, it shall be the sole responsibility of the General Contractor to maintain safe and comfortable conditions for the Owner, the Owner's customers and employees, and the general public.  
 B. Lien waivers will be required from the General Contractor and all of the Sub-Contractors on each request for payment, using partial lien waivers during the project, with a final lien waiver at the completion.  
 C. All work will be done while keeping the existing Hospital O.R.s and systems in operation. This will require phasing of the construction, working over O.R. hours and on weekends. O.R. hours of operation are:  
 Mon. through Fri. -- 7 am - 5:30 p.m.  
 Saturday -- 7 am - 3:30 pm  
 Sunday: No scheduled hours.  
 The Hospital reserves the right to stop construction operations for emergency or unscheduled use of Operating Rooms. Construction may be allowed (at the discretion of the Hospital) during O.R. operational hours. If at any time, Construction activities become disruptive to Operating Room or General Hospital activity a construction supervisor must be immediately available to shut down work for the duration of the essential Hospital activity.

**END OF INSTRUCTIONS TO BIDDERS**

### SUPPLEMENTAL CONDITIONS & TYPICAL NOTES

**1. Contract Documents:** These drawings are part of the Contract Documents and are intended to be used with the 1997 AIA Documents A107 (Amended), "Standard Form of Agreement Between Owner and Contractor".

**Coordination of all Work** including that of his subcontractors, utilities, town, and state agencies is the responsibility of the GC. Subcontractors shall be provided complete sets of working drawings. Subcontractors working from partial, uncoordinated sets do so at their own risk.  
**Drawings and Specifications** - are complementary. If contradictions are found the Architect's interpretation will govern.

**2. Existing Conditions** and dimensions shall be verified by the G.C., and subcontractors prior to start of work and fabrication of work requiring an exact fit. Failure to do so will not be considered grounds for any additional compensation. Notify Architect of any discrepancies between the Contract Documents and visible existing conditions prior to start of work. Contractor shall verify location of underground utilities prior to excavation. Utilize services of "Dig Safe" if available. Any location of existing underground utilities and drainage lines shown in these documents are approximate. No additional compensation will be considered if such precautions are not undertaken.

**Removals:** The Contractor shall be responsible for cutting, patching, and trenching for the trades. Coordinate with the Owner storage and delivery of materials noted on these drawings to be salvaged (if any).

The Contractor shall give 24 hours advance notice of any disruption in services and/or daily operations to the TLA and Owner. Keep disruptions of building occupant activities to a minimum. GC shall provide a detailed construction schedule including dates and time periods of work by trades and compliant with requirements in Instructions to Bidders (if any). Provide weather tight and dust tight temporary closures to protect existing areas during construction. Provide alternate exits from existing areas where required by Codes. Provide negative air pressure in this project to keep existing O.R. clean.

**3. Work** - shall be installed and fastened in a workmanlike manner and in accordance with manufacturer's recommendations, referenced standards, accepted construction practices. Lay out work square, level, plumb, in alignment as shown, to avoid cuts, and avoid using less than half size widths. Do not install work when environmental conditions would adversely affect work unless adequate provisions have been made to counteract heat, cold, moisture, especially in relation to concrete, stucco, masonry, sealers, roofing, drywall, resilient flooring, paint, and conditioning of architectural woodwork and carpet.

**Codes** - The work shown shall comply with the requirements of OSHA, BOCA 1996, NFPA 101 Life Safety Code, Maine State Energy Standards, whether specifically shown on drawings or not.

**Materials** - shall be new, delivered in unopened packages, stored and protected per manufacturer's recommendations. Manufacturers specified are to establish design and quality. Substitute materials will be allowed when accepted by the Architect 5 working days prior to submission of bids. Acquisition of written approval is the sole responsibility of the G.C. (Late, lost, mis-routed or mis-communicated submittals will not relieve the Contractor of responsibility to provide specified item. One manufacturer for each material shall be used throughout.

4. "Provide" - as used in the Contract Documents shall mean the same as "furnish and install".

**5. Dimensions** - are shown to finish face of studs or face of masonry. The Contractor shall verify/coordinate dimensions in field to accommodate site conditions, find material selection and to avoid work conflicts including work by other contractors and sub-contractors. Exact locations of all equipment and materials are subject to approval of the Owner and Architect and they reserve the right to make any reasonable changes in location without extra cost.  
**Do not scale drawings.** Use manufacturer data or call Architect to obtain critical dimensions.

**6. Wood Blocking** - shall be provided as shown on the drawings and for all wall mounted equipment, furnishings, and specialties including but not limited to: shelf standards, grab bars, toilet partitions, coat rack & hooks, and wall mounted cabinets.

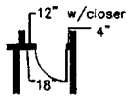
**7. Conceal Work** - including piping, conduit, or ductwork in walls or above ceilings unless specifically called to be exposed on drawings.

**8. New Partitions** - shall run up to the bottom of the structure above unless specifically noted to stop above or below the ceiling.

**9. Repair** - all finishes or items new or existing to remain that are damaged during construction. Failure to document existing conditions outside the work area that may be subject to disturbance, shall not eliminate responsibility to repair damaged existing finishes. GC is responsible to prevent/repair site erosion during all phases of construction.

**10. ADA Requirements:** Contractor shall provide Accessible features as noted in the Contract Documents.  
 All latch sets shall have lever knobs.

Door Location: Minimum latch side wall dimensions shall be as shown to comply with Accessibility Guidelines. (Place all new doors w/4" clearance between hinge edge and GP/W finish side.)



### SPECIAL WORK SCOPE

**A. DESIGN/BUILD:** This is a design/build project for supervised sprinklers, mechanical, electric (including automatic fire alarm) and plumbing. The Contractor shall prepare and submit to Architect: stamped design drawings, shop drawings, product cuts. The Architect will review said work for compliance with scope of work, performance specifications and/or fixture schedules indicated in this set. After review the Contractor shall submit drawings to local Code Enforcement Official for approval.

The shell space is fully sprinkled. This Contract shall include sprinkler modification and/or replacement to add flush sprinkler heads and branches to comply with applicable codes. No sprinklers are required in concealed space above ceilings.

**B. PRESELECTED SUB-CONTRACTORS:**  
 The following Contractors have been selected for this project and shall be included under this Contract.  
 TITAN MECHANICAL (for HVAC, Medical Gases, and Plumbing)  
 EASTERN ELECTRIC  
 HIGH TECH SPRINKLERS

STRUCTURAL STEEL (including: provision, fabrication, and jobsite delivery of the steel on or before January 22, 2001) has been pre-bid to:  
 James A. McBrady Inc. and  
 Megquier and Jones Inc.

The lower bid for steel shall be added to the G.C.'s base bid and Contract. Steel bids do not include erection, placement of new steel nor jacking of existing roof and shall be carried by the G.C. in his base bid.

**C. HOSPITAL EQUIPMENT** to be installed by vendors contracted directly by the Hospital. Shop drawings will be provided to this Contractor. The Contractor for this work shall be responsible for:

1. **SURGICAL LIGHT (2 head)** will be provided by the Hospital and installed by the Contractor. Supports for fixture shall be provided by the Contractor.  
 2. **ANESTHESIA MACHINE** will be provided and placed (on wheels not built-in) by the Hospital. The Contractor shall coordinate and provide gases, and electrical requirements.  
 3. **TELEPHONES AND INTERCOM** will be provided and installed by the Hospital. The Contractor shall provide conduit and rough-in as required.

**D. FINISHES BY OWNER:**  
 Paper file holder  
 Medication drawer unit  
 (3) Tables  
 (2) OR stools, (1) anesthesia  
 (2) Ring stands, (2) Step stool  
 (1) Anesthesia cart  
 Wash Basin, Laundry Hopper  
 (2) Kick buckets/holders  
 Case Cart System  
 Strips & holders  
 Basin, Patient Roller  
 (3) IV poles, (4) Drape Tables

**E. MOVABLE EQUIPMENT:**  
 The Contractor shall coordinate and provide electrical requirements for Hospital Supplied/Placed Equipment.  
 SURGICAL TABLE Wood #3080  
 HEAD LIGHT, TSP MACHINE, TOLMOQUET  
 ANESTHESIA MONITOR Dots, Ohmeda  
 ANESTHESIA SPECTRAL INDEX MONITOR  
 INFUSION PUMP Ohmeda  
 PC PERIUM FLUID WARMER  
 BARR HUGER HYPOTHERMIA UNIT  
 WARMING CLOSET for Blankets/Fluids

**F. WALL MOUNTED EQUIPMENT:**  
 shall be provided by the Hospital and installed by the Contractor. Stocking within the wall shall be provided by the Contractor.  
 2 arm file holder  
 2 arm boards and wall holder  
 Shoe box  
 Mobile bin  
 Scrub brush holder

**REQUIRED SUBMITTALS**

Submittals - The Contractor shall review and stamp submittals prior to the Architect review. Contractor's review of submittals represents that the Contractor has determined and verified materials, field dimensions and field construction criteria related thereto and has checked and coordinated information within submittals with design concept and information given in the Contract Documents. TLA may reject any submission without said stamp. TLA is not responsible for any delays in the project caused by rejected or incomplete submittals. G.C. should expect a minimum of four day submittal turn around.

Submit manufacturer's data, samples, schedules and shop drawings for the Architect's review and acceptance as follows:

Construction Schedule  
 Steel  
 Spray-on Fireproofing

Roofing Materials  
 Doors and Hardware  
 Built-in Hospital Equipment  
 HVAC Equipment  
 Electrical Devices  
 Plumbing Fixtures  
 Medical Gas Systems

**As Built** shall be given to the Owner upon completion showing any departures from the Contract Documentation a reproducible set of drawings.

**Operation and Maintenance Instructions** shall be given to the Owner in a bound/loose leaf set upon completion for equipment, finishes, fixtures and appliances, etc. Include copies of Manufacturer's warranties.

### CONTRACT DOCUMENTS

SH#	DRAWING NAME	Date	Revision	Revision
Cover	COVER SHEET	2-15-01		
A1	SECOND FLOOR PLAN & CEILING PLAN	2-15-01		
A2	THIRD FLOOR PLAN AND ROOF PLAN	2-15-01		
A3	SECTION A-A AND DETAILS	2-15-01		
A4	SECTION B-B DETAILS	2-15-01		
A5	DETAILS, INTERIOR ELEVATIONS AND SCHEDULES	2-15-01		
M1	OPERATING ROOM HVAC LAYOUT	1-30-01		
M2	EQUIPMENT LAYOUT, DETAILS & SCHEDULES	1-30-01		
P1	OPERATING ROOM PLUMBING LAYOUT	1-30-01		
E1	OPERATING ROOM HVAC LAYOUT VERTICAL EXPANSION (2000)	2-14-01		
S1	EXISTING CONDITIONS, NOTES	12-15-00		
S2	EXISTING ROOF FRAMING	12-15-00		
S3	NEW ROOF FRAMING	12-15-00		
S4	CROSS SECTION A-A	12-15-00		
S5	CROSS SECTION B-B	12-15-00		
S6	SECTIONS AND DETAILS	12-15-00		
S7	SECTIONS AND DETAILS	12-15-00		
S8	SECTIONS AND DETAILS	12-15-00		

### BUILDING DATA fire safety

A	CONSTRUCTION TYPE	Requirement	BOCA 1996	NFPA 101 1997
A	PROTECTED Non-Combustible		16 603.0	1 (332) NFPA 256
B	AUTOMATIC SPRINKLERS: AN EXISTING SUPERVISED SPRINKLER SYSTEM WILL BE MODIFIED.		NFPA 13-94 904.6/906.0	7-7
C	AUTOMATIC FIRE ALARM SYSTEM: A FIRE ALARM SYSTEM EXISTS.		NFPA 72-93 919.0	7-6
D	BUILDING HEIGHT = 6 STORIES		UNLIMITED	TABLE 503
E	BUILDING AREA/FLOOR = 3,360 S.F.		UNLIMITED	TABLE 503
F	OCCUPANCY GROUP INSTITUTIONAL HOSPITAL		7-2"	308.0 4-1.4
G	EXIT MARKING	See...	1024.4	5-10
H	MEANS OF EGRESS LIGHTING	1 ft - See...	1024.4	5-8 & 5-9
J	MINIMUM STAIR EGRESS WIDTH	44"	1014.3	5-2.2.1
K	EGRESS CAPACITY HORIZONTAL (sprinkled)	27"/Person	1014.3	5-3.3
L	MINIMUM HORIZONTAL ACCESS	96"	1011.3	12-2.3.3
M	NUMBER OF EXITS	2 Exits Req'd	Table 1010.3	12-2.4
N	TRAVEL DISTANCE (sprinkled)	200'-0"	1006.5	12-6.2.6.2
O	COMMON PATH OF TRAVEL	N.A.	1011.2.1	5-5.1.2
P	MAX. DEAD END (sprinkled or not)	20'-0"	1011.2	12-2.5.10
1	EXTERIOR WALLS LOAD BEARING	0 HOURS	Table 602 & 705.2	
2	FIRE WALLS / PARTY WALL	N.R.	Table 602	
3A	ENCLOSURE OF EXITS (less than 4 stories-1 HOUR)	2 HOURS	Table 602 & 1014.11	
3B	ENCLOSURE OF SHAFTS (less than 4 stories-1 HR.)	2 HOURS	Table 602 & 710.3	
3C	MIX USE SEPARATION	N.A.	Table 602 & 302.1.1	
4	EXIT ACCESS CORRIDORS	0 HOUR	Table 602, 409.0, & 1014.4	
5	DWELLING UNIT SEPARATION	N.R.	Table 602	
6	SMOKE BARRIERS	1 HOUR	Table 602 & 712	
7	NON-LOAD BEARING PARTITIONS	0 HOURS	Table 602	
8	LOAD BEARING PARTITIONS	3 HOURS	Table 602	
9	STRUCTURAL MEMBERS	2 HOURS	Table 602	
10	FLOOR CONSTRUCTION	2 HOURS	Table 602	
11	ROOF CONSTRUCTION	1.5 HOURS	Table 602	
12A	BOILER/FURNACE RM (or sprinkler/smoke partition)	1 HOUR	Table 302.1.1	Tb 12-3.2.1
12B	SOILED LINEN & STORAGE ROOM <100 s.f.	Sprinkler	Table 302.1.1	Table 302.1.1
13A	SMOKE BARRIERS	22,500 SF.	409.4	

**FOR CONSTRUCTION**  
**Mercy Hospital**  
**Operating Room #8**  
**Portland, Maine**

### DRAFTING SYMBOLS LEGEND

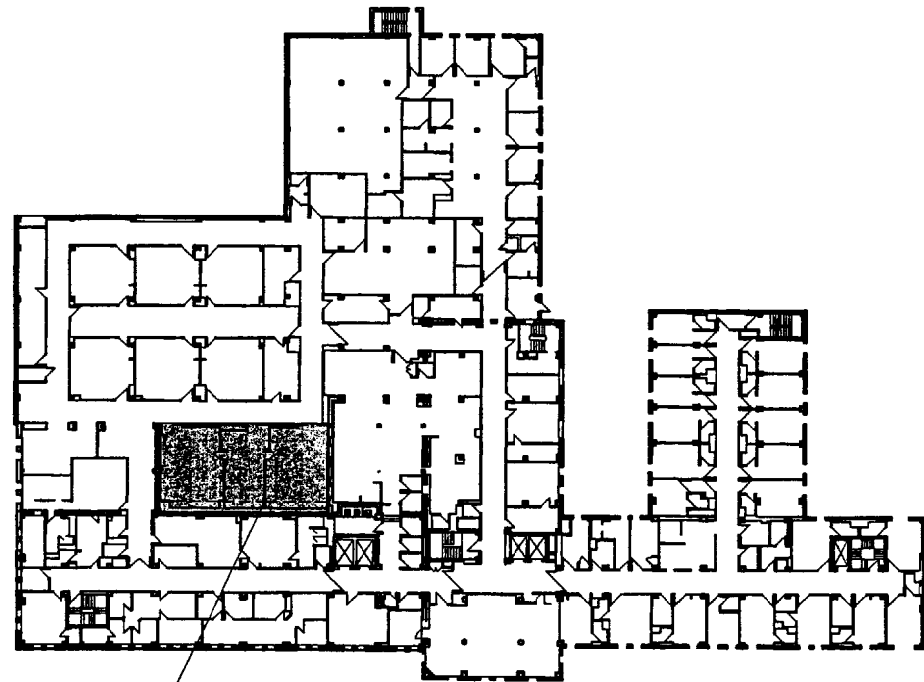
DRAWING NO.	1 Floor Plan	TYPE DRAWING	Partition Type	INTERIOR ELEVATION	Room Name	OFFICE	SECTION MARKER	DETAIL MARKER	ELEVATION MARKER	FINISH SYMBOLS	DEMOLITION	NEW WALL CONSTRUCTION																
SHEET NO.	A-2 SCALE: See Title Block	(typical wall, door, window detail)	DF2 2 Hours	N, S, E, W, or Top, Bottom, Left, Right	Exam Rm	203 Note...	(1) 1-10	(1) 1-10	(1) 1-10	P LAM	Fully remove existing construction indicated	TYPE MARKER (for typical wall, door, window details) See Dwg List for Sheet No. for Referenced Details																
COLUMN LINE	SPOT ELEVATION	STAIR DIRECTION	WINDOW NUMBER	EQUIPMENT KEY	REVISION NO.	BREAK LINE	Notes of particular importance	Adjust dimension to suit ext. conditions.	SLIDING DOOR	BIFOLD DOOR	ACCORDIAN DOOR	FOLD PARTITION	EXISTING DOOR	NEW DOOR	CASED OPENING	DOOR WIDTH	DOOR NUMBER	(based on r/f)	Fire Label	BATT	INSULATION	RIGID INSULATION	DRYWALL	ACOUSTIC TILE	GLASS	GLASS in Elevation	TILE in Elevation	ROOF SHINGLES in Elevation
EARTH	ROCK/LEDGE	AGGREGATE	COMPACTED FILL	CONCRETE	SAND or PLASTER	BRICK	CONCRETE (BLOCK)	MASONRY UNIT	STONE	STONE Elevation	STEEL	ALUMINUM	RUBBER/PLASTIC	ROUGH WOOD FRAMING	FINISH WOOD	PLYWOOD	PARTICLE BOARD	WOOD FACE	BATT	INSULATION	RIGID INSULATION	DRYWALL	ACOUSTIC TILE	GLASS	GLASS in Elevation	TILE in Elevation	ROOF SHINGLES in Elevation	

