

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

DEPARTMENT OF BUILDING & INSPECTION

PERMIT

Permit Number: 021130

This is to certify that Mercy Hospital/Ledgewood
has permission to Interior Renovations on B1, 2 & 6th Floors
AT 148 State St 045 C006001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is altered or closed-in. 48 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. *[Signature]*
Health Dept. _____
Appeal Board _____
Other _____

Department Name

[Signature] 10/16/02
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED	
Permit No.: 02-1130	Issue Date: OCT 18 2002
CBL: 045 C006001	

Location of Construction: 148 State St	Owner Name: Mercy Hospital	Owner Address: 144 State St	Phone: 879-3433
Business Name:	Contractor Name: Ledgewood Inc.	Contractor Address: PO Box 8107 Portland	Phone: 2077671866
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: R-6

Past Use: Mercy Hospital	Proposed Use: Mercy Hospital	Permit Fee: \$1,367.00	Cost of Work: \$191,143.00	CEO District: 3
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FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: 1 Type: NA 10/16/02 <i>[Signature]</i>
Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>

Proposed Project Description:
Interior Renovations on B1, 2nd & 6th Floors

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: gad	Date Applied For: 10/01/2002	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: _____	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: 10/7/02	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____ <i>Any exterior work requires a separate review</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
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RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
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11/7/02 - Framing Insp - Inter. non
bearing-ok - Adding window in
Corridor wall - have questions about
fire rating - Called Rob Morin, TM.
Rob stated the architect believes it's a smoke
wall not a fire