Cover

set number

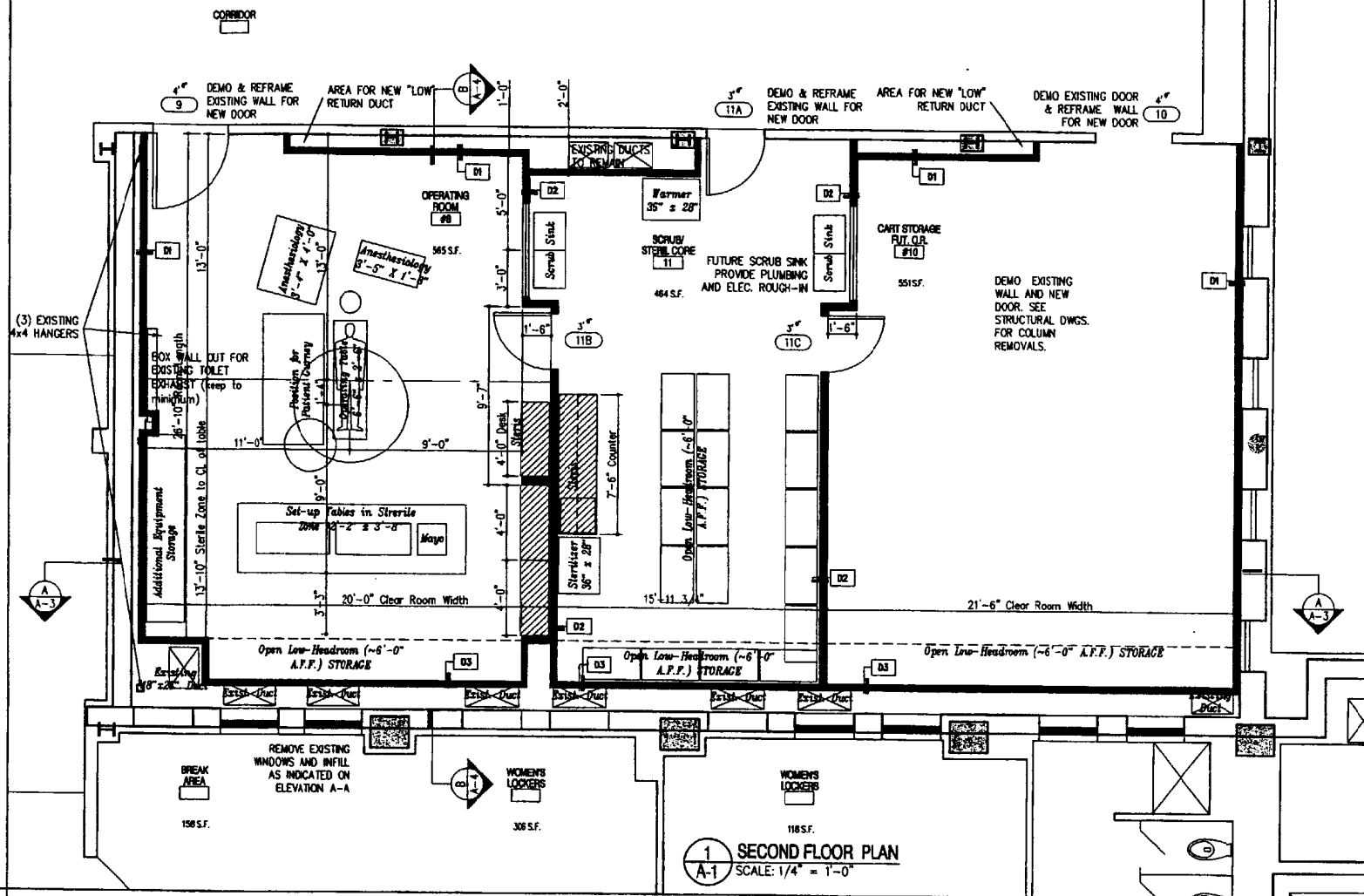
issued: 12-22-00

project no. 0039

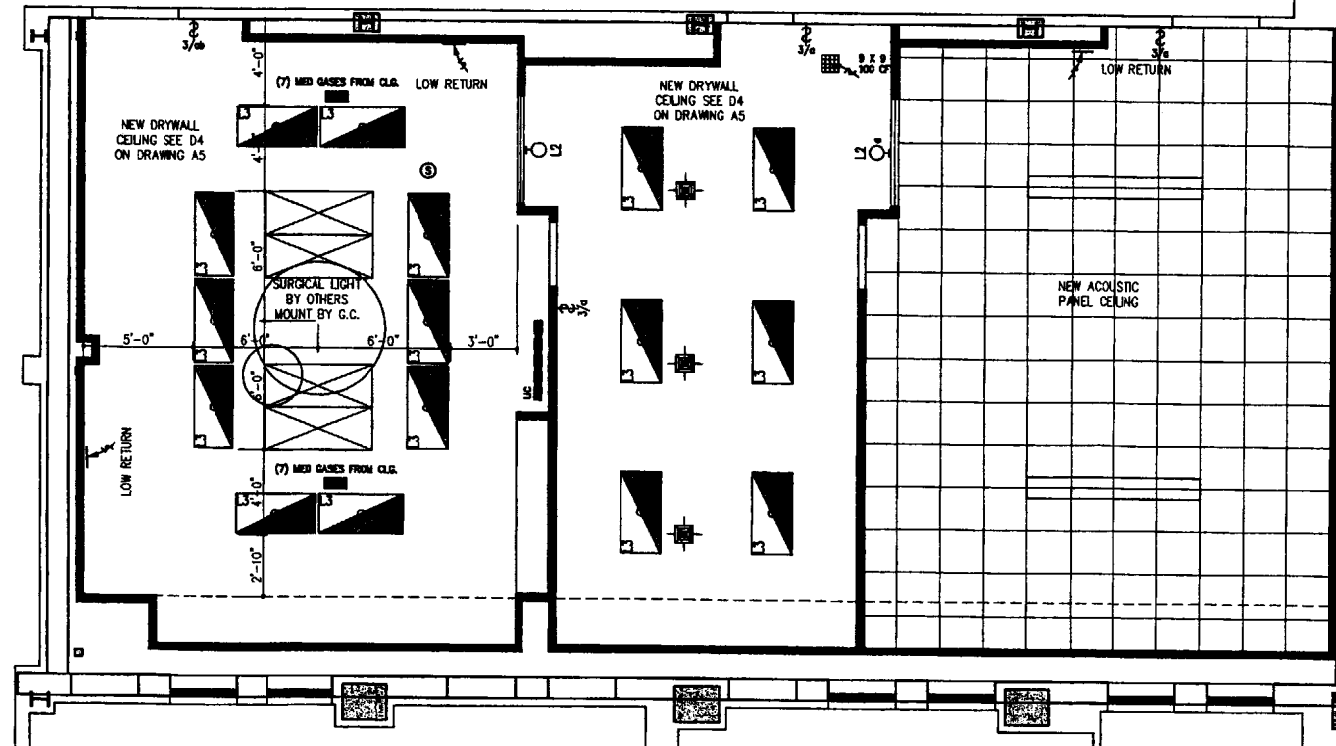
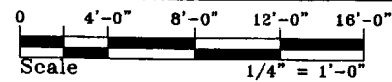


PROJECT AREA

3 SECOND FLOOR KEY PLAN  
SCALE: 1" = 30'-0"



1 SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"



2 SECOND FLOOR CEILING PLAN  
SCALE: 1/4" = 1'-0"

**TYPICAL NOTES**

1. **HVAC AND PLUMBING:** Work shall comply with section 7.31 "Electrical Standards" of latest edition of Guidelines for Construction and Equipment Hospital and Medical Facilities, by the AIA.
2. **PLUMBING NOTES:**
  - A. Provide Scrub Sink Model #787955 if with electronic eye and plumbing rough-in for (2) sinks.
  - B. Provide (1) additional roof drain and plumbing as required to relocate (2) existing roof drains.
3. **MEDICAL GASES:**
  - A. Provide all gases (and suction) at head and foot of surgical table, ceiling mounted.
4. **ELECTRICAL WORK:** Work shall comply with section 7.32 "Electrical Standards" of latest guidelines for Hospital and Medical Facilities.
  - A. Provide lighting fixtures as follows:
    - L2 = 2 x 4 fluorescent fixture, recessed (in GPDW ceiling), sealed, double switched, 4 tube.
    - L3 = Wall mounted fixture over scrub sink.
    - L4 = Wall mounted fixture as desk light in O.R.
  - B. Provide wall mounted dock and count-down clock.
  - C. Provide electrical devices in quantity and locations as shown. Match existing hospital quality and coordinate with equipment list to be supplied.
  - D. Provide Code call system as directed by Hospital.
  - E. Provide rough-in for intercom and telephone system to be provided by the Hospital.

FOR CONSTRUCTION

MERCY HOSPITAL OPERATING ROOM #8  
PORTLAND, ME

project  
drawing title  
SECOND FLOOR PLAN  
AND CEILING PLAN

**A1**

sheet number  
issued:  
project no. 0039

revision #/ date Revision Reason

1 2-18-01 For Construction

date 12-22-00 drawn by: CB 1/4" = 1'-0"



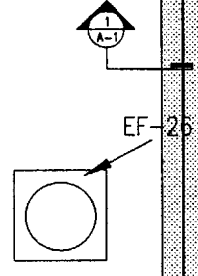
TYPICAL ROOFING NOTE:  
 PROVIDE NEW ADHERED ROOFING, FLASHING IN  
 SHADED AREAS TO MATCH EXISTING AND TO  
 COMPLY WITH DETAILS AS RECOMMENDED BY  
 MANUFACTURER.

RTU-2  
 Raise RTU-2  
 over new steel

RTU-1

REMOVE 6'-0" WIDE x 4'-0" HIGH  
 DOOR. RELOCATE 48" x 48" LOUVER  
 INTO OPENING AND INFILL REMAINDER  
 OF OPENING WITH

PROVIDE NEW 48" x 48" H.M. DOOR  
 PAINTED IN FORMER LOUVER OPENING.



EXISTING ROOF AREA  
 TO BE JACKED-UP

EXISTING ROOFED OVER  
 SKYLIGHT OPENING

EXISTING ROOFED OVER  
 SKYLIGHT OPENING

EXISTING VENT THRU ROOF  
 RELOCATE AS REQUIRED FOR  
 NEW PLUMBING AND ROOF  
 STEEL

EXISTING VENT THRU ROOF  
 RELOCATE AS REQUIRED FOR  
 NEW PLUMBING AND ROOF  
 STEEL

EXISTING DUCTS PENETRATING  
 ROOF. REMOVE AND REPLACE  
 AS REQUIRED TO RAISE ROOF.  
 PROVIDE NEW PENETRATION  
 POCKET IF REQUIRED.

REMOVE (2) EXISTING  
 SKYLIGHTS AND CURBS.  
 CLOSE OPENING WITH  
 METAL DECKING, ROOF  
 INSULATION AND  
 MEMBRANE ROOFING TO  
 MATCH EXISTING.

RD Existing

RD Existing

RD New

NEW AIR HANDLER

AHU#11

HEAT EXCHANGER

MECHANICAL  
 ROOM  
 sf.

CU-7

CU-6

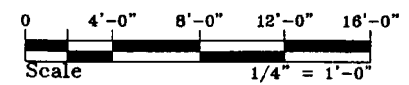
STORAGE

TOILET  
 215 SF

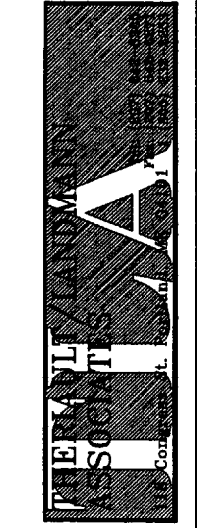
TOILET  
 18 SF

OFFICE  
 80 SF

1 THIRD FLOOR & ROOF PLAN  
 A-2 SCALE: 1/4" = 1'-0"



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revision #/ date	Revision Reason
1 2-16-01	
date	12-22-00
drawn by:	CB
scale:	1/4" = 1'-0"

**FOR CONSTRUCTION**

MERCY HOSPITAL OPERATING ROOM #8  
 PORTLAND, ME  
 project

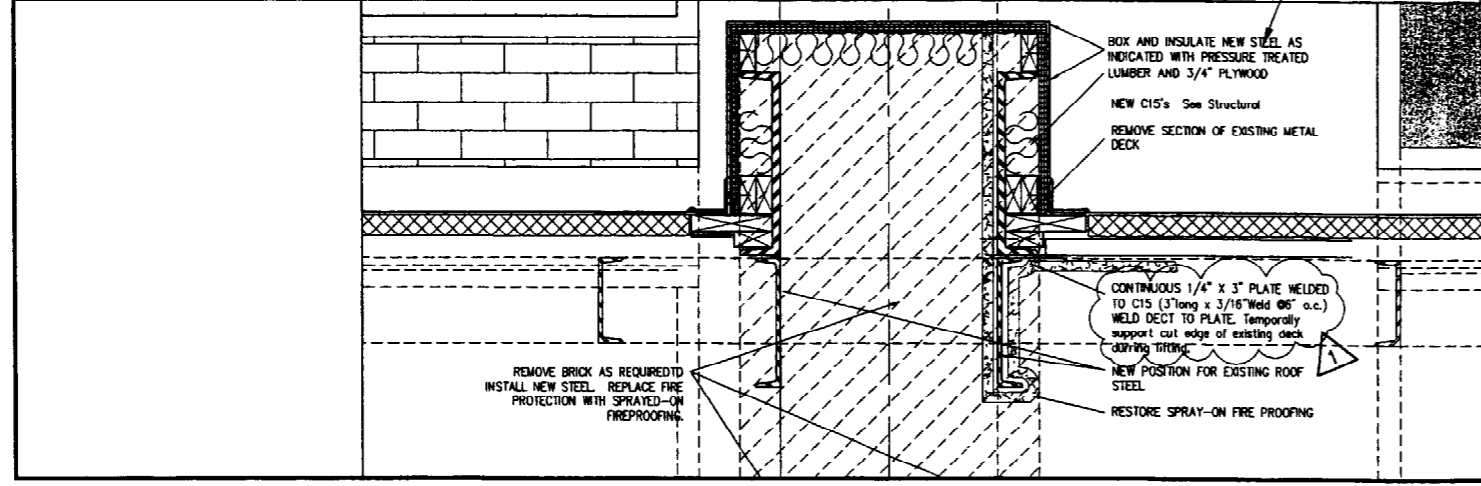
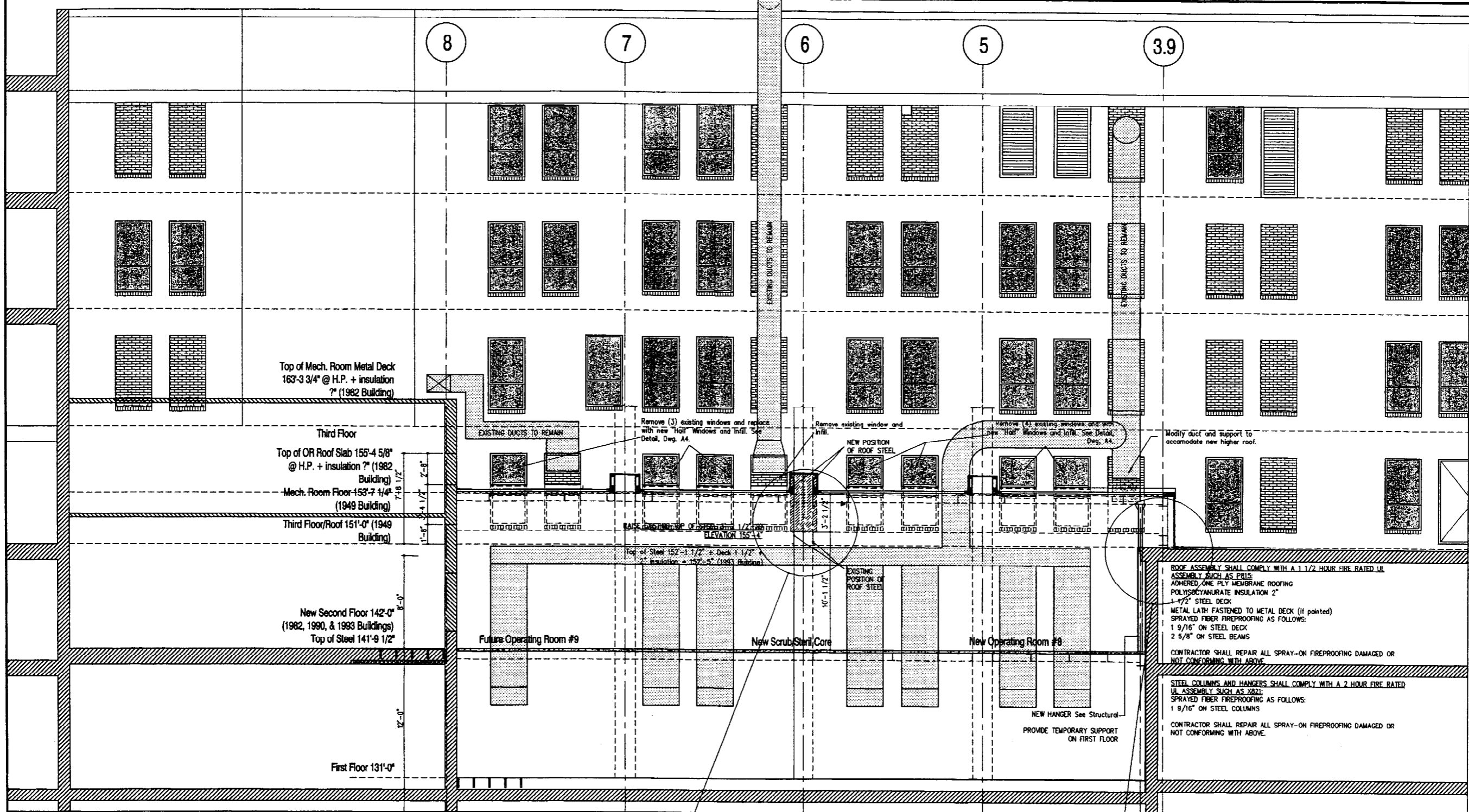
THIRD FLOOR PLAN  
 AND CEILING PLAN  
 drawing title

**A2**  
 sheet number

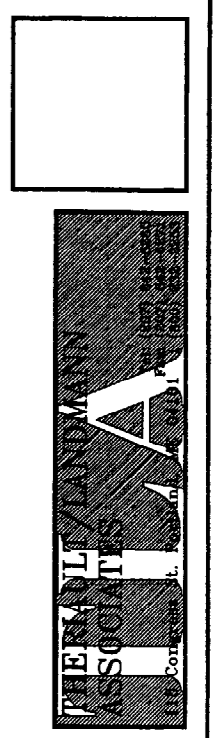
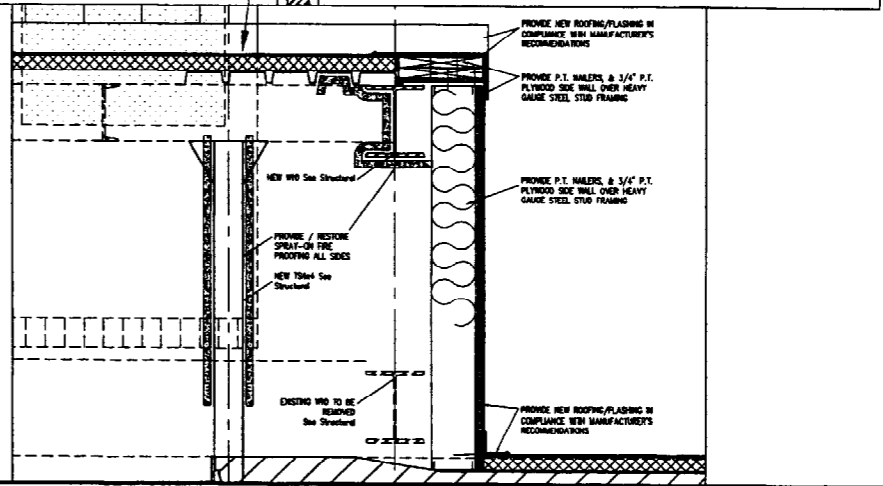
issued:  
 project no. 0039



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1 SECTION A-A  
A-3 SCALE: 1/4" = 1'-0"



Revision # / date	Revision Reason
1 / 2-16-01	For Construction

date 12-22-00 drawn by: CB 1/4" = 1'-0"

**FOR CONSTRUCTION**

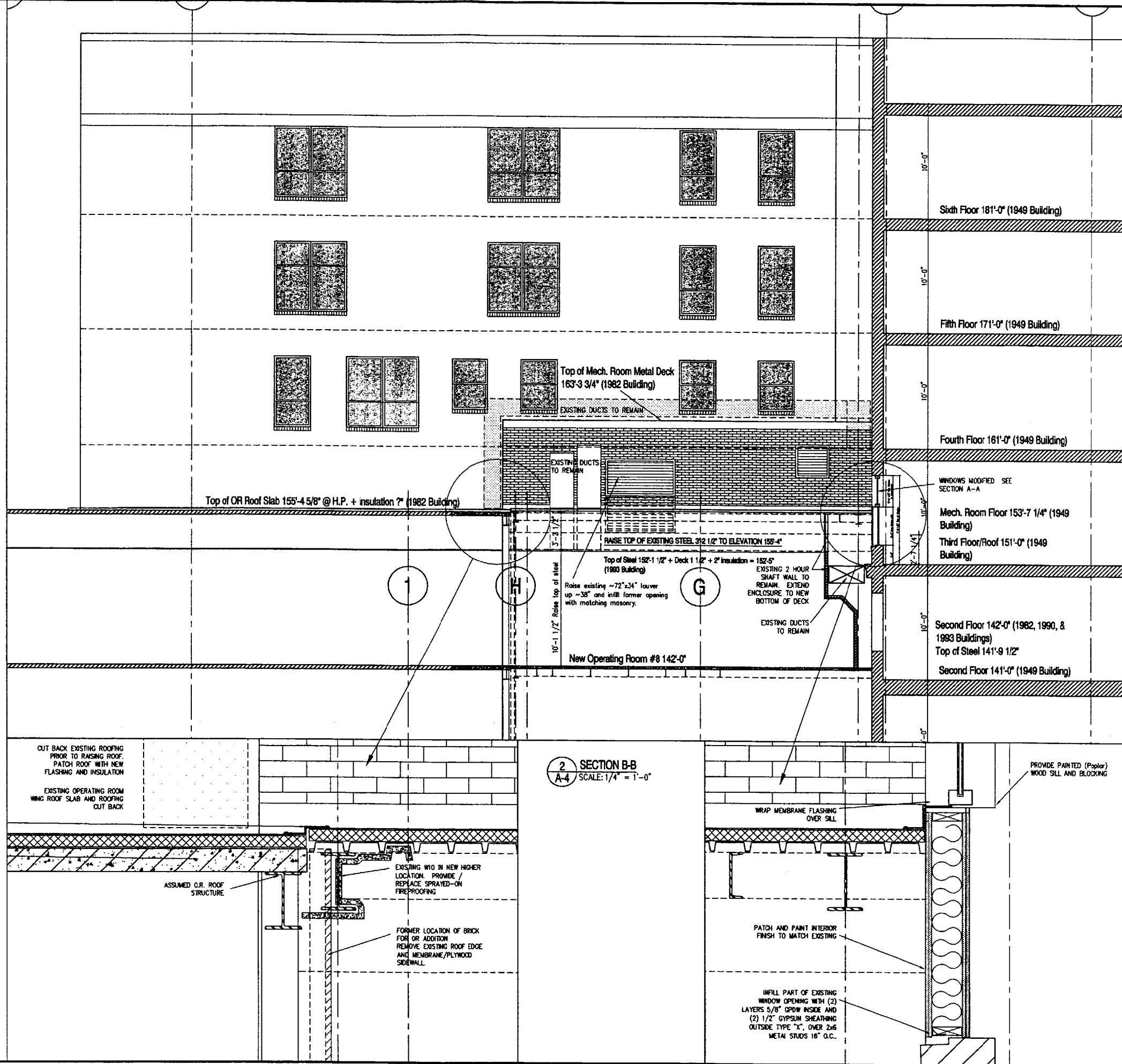
MERCY HOSPITAL OPERATING ROOM #8  
PORTLAND, ME

SECTION A-A AND DETAILS

drawing title

A3	sheet number	0039
	issued:	
	project no.	

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**2 SECTION B-B**  
A-4 SCALE: 1/4" = 1'-0"

**FOR CONSTRUCTION**

**MERCY HOSPITAL OPERATING ROOM #8**  
PORTLAND, ME

**SECTION B-B AND DETAILS**

drawing title

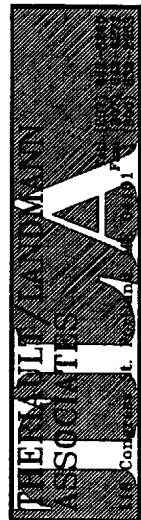
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sheet number  
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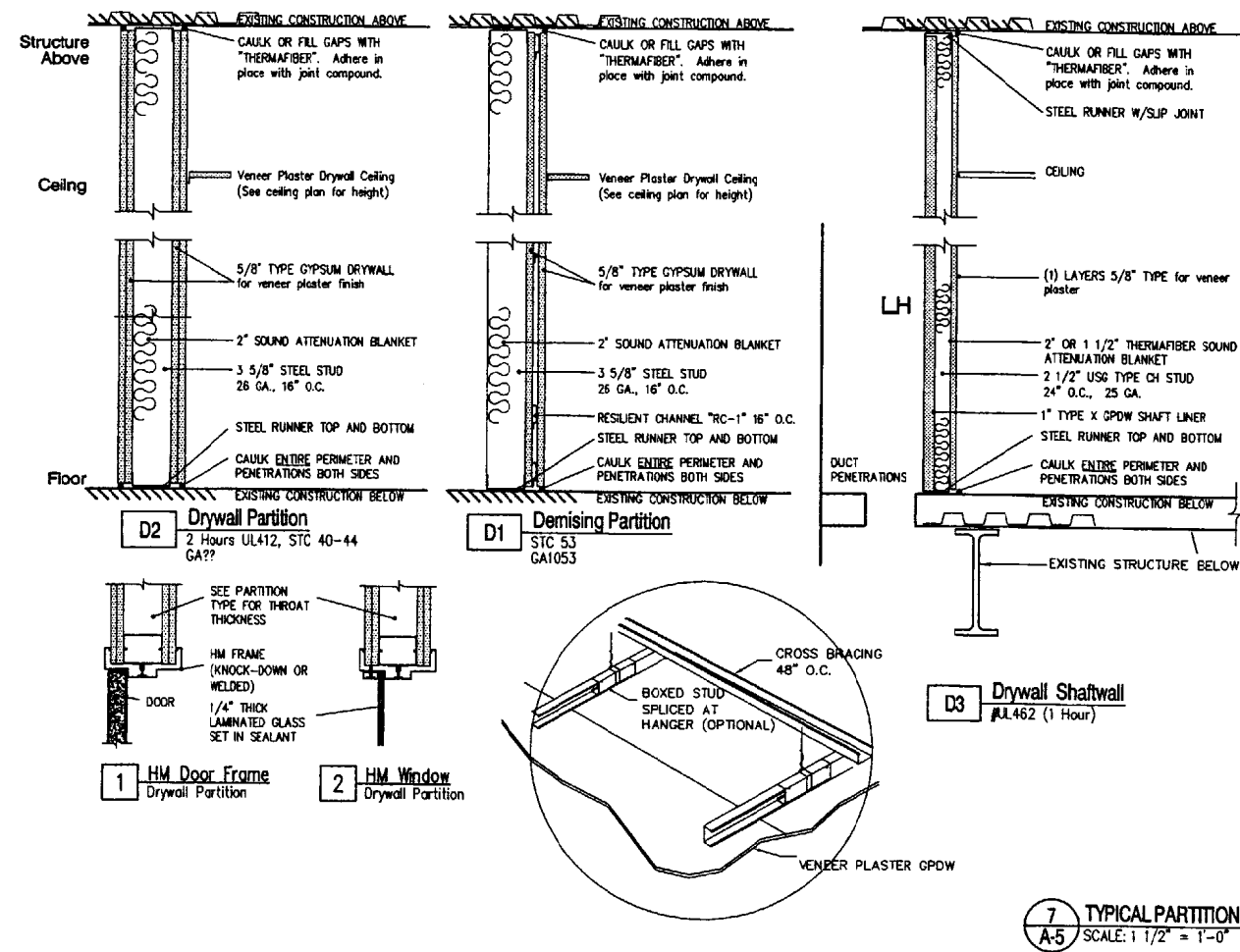
revision #/ date Revision Reason

1 2-18-01 For Construction

date 12-22-00 drawn by: CB 1/4" = 1'-0"







**DOOR SCHEDULE**

DOOR NO.	TO	FROM	HAND	DOOR SIZE	DOOR	JAMB	DETAILS	Fire Rtg.	REMARKS
109, 110	Operating Room/Hall			4'-0" x 7'-0" x 1 3/4"	A	Wd	1 1 1	- - 1	Small Light
111A	Scrub	Hall		4'-0" x 7'-0" x 1 3/4"	A	Wd	1 1 1	- - 1	Small Light
111B, 111C	Operating Room/Scrub			3'-0" x 7'-0" x 1 3/4"	B	Wd	1 1 1	- - 1	Half Light
111C	Operating Room/Scrub			5'-0" x 3'-6" x	C	Wd	2 2	- - -	Window Frame Only

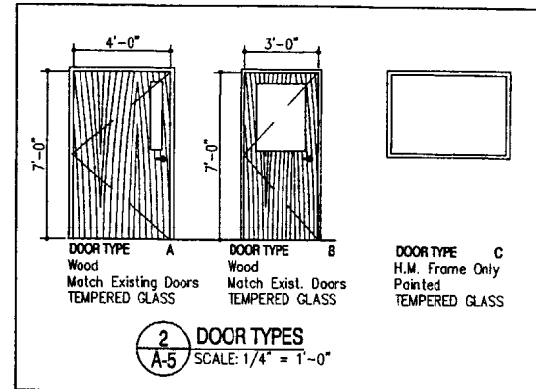
**DOOR AND HARDWARE NOTES**

- TYPICAL LOCKSET / LATCHSET: SHALL match existing hardware with lever knob. Match finishes.
- DOOR SCHEDULE notations refer to the following:
  - "Door No." are assigned by lockable room number. If more than one door exists then a suffix A, B, C... is applied. A series of room numbers may be indicated to save listing each door.
  - "Hand" In most cases door hand will not be shown except when locked side of door is unclear. It is the responsibility of the Contractor to refer to the drawings if hand hardware is required.
 

KEY SIDE
  - "Door Size" refers to nominal door opening. For rough framing opening refer to manufacturer's requirements on shop drawings.
  - "Door Type" An elevation of the door is shown on this sheet. Additional information is shown including: Core type, insulation, glass area, decorative panels, finish, side lights and transom lights, NIC rating manufacturer and specification...
  - "Frame Type" An elevation of a frame type is indicated when on door is not required as in the case where a window with a hollow metal frame or a hollow metal cased opening is required. If a frame type is not indicated then it is shown with the door type.
  - "Details" refers to head, jamb and/or threshold details shown on this sheet. Typically one detail is drawn for the head and jamb which are similar enough.
  - "Fire Label" refers to a UL tested door and frame assembly meeting specific fire resistance specifications. A tag on the door and frame must be provided attesting to fire rating. Do not paint over tag.
  - "Remarks" includes information not in any other heading for example:  
Undercut door 1". Special Door System see specification Section ...provide new door and frame sized to utilize existing door opening. Provide new hardware for existing door.  
See signage schedule for sign mounted on this door...

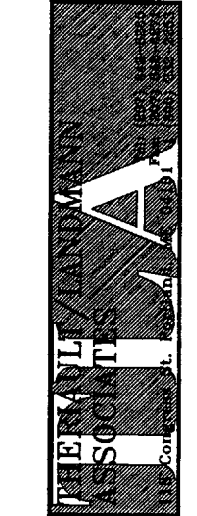
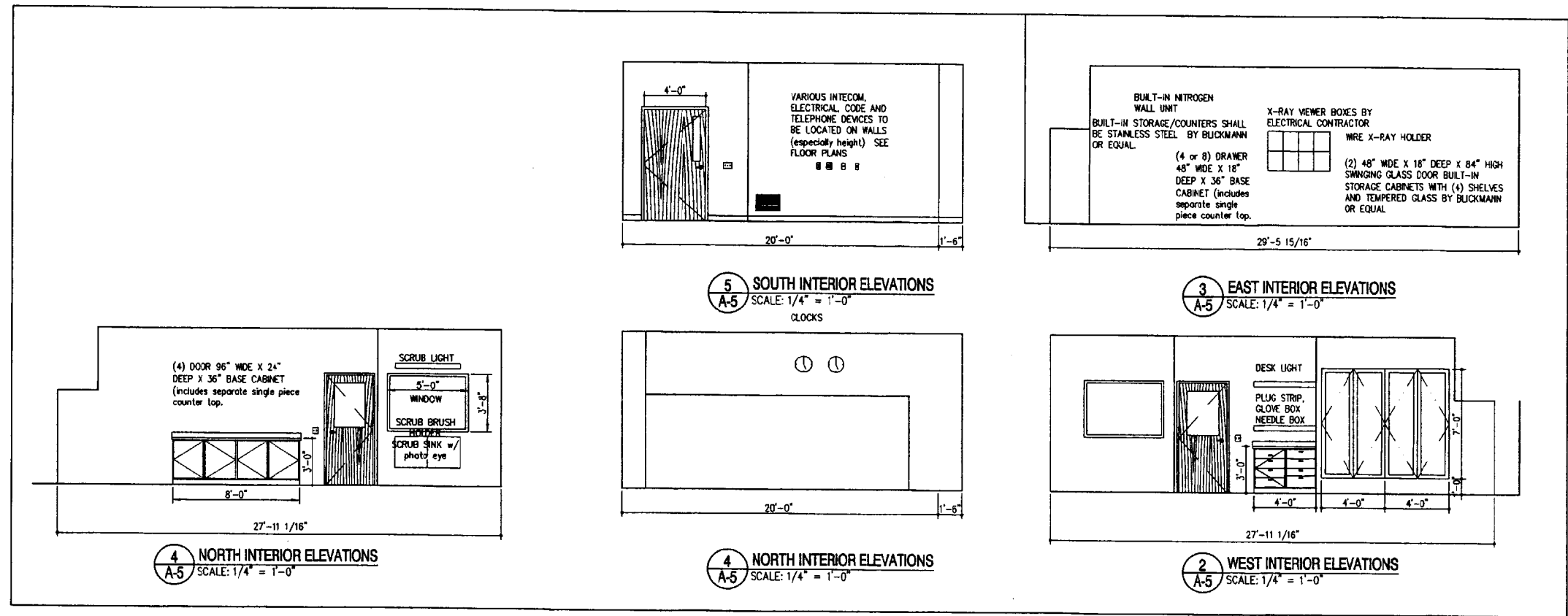
**DOOR AND HARDWARE NOTES**

- TYPICAL HARDWARE REQUIREMENTS:
  - Match type and Manufacturer of existing O.R. hardware.
- DOOR TYPE NOTES & SPECIFICATIONS:
  - SOLID STAVE CORE VENEER WEYERHAEUSER DSC-1 DOOR. Match color and veneer of existing O.R. doors.



**FINISH NOTES**

- Sheet flooring shall match existing O.R. flooring. Flooring shall have welded seams and intrigrig base.
- PAINTING SPECIFICATION: Gypsum board ceilings and walls shall be painted with a epoxy cleanable paint matching Hospital standard.



revision #/ date	Revision Reason
1 2-18-01	For Construction

date: 12-22-00 drawn by: CB 1/4" = 1'-0"

**FOR CONSTRUCTION**

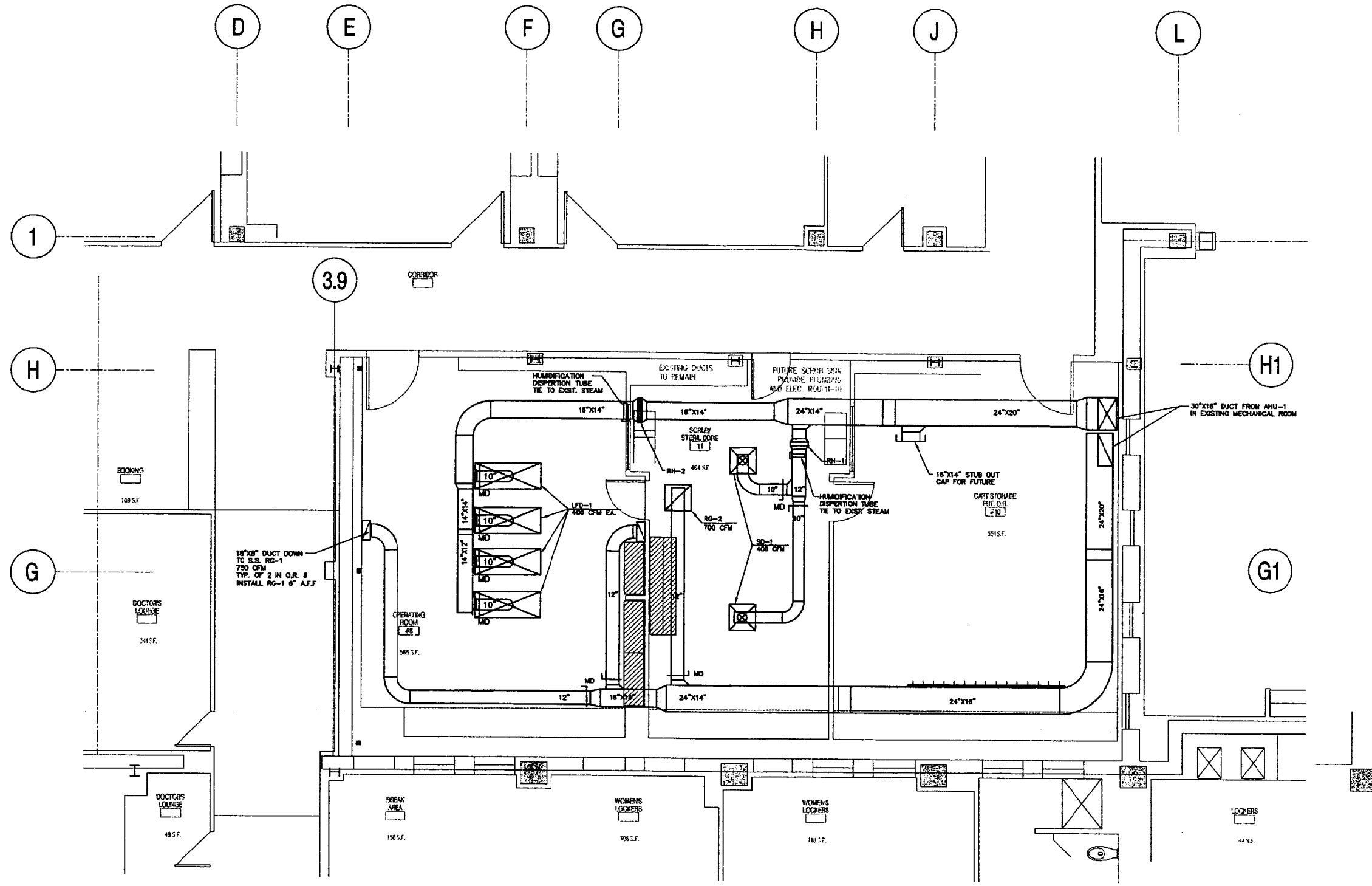
PROJECT: MERCY HOSPITAL OPERATING ROOM #8  
PORTLAND, ME

INTERIOR ELEVATIONS AND SCHEDULES

drawing title

**A5**  
sheet number  
issued:  
project no. 0030

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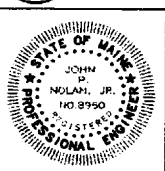


**OPERATING ROOM #8 HVAC PLAN**  
SCALE: 1/4"=1'-0"

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REVISIONS	DATE

**Titan Mechanical, Inc.**  
Design Build Engineering - Mechanical Contracting  
P.O. Box 3927 / 352 Warren Ave - Unit 2  
Portland, Maine 04104  
Ph. (207) 878-5223 Fax. (207) 878-5235



MERCY HOSPITAL  
CLIENT  
NEW OPERATING ROOM SUITE #8  
PROJECT  
OPERATING ROOM HVAC LAYOUT  
DRAWING TITLE

DATE: 1/30/01  
SCALE: 1/4" = 1'-0"  
DRAWN BY:  
CHECKED BY: JPN  
JOB NUMBER:  
CAD FILE: XXXX  
SHEET NUMBER

M1  
SHEET 1 OF 2

AIR-HANDLER SCHEDULE																			
GENERAL			AIR-HANDLER																
TAG	AREA SERVED	ELECTRIC	CFM	EXT. SP.	RPM	FAN HP	% O.A.	HEATING				COOLING						MODEL	REMARKS
								EAT	LAT	MBH	GPM	EDB	EWB	LDB	LWB	MBH	GPM		
AHU-1	OPER. RM #8	208/60/3	4200	1.0	---	5.0	35	36	75	180	14.5	77.6	65	58	56	120	20	TRANE MCC-10	RIGHT HAND ACCESS

NOTES:

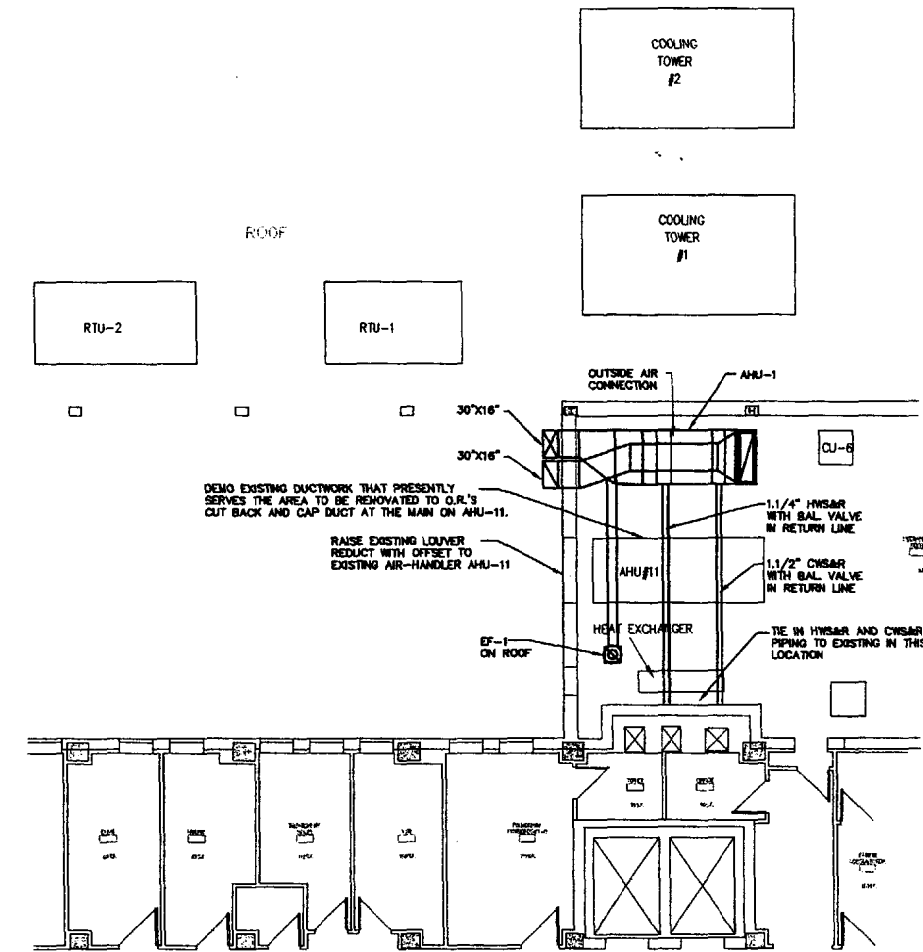
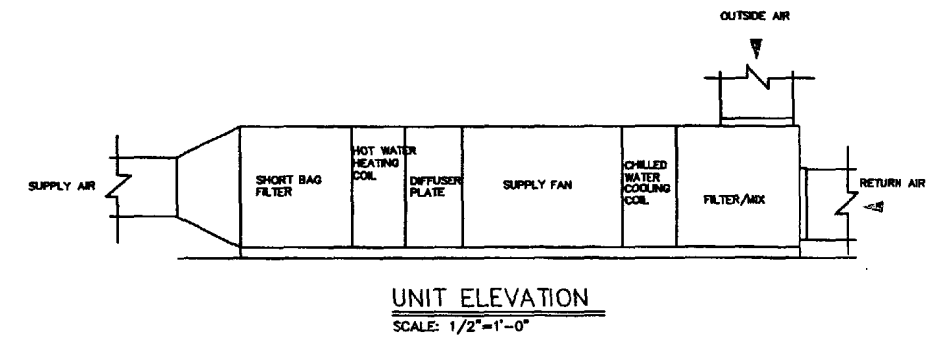
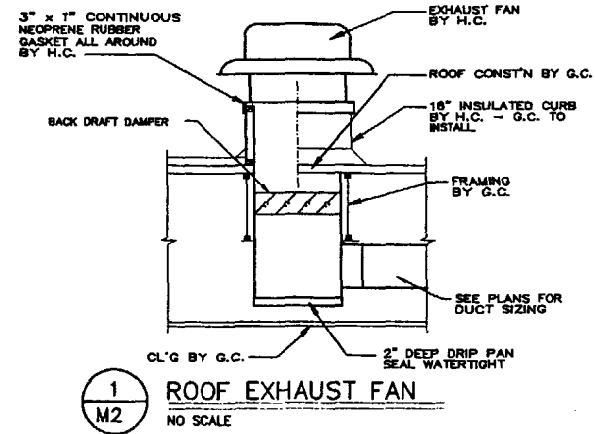
REHEAT COIL SCHEDULE								
TAG	SERVES	MAX CFM	MIN CFM	COIL SIZE	HEATING COIL MBH	COIL GPM	MODEL	REMARKS
RH-1	SCRUB ROOM	800	---	18"x15"	28.0	2.5	XXX	STOCK COIL
RH-2	NEW O.R. #8	1700	---	18"x15"	45.0	4.5	XXX	STOCK COIL
RH-3	FUTURE	1700	---	18"x15"	45.0	4.5	XXX	N.I.C.

NOTES: RH HEATING COILS WITH MODULATING 2-WAY VALVES

CONTROLS POINT SCHEDULE																				
TAG	SERVES	EQUIPMENT	T-STAT	HUMIDISTAT	HEAT VALVE	COOLING VALVE	VALVE ACT	AQUA STAT	RETURN SENSOR	DAMPERS	SMOKE DETECTOR	RESET CONTROL	LEAD/LAG	TILE CLOCK	DISCH. AIR COIN.	OCV/ANOCV	FREEST. STAT	ROOM PRESS SEN	GEN. UNIT CONTROL	REMARKS
AHU-1	O.R. 'S	MCC 10		X	X	X	X			X	X	X			X		X	X		
RH-1	OR-8	X	X	X	X	X	X										X	X		
RH-2	SCRUB RM	X	X	X	X	X	X										X	X		
RH-3	FUTURE O.R.	X	X	X	X	X	X										X	X		NOT IN CONTRACT SYS. TO HAVE CAPABILITY
EF-1	NEW AREA EXH. FAN	PV075															X			

FAN SCHEDULE											
TAG	SERVES	CFM	SP W.G.	V/PH	HP	TS	RPM	LXWXH INCHES	WGHT POUNDS	MOD. NO.	REMARKS
EF-1	O.R. 8	400	0.25	120/1	1/4	---	1200	NA	45	PV075	CENTRI MASTER

GRILLES, REGISTERS, & DIFFUSER SCHEDULE							
TAG	CONN. SIZE	QUANTITY	FACE SIZE INCHES	MAX CFM	SP W.G.	THROW FEET	REMARKS
LFD-1	10" DIA	4	2'x3'	400	0.15	2-9	LAMINAR FLOW DIFF ALUMINUM
SD-1	10" DIA	2	24x24	400	0.05	4-11	SCRUB ROOM ALUMINUM
RG-1	18"x30"	2	18"x30"	750	0.01	---	IN O.R. #8 (S.S.)
RG-2	12"	1	24"x24"	700	0.01	---	SCRUB ROOM ALUMINUM

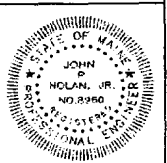


OPERATING ROOM #8 HVAC UNIT  
IN EXISTING MECHANICAL ROOM  
SCALE: 1/8" = 1'-0"

The drawings are to be used for the construction of the building. It is the responsibility of the contractor to verify the information shown on these drawings against the actual conditions on the job site. The contractor shall be responsible for any errors or omissions in the drawings. The contractor shall be responsible for any damage to the building or its contents caused by the construction of the building. The contractor shall be responsible for any safety hazards created by the construction of the building. The contractor shall be responsible for any environmental impacts caused by the construction of the building. The contractor shall be responsible for any other matters related to the construction of the building.

DATE	DESCRIPTION

**Titan Mechanical, Inc.**  
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P.O. Box 3927 / 352 Warren Ave - Unit 2  
Portland, Maine 04104  
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MERCY HOSPITAL  
CLIENT  
NEW OPERATING ROOM SUITE #8  
PROJECT  
EQUIPMENT LAYOUT, DETAILS AND SCHEDULES  
DRAWING TITLE

DATE: 1/30/01  
SCALE: AS NOTED  
DRAWN BY:  
CHECKED BY: JPH  
JOB NUMBER:  
CAD FILE: XXXX  
SHEET NUMBER

M2  
SHEET 2 OF 2





**ELECTRICAL PLAN**  
**PROPOSED RENOVATION ROOM #8**  
 PORTLAND, MAINE

Project  
**HAROLD W. THOMAS**  
**Consulting Engineers**  
 THOMAS ENGINEERING  
 175 CARLSON STREET  
 WESTBROOK, MAINE 04092  
 (207) 878-4407

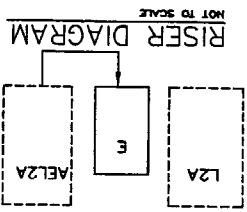
THOMAS  
 1800  
 MAINE PROFESSIONAL ENGINEER

Scale  
 1/8"=1'-0"  
 Date  
 2-14-01  
 Drawings  
**E-1**

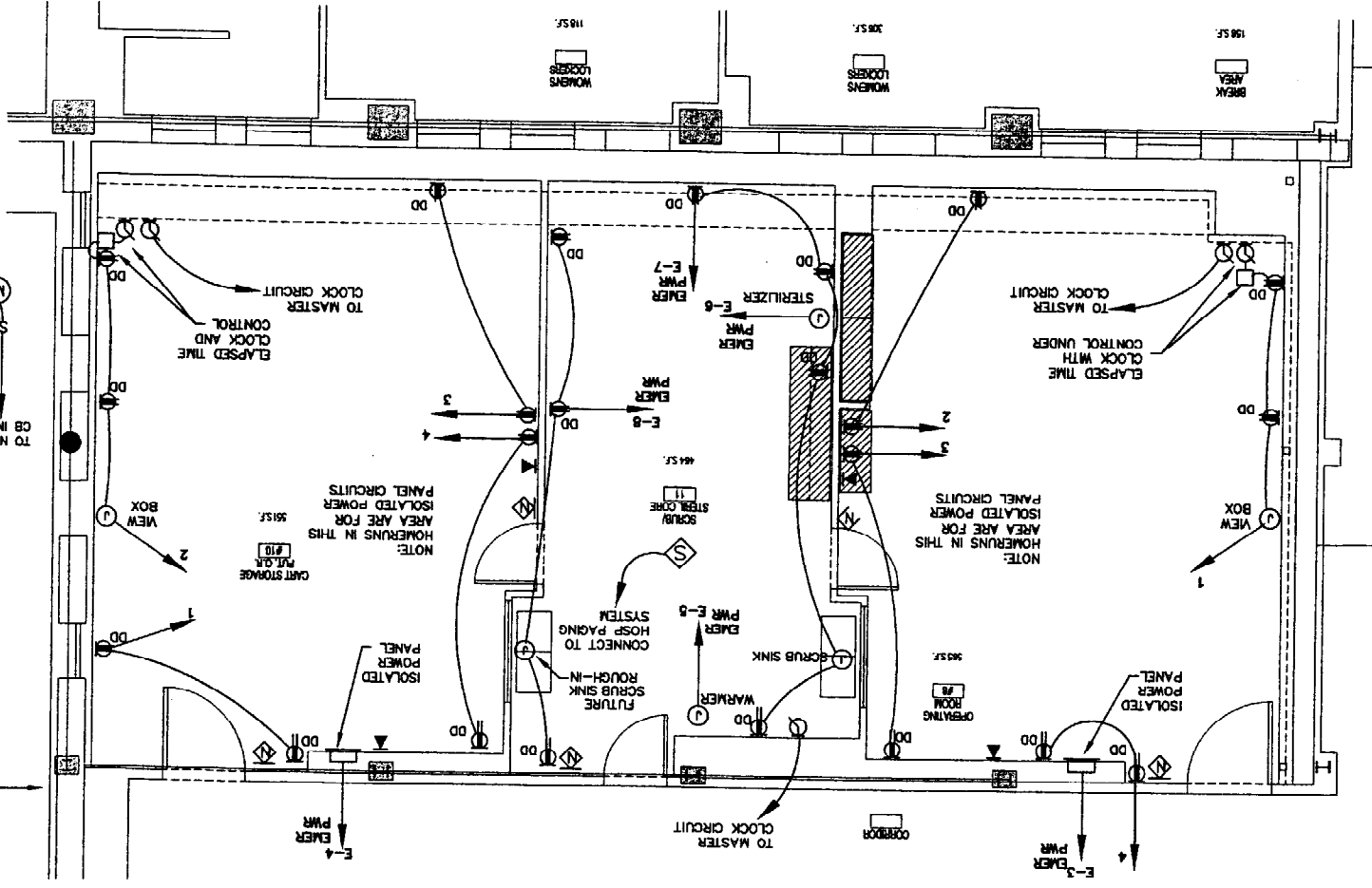
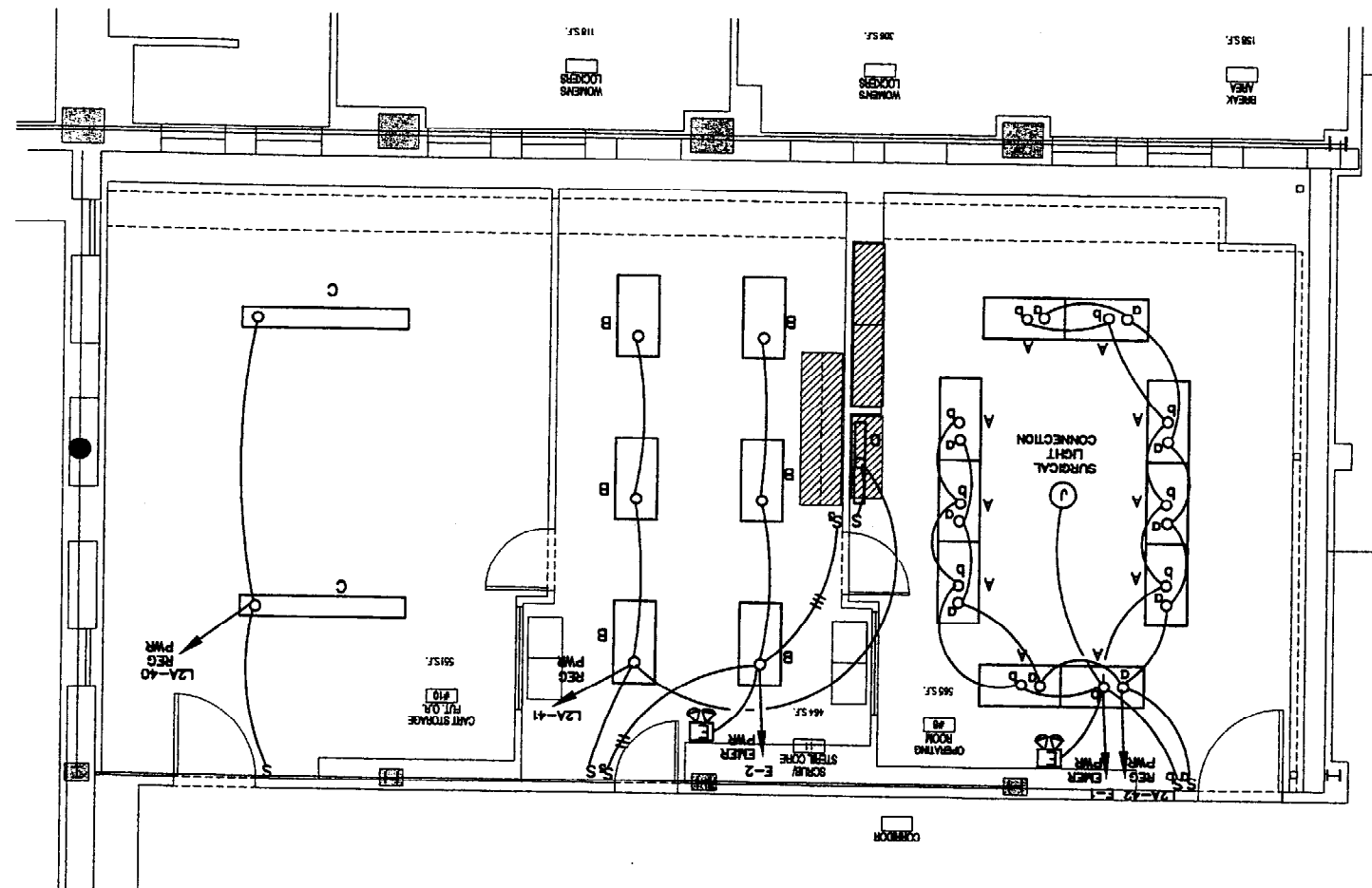
PRINTED FOR CONSTRUCTION

**FIGURE SCHEDULE**

TYPE	MANUFACTURER	CATALOG NO.	LAWS	MTS. & DESCRIPTION
A	ALCO	ST240-2/F	6-4032/78	2X4 SURGICAL TRIGGER
B	METALLIX	7P0-332A18.186	3-4032/78	2X4 RECESSED
C	METALLIX	8788-232A	4-4032/78	SURFACE W/ROUND WITH END CAPS
D	ALCO	HP213	2-13W/75	UNDER CABINET

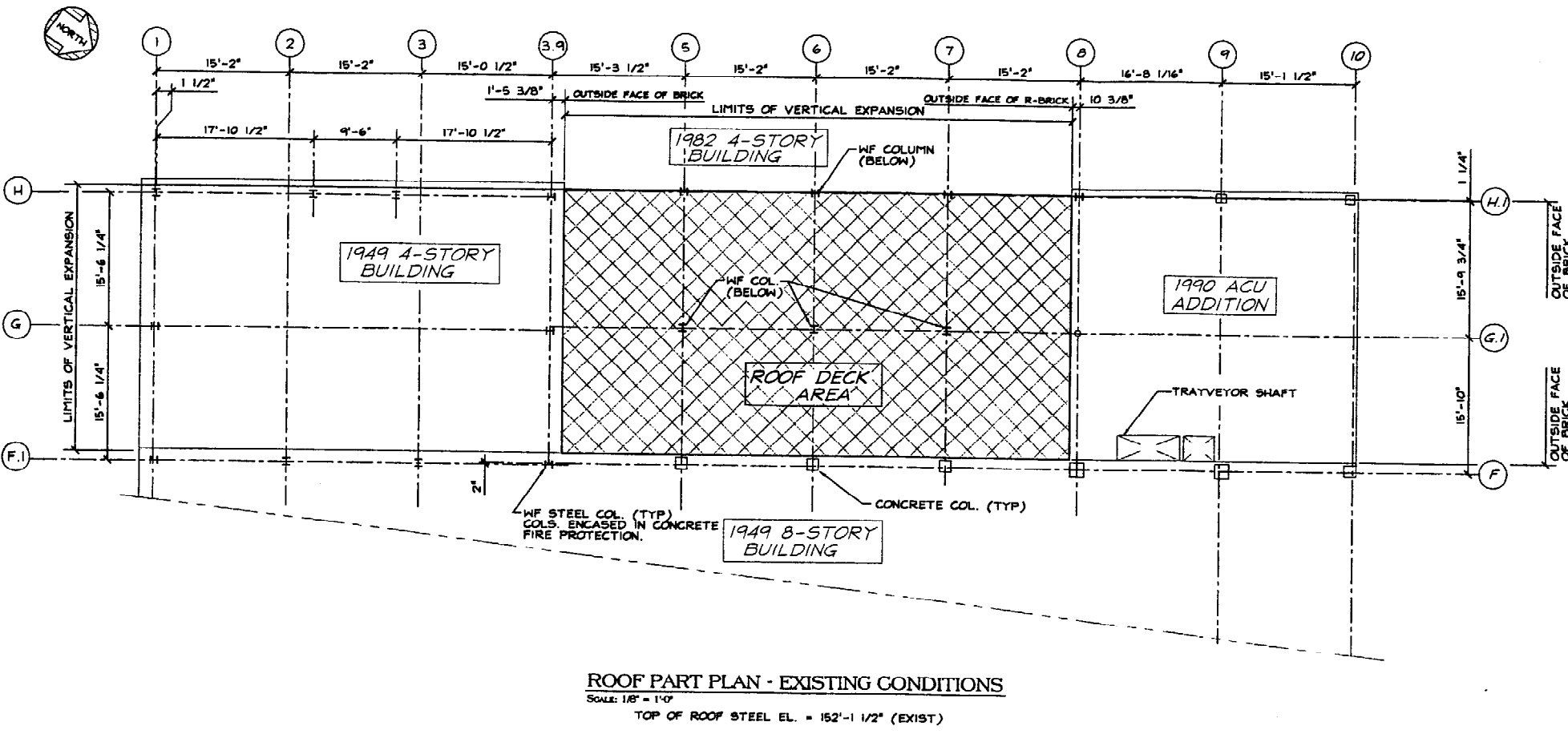


- NOTES:**
1. PANEL E 120/208V-3P POLE
  2. BRANCH CKTS AS RECD 100A/2P/2W
  3. CKT BRK IN PANEL AEL2A
  4. FINISH NEW CKT BRKS IN PANEL L2A AS RECD
  5. PANELS LOCATED IN JANITORS CLOSET



- LEGEND**
- LIGHTING AND POWER PANEL
  - CONDUIT AND/OR WIRING RUN NUMBER OF WIRES OTHER THAN TWO
  - PANEL - HATCHMARKS DENOTE NUMBER OF WIRES OTHER THAN TWO
  - UPPER CASE LETTER DENOTES FEATURE TYPE
  - LOWER CASE LETTER DENOTES FEATURE CONTROL
  - LIGHTING FIXTURE - WALL OUTLET
  - LIGHTING FIXTURE - CEILING OUTLET
  - SINGLE POLE SWITCH - HATCHMARKS DENOTES NUMBER OF SWITCHES IN GANG
  - SINGLE POLE SWITCH
  - THREE WAY SWITCH
  - DUPLEX CONVENIENCE OUTLET 16" AFF EXCEPT AS NOTED
  - DUPLEX CONVENIENCE OUTLET 44" AFF
  - VOICE/DATA OUTLET - WALL TYPE MOUNTED 18" AFF EXCEPT AS NOTED - RUN 3/4" CONDUIT FROM BOX TO ACCESSIBLE CEILING
  - JUNCTION BOX - SIZED AS REQUIRED
  - ELECTRIC MOTOR - NUMBER INDICATED H.P.
  - DISCONNECT SWITCH - FUSED AS REQUIRED
  - ELECTRIC MOTOR CONTROLLER
  - EMERGENCY LIGHTING UNIT W/RELOCATE HEADS AS SHOWN - MOUNTED SO TOP OF HEADS ARE 5' BELOW CEILING
  - EMERGENCY LIGHTING UNIT
  - SMOKE DETECTOR
  - ABOVE FINISH FLOOR
  - ABOVE FINISH GUIDE
  - DOUBLE DUPLEX
  - GROUND FAULT INTERRUPTER
  - EXHAUST FAN
  - WEATHERPROOF
  - SPEAKER - WALL OR CEILING OUTLET
  - CLOCK OUTLET
  - SPECIAL PURPOSE OUTLET - SIZED AS REQUIRED
  - DUCT TYPE SMOKE DETECTOR

- GENERAL NOTES**
1. ALL WORK SHALL CONFORM TO LOCAL AND STATE CODES AND THE N.E.C. AND CODES FOR HOSPITAL AND MEDICAL FACILITIES.
  2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BALANCING THE LOAD ON THE PANELS.
  3. SWITCHES SHALL BE MOUNTED 4'-0" TO TOP OF PLATE. SWITCHES SHOWN IN CLOSE AS POSSIBLE TO EDGE OF DOOR FRAME. LOCATE SWITCHES AS CLOSE AS POSSIBLE TO COMMON PLATE. LOCATE SWITCHES AS CLOSE AS POSSIBLE TO EDGE OF DOOR FRAME. LOCATE SWITCHES AS CLOSE AS POSSIBLE TO COMMON PLATE. LOCATE SWITCHES AS CLOSE AS POSSIBLE TO EDGE OF DOOR FRAME.
  4. MAINLINE WIRE SIZE SHALL BE REMAIN CONSTANT. ALL REFERENCE TO WIRE SIZE SHALL INDICATE WIRE SIZE OF ALL CONDUCTORS. (SEE PER PANEL SCHEDULE)
  5. THE ENTIRE ELECTRICAL SYSTEM SHALL BE GROUNDED BY MEANS OF A SEPARATE GROUND CONDUCTOR. GROUND CONDUCTOR SHALL NOT BE CONSIDERED A GROUND CONDUCTOR UNLESS IT IS IDENTIFIED AS COPPER. GROUND BREAKER SIZE (SEE PER PANEL SCHEDULE)
  6. THIS CONTRACTOR SHALL COORDINATE WITH OTHER TRADES WHERE EQUIPMENT AND/OR DEVICES ARE FURNISHED BY OTHER TRADES AND REFER HATCHMARKS TO THESE TRADES.
  7. OUTLETS OR JUNCTION BOXES MOUNTED BACK TO BACK SHALL BE PROVIDED. OUTLETS BACK TO BACK WITHIN 24 INCHES OF EACH OTHER IN PINE RATED WALLS SHALL BE ENCASED WITH PINE RATED BACKER.
  8. THIS CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF PINE RATED WALLS BY SEALING ALL WEING, CONDUIT, ETC., WHICH PASSES THROUGH SUCH WALLS WITH AN APPROVED PINE RATED SEALANT.
  9. THIS CONTRACTOR SHALL VERIFY MOUNTING HEIGHTS FOR ALL OUTLETS. COORDINATE RECEPTACLE CAREFULLY PRIOR TO INSTALLATION.
  10. ALL NEW SCHEDULES SHOWN ARE DIMENSIONAL ONLY. REFER TO EQUIPMENT AND CONTROL MANUFACTURER'S SHOP DRAWINGS FOR EXACT WORK.
  11. THIS CONTRACTOR SHALL VERIFY MOUNTING HEIGHTS FOR ALL OUTLETS. COORDINATE RECEPTACLE CAREFULLY PRIOR TO INSTALLATION.
  12. LOCATION OF ALL LIGHTING FIXTURES, RECEPTACLES, TELEPHONE OUTLETS, ETC. SHALL BE CONFIRMED AND VERIFIED FROM ARCHITECTURAL DRAWINGS. REFER TO FLOOR PLANS, ETC. FOR COMPLETE SYSTEM.
  13. DISCONNECT, REMOVE AND/OR RELOCATE ALL EXISTING ELECTRICAL EQUIPMENT. RECONNECT, REMOVE AND/OR RELOCATE ALL EXISTING ELECTRICAL EQUIPMENT. DISCONNECT, REMOVE AND/OR RELOCATE ALL EXISTING ELECTRICAL EQUIPMENT. DISCONNECT, REMOVE AND/OR RELOCATE ALL EXISTING ELECTRICAL EQUIPMENT.
  14. ALL ELECTRICAL EQUIPMENT THAT IS NOT TO BE REUSED WITH THE NEW CONSTRUCTION IN AREAS THAT ARE BEING RENOVATED SHALL BE REMOVED. THIS INCLUDES ALL EXISTING LIGHTING FIXTURES, DEVICES, WIRING, EXPOSED CONDUIT, ETC.
  15. MODIFY ALL PANEL DIRECTORIES TO DESIGNATE ALL NEW OR RELOCATED LOADS AND SPARE CIRCUIT BREAKERS.
  16. THE LIGHTING FIXTURE SCHEDULE SHALL NOT BE THE SOLE LIGHTING REFERENCE. REFER TO THE DRAWINGS TO VERIFY QUANTITIES, BALLAST CONFIGURATIONS, AND DIMENSIONS OF FIXTURES PRIOR TO BIDDING.



**ROOF PART PLAN - EXISTING CONDITIONS**  
 SCALE: 1/8" = 1'-0"  
 TOP OF ROOF STEEL EL. = 152'-1 1/2" (EXIST)

**STRUCTURAL DESIGN CRITERIA:**

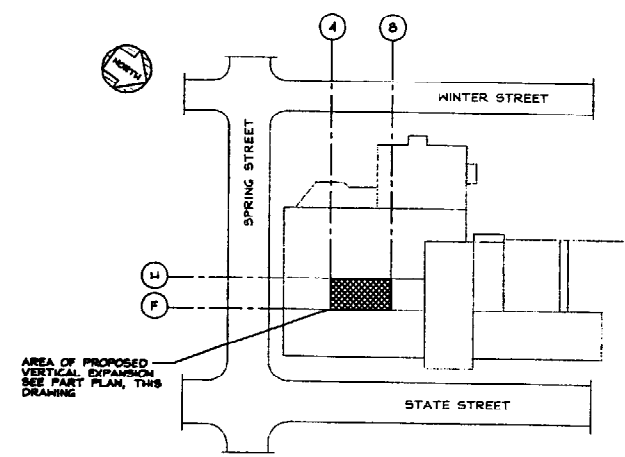
- BUILDING CODE: 1996 EDITION OF THE BOCA NATIONAL BUILDING CODE.
- BUILDING USE IMPORTANCE FACTOR = 1.2
- BUILDING EXPOSURE CATEGORY = B
- DESIGN SNOW LOADS:  
 FLAT ROOF SNOW LOADING..... 50 PSF  
 + DRIFT SNOW PER BOCA '96.
- DESIGN SEISMIC ZONE: 2

**GENERAL NOTES:**

- STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH JOB SPECIFICATIONS AND ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND SITE DRAWINGS. CONSULT THESE DRAWINGS FOR LOCATIONS AND DIMENSIONS OF OPENINGS, CHASES, INSERTS, REGLETS, SLEEVES, DEPRESSIONS, AND OTHER DETAILS NOT SHOWN ON THE STRUCTURAL DRAWINGS.
- ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
- THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS COMPLETE. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE TO ENSURE SAFETY OF THE BUILDING AND COMPONENTS DURING ERECTION. THIS INCLUDES THE ADDITION OF THE NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS OR TIEDOWNS. SUCH MATERIAL SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.
- ALL APPLICABLE FEDERAL, STATE, AND MUNICIPAL REGULATIONS SHALL BE FOLLOWED, INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT.

**STRUCTURAL STEEL NOTES - GENERAL:**

- STRUCTURAL STEEL FABRICATION, ERECTION, AND CONNECTION DESIGN SHALL CONFORM TO AISC "SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL", 9th EDITION.
- ALL STEEL SHAPES AND PLATES TO BE ASTM A36 UNLESS NOTED OTHERWISE.
- STRUCTURAL TUBING SHALL CONFORM TO ASTM A500, GRADE B.
- THE DESIGN OF CONNECTIONS NOT SHOWN ON THE DRAWINGS SHALL BE PROVIDED BY THE FABRICATOR. CONNECTIONS SHALL BE DESIGNED FOR THE FORCES SHOWN, OR IF NOT SHOWN, EACH CONNECTION SHALL BE CAPABLE OF SUPPORTING ONE HALF THE TOTAL ALLOWABLE UNIFORM LOAD CAPACITY OF THE MEMBER, PER AISC MANUAL OF STEEL CONSTRUCTION.
- ALL BOLTED CONNECTIONS SHALL BE MADE WITH 3/4" DIAMETER ASTM A325N HIGH STRENGTH BOLTS.
- WELDING SHALL BE IN ACCORDANCE WITH AWS D1.1-LATEST EDITION. ALL WELDS SHALL BE MADE WITH E70XX ELECTRODES.
- STEEL BEAMS AND COLUMNS SHALL BE CUT FROM FULL LENGTH STOCK. UNAUTHORIZED SPLICES WILL BE CAUSE FOR REJECTION.
- STRUCTURAL STEEL SHALL BE PAINTED WITH FABRICATOR'S RUST INHIBITIVE PRIMER.



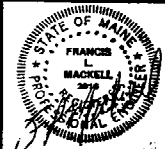
**KEY PLAN**

#	DATE	REVISION / ISSUE DESCRIPTION
1	12/15/00	ISSUED FOR BID

DRAWN BY:	LFP
CHECKED BY:	FLM
DATE:	DECEMBER 4, 2000
SCALE:	AS NOTED
JOB NO.:	2000-360

**VERTICAL EXPANSION**  
 AT  
**MERCY HOSPITAL (2000)**  
 PORTLAND, MAINE

SHELLEY ENGINEERING, INC.  
 STRUCTURAL CONSULTANTS  
 507 Franklin Street  
 Portland, Maine 04102  
 Phone: (207) 854-6455  
 Fax: (207) 854-9706  
 www.ShelleyEngineering.com



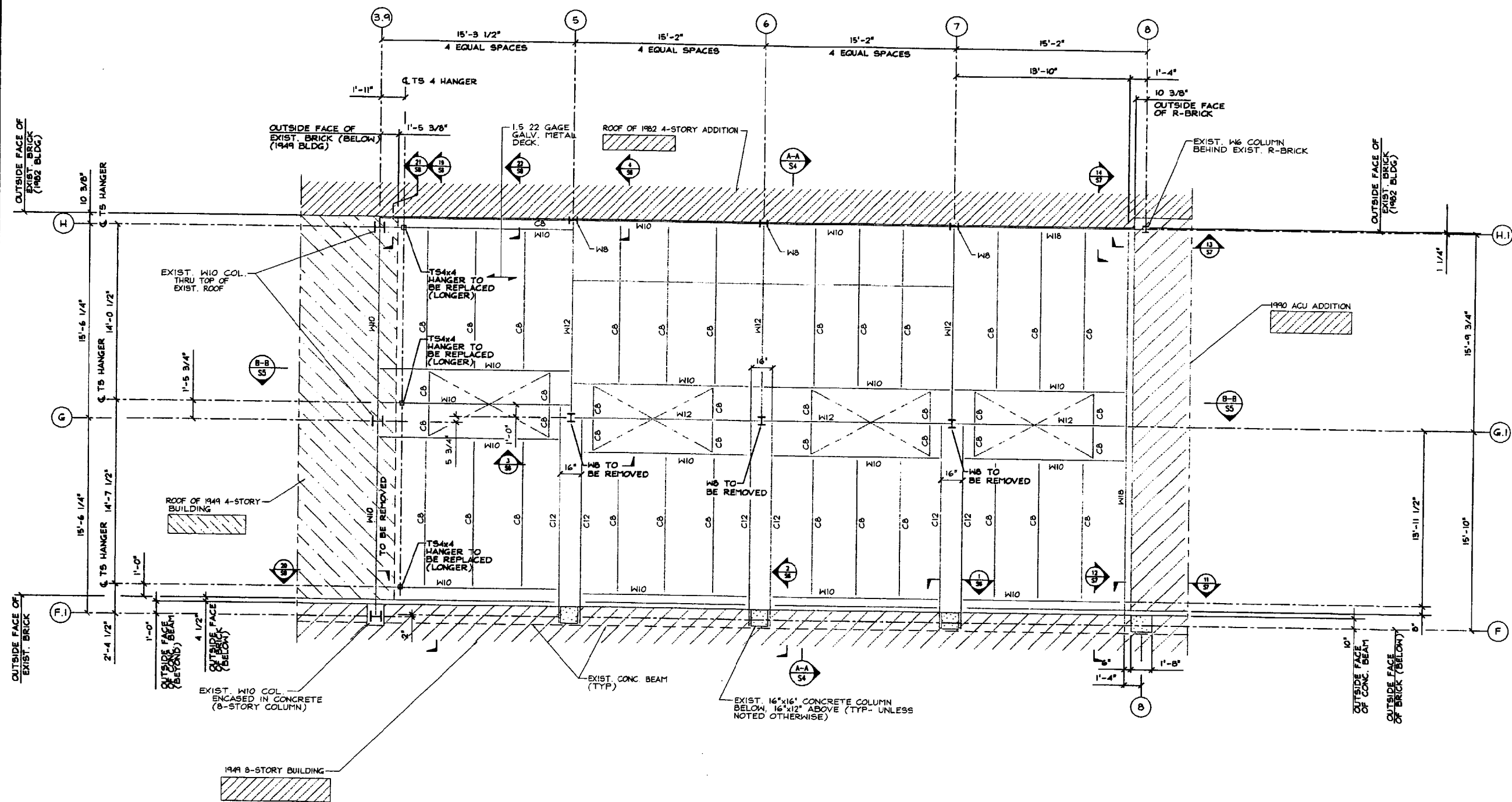
**SHEET TITLE:**

**EXISTING CONDITIONS NOTES**

**S1 OF 8**

**CADD 200036051**

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**EXIST. ROOF FRAMING PLAN**  
 SCALE: 1/4" = 1'-0"

TOP ROOF STEEL EL. = 152'-1 1/2" (EXIST)  
 TOP OF ROOF STEEL EL. = 155'-4" (REVISED)

**NOTE:**  
 ALL EXISTING FRAMING (EXCEPT THAT NOTED TO BE REMOVED OR REPLACED) AND ROOF DECK TO BE JACKED AND/OR LIFTED TO REVISED ELEVATION (155'-4") AFTER INSTALLATION OF NEW FRAMING (SEE S3) AND TEMPORARY SUPPORTS AS REQUIRED.

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REVISION / ISSUE	
#	DESCRIPTION
1	ISSUED FOR BID
DATE	12/15/00

DRAWN BY: LFP	CHECKED BY: FLH
DATE: DECEMBER 4, 2000	SCALE: AS NOTED
JOB NO.: 2000-360	

**VERTICAL EXPANSION  
 AT  
 MERCY HOSPITAL (2000)**

PORTLAND      MAINE

**SHELLEY ENGINEERING, INC.**  
 Structural Consultants  
 50 Brook Street  
 Portland, ME 04102  
 Phone: (807) 864-6400  
 Fax: (807) 864-8700  
 www.shelleyengineering.com

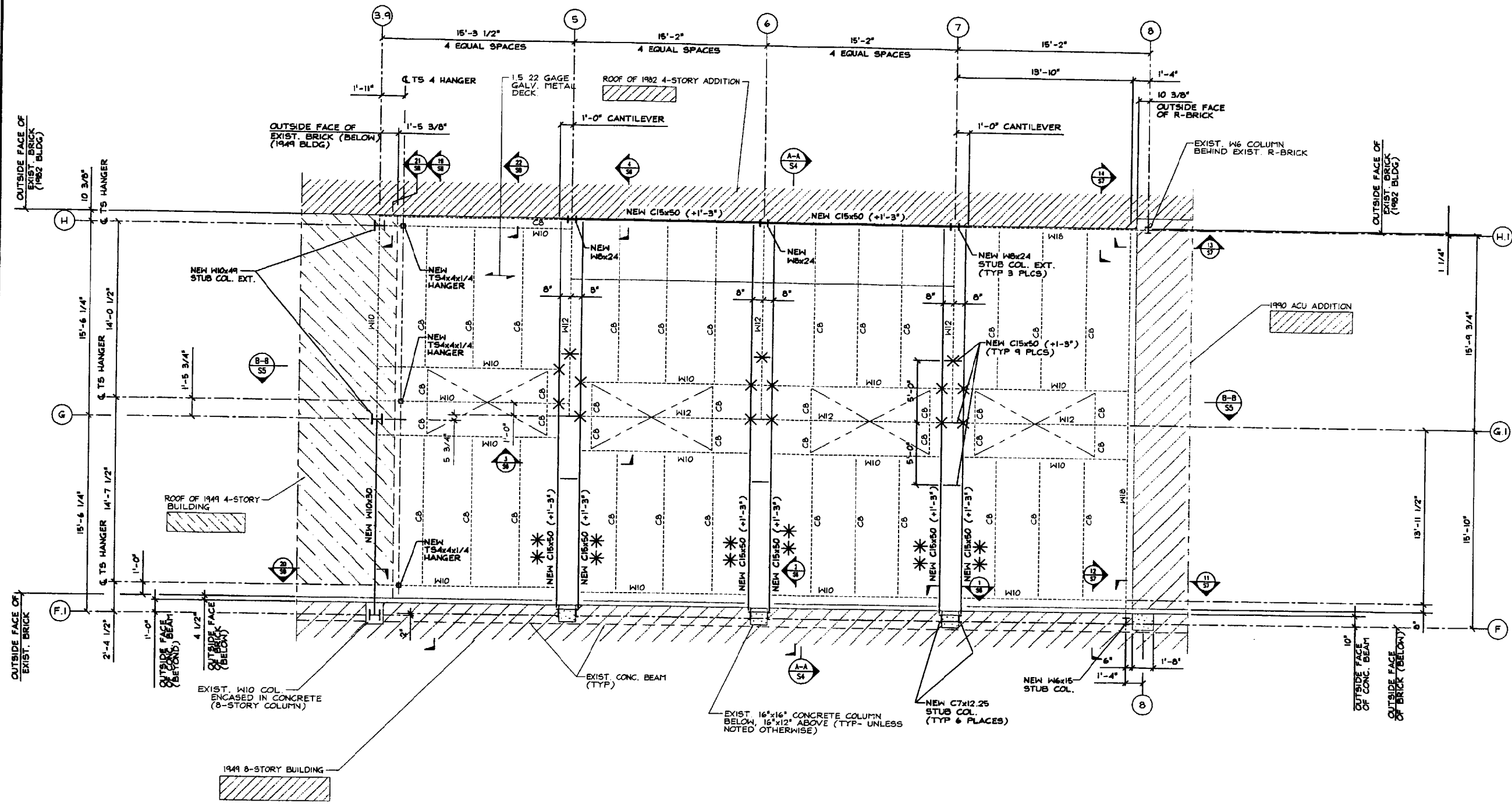
— SET —



SHEET TITLE:

EXISTING  
 ROOF  
 FRAMING

S2 OF 8  
 CADD 20003602



**NEW ROOF FRAMING PLAN**  
SCALE: 1/4" = 1'-0"

TOP ROOF STEEL EL. = 152'-1 1/2" (EXIST)  
TOP OF ROOF STEEL EL. = 155'-4" (REVISED)

**NOTE:**  
ALL EXISTING FRAMING (EXCEPT THAT NOTED TO BE REMOVED OR REPLACED) AND ROOF DECK TO BE JACKED AND/OR LIFTED TO REVISED ELEVATION (155'-4") AFTER INSTALLATION OF NEW FRAMING (SEE S3) AND TEMPORARY SUPPORTS AS REQUIRED.

X FIELD WELD NEW TO EXISTING (IN REVISED POSITION) AT ALL CROSSINGS. SEE SECTION 3 ON DRAWING S6

\* PROVIDE 1/2" POSITIVE CAMBER AT CENTER OF C/S SPAN (w/ C/S DEAD LOAD ONLY)

File: \\server\corporate\2000-360\2003\2623.dwg Plot Date: 2003-12-15 15:53:37

#	DATE	REVISION / ISSUE DESCRIPTION
1	12/15/00	ISSUED FOR BID

DRAWN BY:	LFP
CHECKED BY:	FLM
DATE:	DECEMBER 6, 2000
SCALE:	AS NOTED
JOB NO.:	2000-360

**VERTICAL EXPANSION  
AT  
MERCY HOSPITAL (2000)**

PORTLAND MAINE

SHIELLY ENGINEERING, INC.  
Structural Consultants  
100 State Street  
Portland, ME 04102  
Phone: (603) 864-6468  
Fax: (603) 864-9700  
www.shellyengineering.com

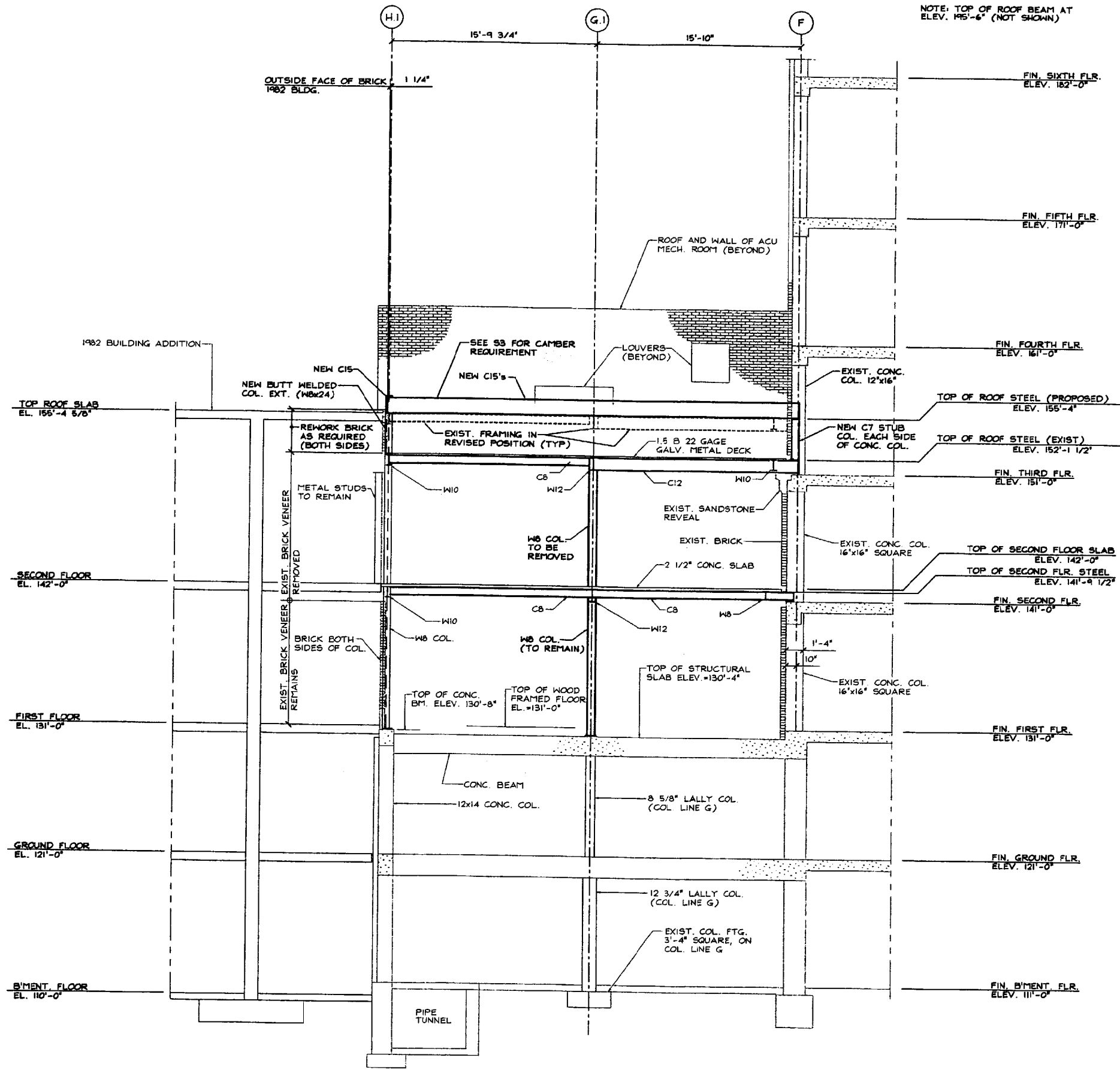
SEI



SHEET TITLE:

NEW ROOF FRAMING

S3 OF 8  
CADD 200036053



NOTE: TOP OF ROOF BEAM AT ELEV. 195'-6\"/>

NOTE: ALL EXISTING FRAMING (EXCEPT THAT NOTED TO BE REMOVED OR REPLACED) AND ROOF DECK TO BE JACKED AND/OR LIFTED TO REVISED ELEVATION (155'-4\"/>

CROSS-SECTION A-A @ ROOF DECK VERTICAL EXPANSION  
SCALE: 1/4\"/>

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#	DATE	REVISION / ISSUE DESCRIPTION
1	12/16/00	ISSUED FOR BID

DRAWN BY:	LFP
CHECKED BY:	FLM
DATE:	DECEMBER 6, 2000
SCALE:	AS NOTED
JOB NO.:	2000-090

VERTICAL EXPANSION  
AT  
MERCY HOSPITAL (2000)  
PORTLAND MAINE

SHELLEY ENGINEERING, INC.  
STRUCTURAL CONSULTANTS  
60 BRIDGE STREET  
WESTPORT, MAINE 04096  
PHONE: 603-668-6400  
FAX: 603-668-6400  
WWW.SHELLEYENGINEERING.COM

SEI

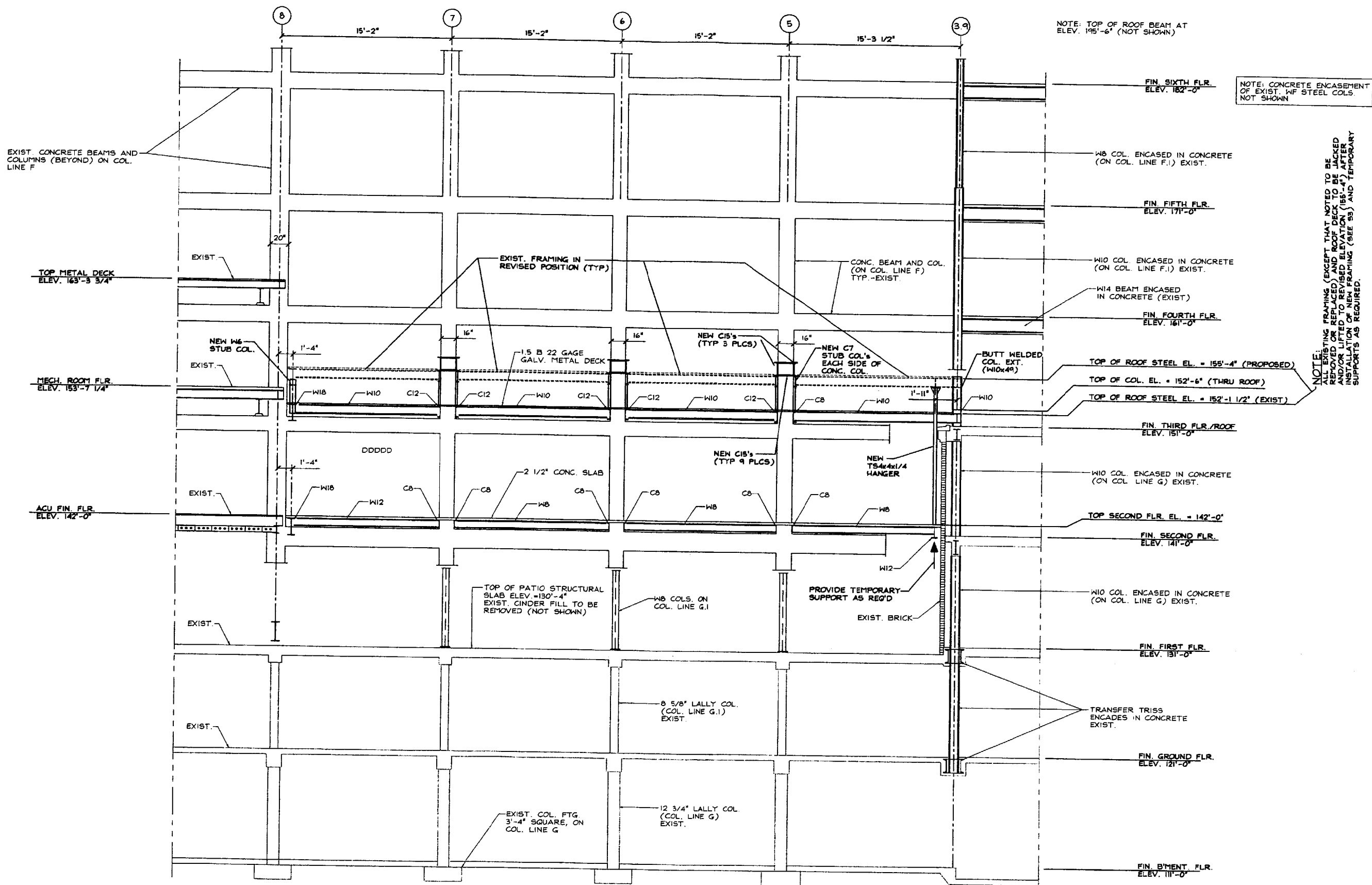


SHEET TITLE:

CROSS SECTION A-A

S4 OF 8

CADD 200036054



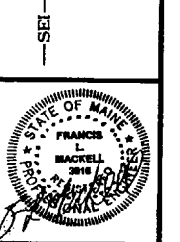
**CROSS-SECTION B-B @ ROOF DECK VERTICAL EXPANSION**  
 SCALE: 1/4" = 1'-0"

#	DATE	REVISION / ISSUE	DESCRIPTION
1	12/15/00	ISSUED FOR BID	

DRAWN BY:	LFP
CHECKED BY:	FLM
DATE:	DECEMBER 5, 2000
SCALE:	AS NOTED
JOB NO.:	2000-360

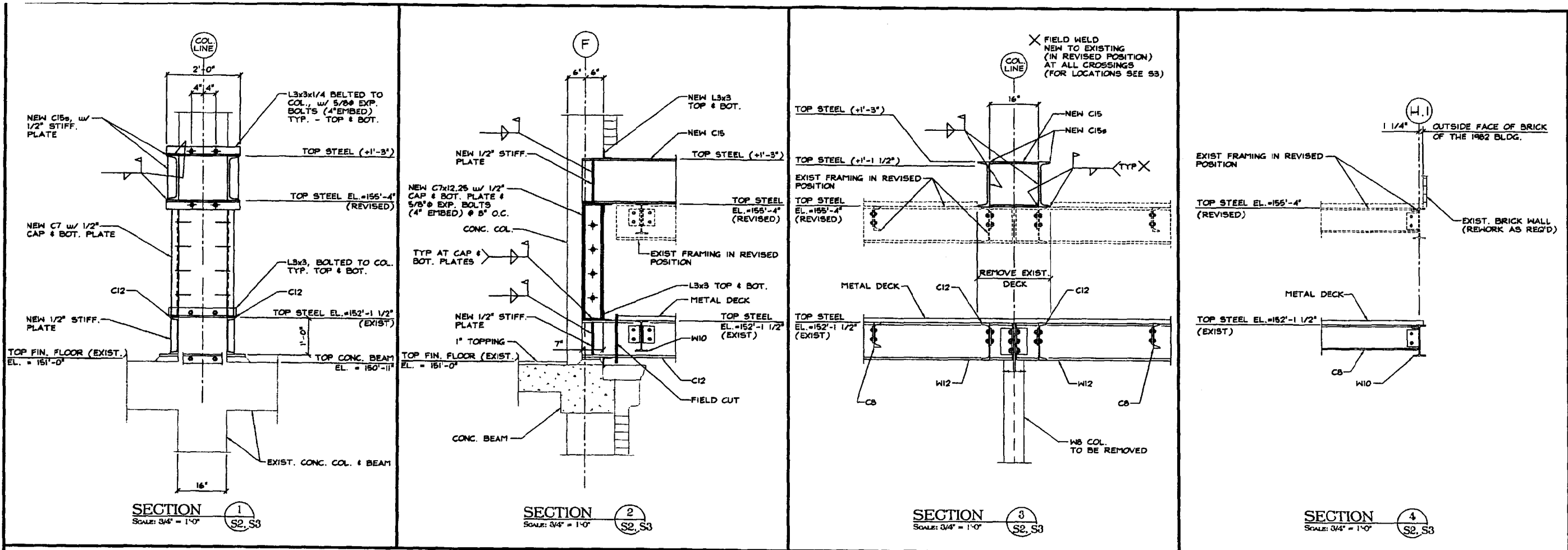
**VERTICAL EXPANSION**  
**AT**  
**MERCY HOSPITAL (2000)**  
 PORTLAND MAINE

SHELLEY ENGINEERING, INC.  
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 90 BRIDGE STREET  
 WATBORO, MASS 01982  
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 Fax: (507) 864-6706  
 www.ShelleyEngineering.com



SHEET TITLE:  
**CROSS SECTION B-B**  
 S5 OF 8  
 CADD 200036095

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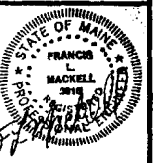
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1	12/15/00
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DATE:	DECEMBER 6, 2000
SCALE:	AS NOTED
JOB NO.:	2000-060

**VERTICAL EXPANSION**  
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 PORTLAND MAINE

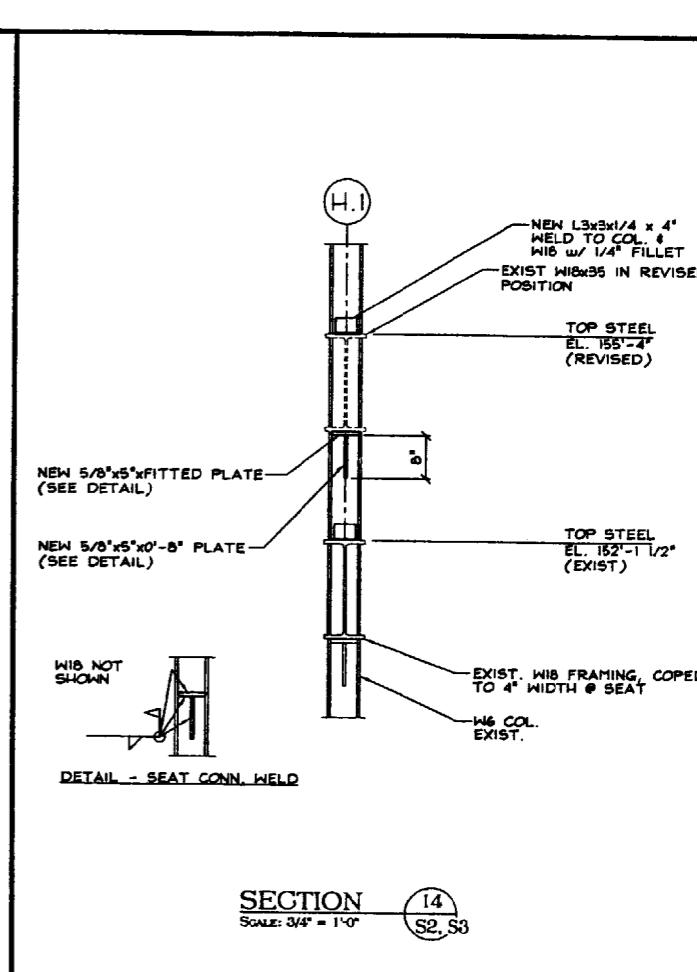
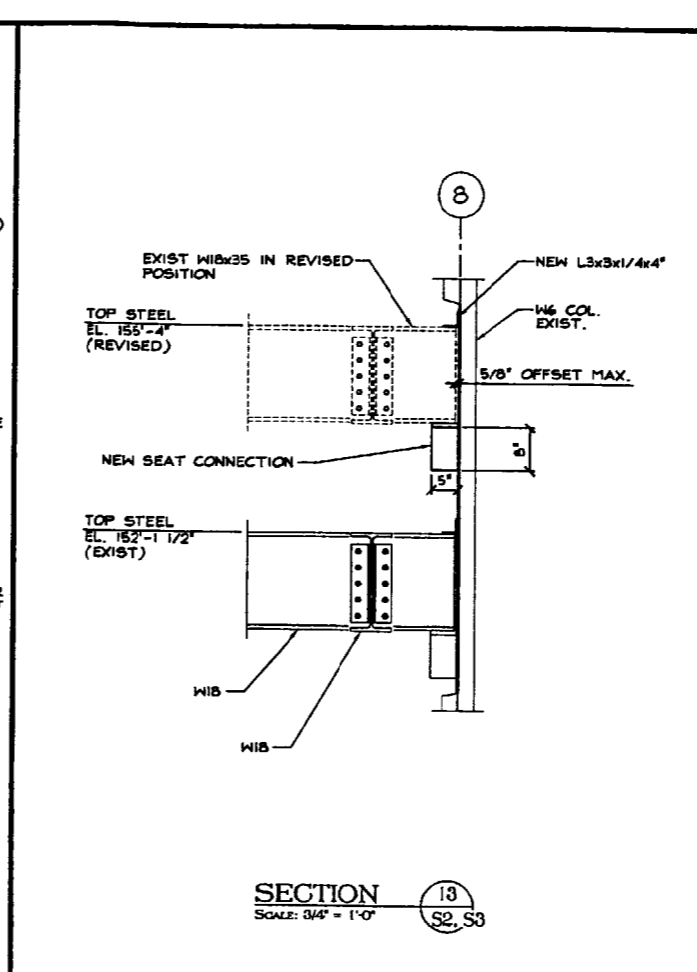
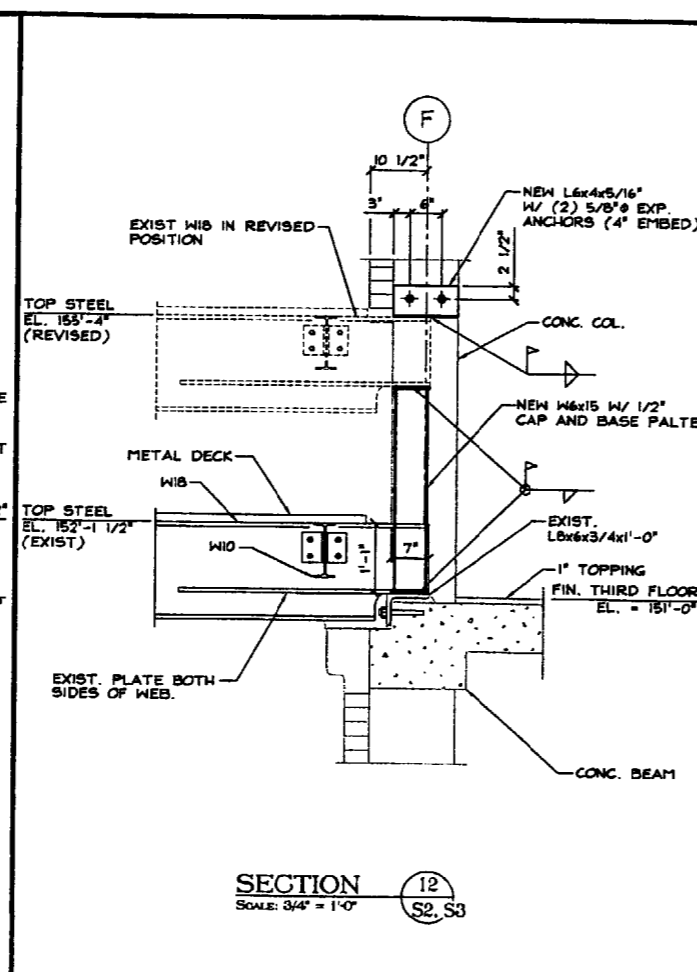
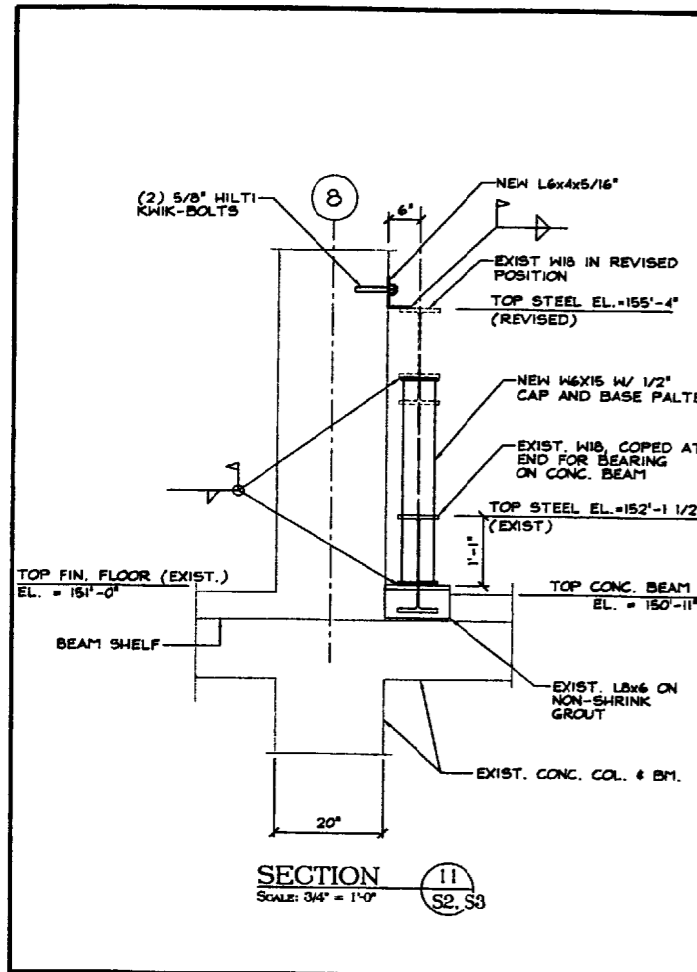
SHELLEY ENGINEERING, INC.  
 STRUCTURAL CONSULTANTS  
 90 BRUCE STREET  
 WESTBORO, MASS 01581  
 PHONE (507) 864-6485  
 FAX (507) 864-6700  
 WWW.SHELLEYENGINEERING.COM

SEI



SHEET TITLE:  
 SECTIONS AND DETAILS  
 S6 OF 8  
 CADD 200036056



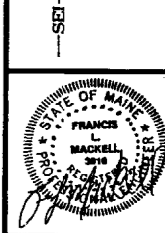


REVISION / ISSUE		DESCRIPTION
#	DATE	ISSUED FOR BID
1	12/15/00	

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CHECKED BY:	FLM
DATE:	DECEMBER 7, 2000
SCALE:	AS NOTED
JOB NO.:	2000-360

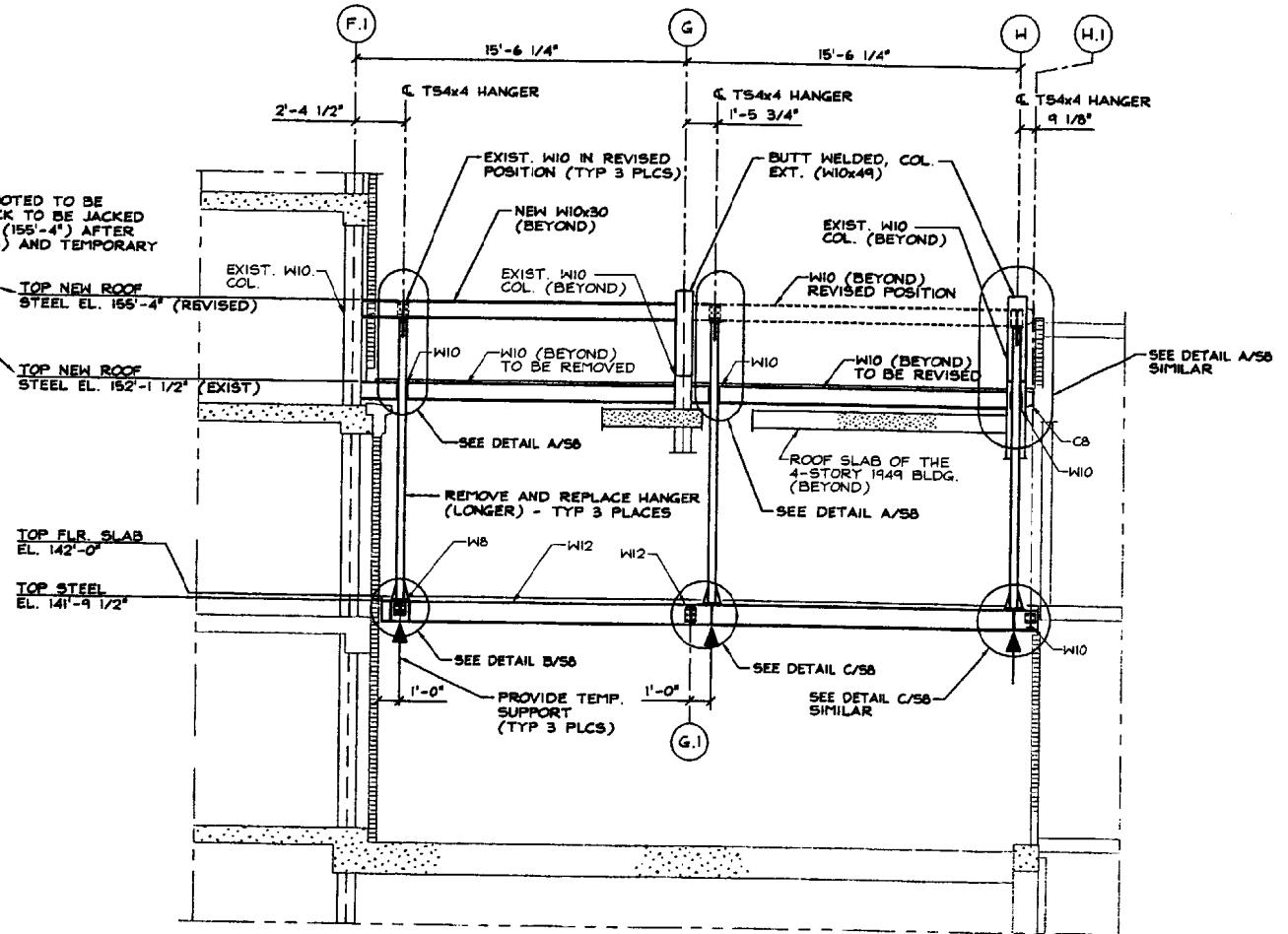
**VERTICAL EXPANSION**  
**AT**  
**MERCY HOSPITAL (2000)**  
 PORTLAND, MAINE

SHELLY ENGINEERING, INC.  
 STRUCTURAL CONSULTANTS  
 90 Broad Street  
 Westbrook, Maine 04092  
 Phone: (207) 864-8708  
 Fax: (207) 864-8708  
 www.ShellyEngineering.com

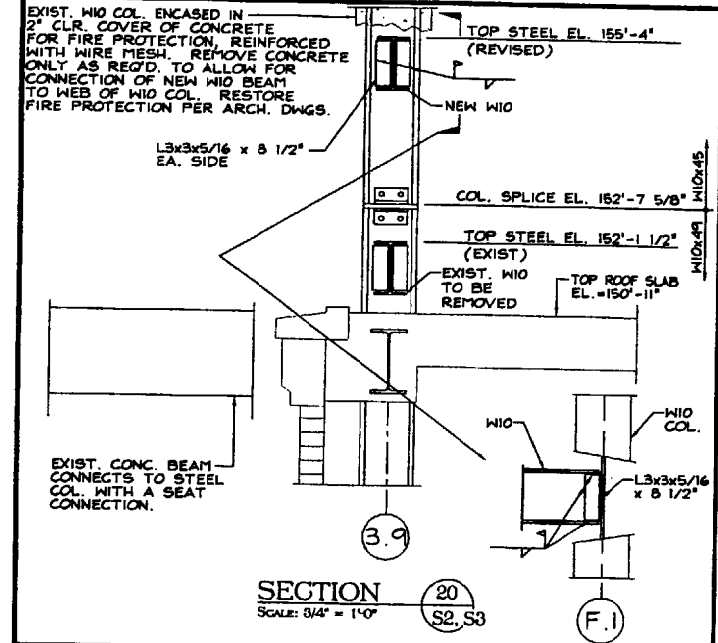


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**SECTIONS AND DETAILS**  
**S7 OF 8**  
 CADD 200036057

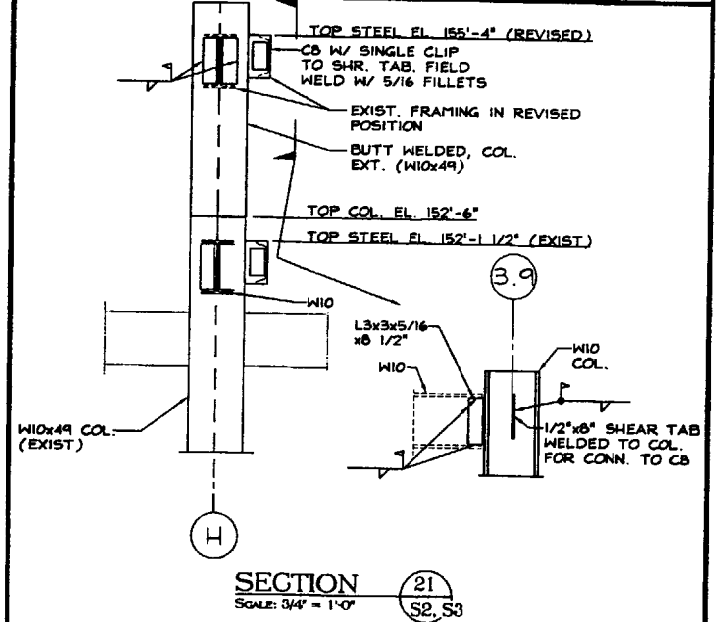
**NOTE:**  
 ALL EXISTING FRAMING (EXCEPT THAT NOTED TO BE REMOVED OR REPLACED) AND ROOF DECK TO BE JACKED AND/OR LIFTED TO REVISED ELEVATION (155'-4") AFTER INSTALLATION OF NEW FRAMING (SEE 98) AND TEMPORARY SUPPORTS AS REQUIRED.



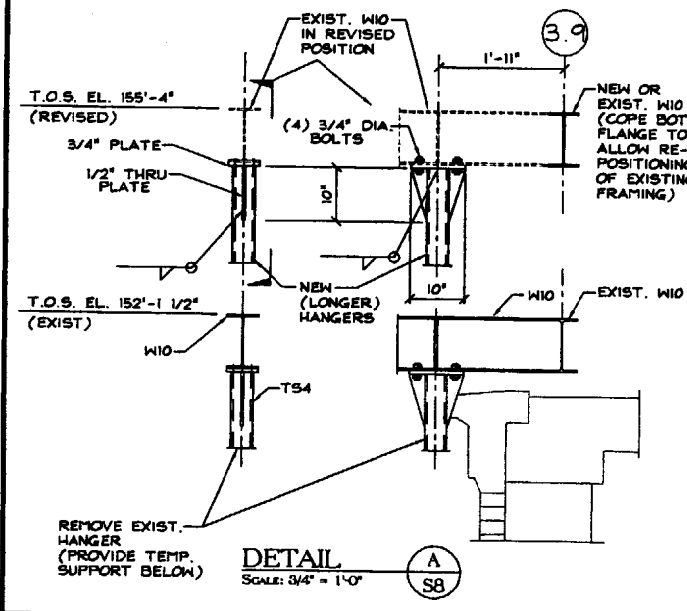
**SECTION 19**  
 SCALE: 1/4" = 1'-0"  
 S2, S3



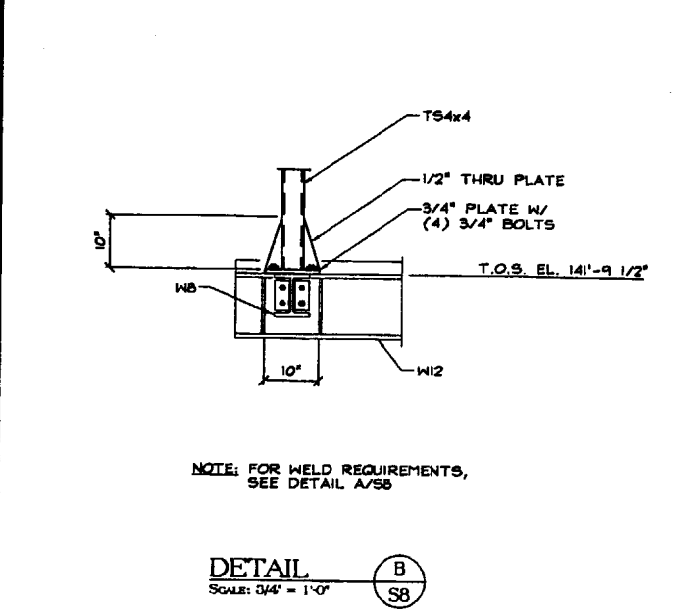
**SECTION 20**  
 SCALE: 3/4" = 1'-0"  
 S2, S3



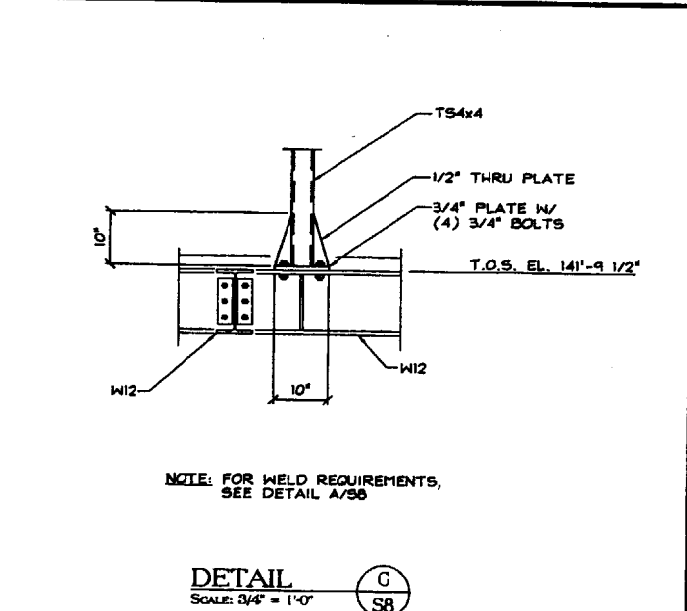
**SECTION 21**  
 SCALE: 3/4" = 1'-0"  
 S2, S3



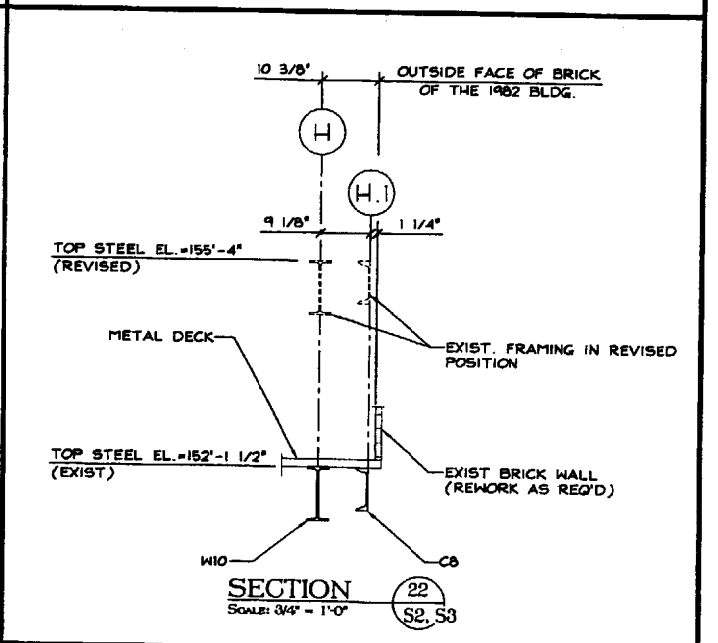
**DETAIL A**  
 SCALE: 3/4" = 1'-0"  
 S8



**DETAIL B**  
 SCALE: 3/4" = 1'-0"  
 S8



**DETAIL C**  
 SCALE: 3/4" = 1'-0"  
 S8



**SECTION 22**  
 SCALE: 3/4" = 1'-0"  
 S2, S3

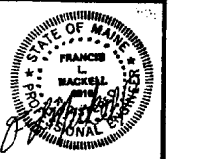
REVISION/ISSUE	DESCRIPTION
#	DATE
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	ISSUED FOR BID

DRAWN BY:	LFP
CHECKED BY:	FLM
DATE:	DECEMBER 8, 2000
SCALE:	AS NOTED
JOB NO.:	8000-980

**VERTICAL EXPANSION**  
 AT  
**MERCY HOSPITAL (2000)**  
 PORTLAND, MAINE

SHELLEY ENGINEERING, INC.  
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SEI



**SHEET TITLE:**  
 SECTIONS AND DETAILS  
**S8 OF 8**  
 CADD 200034058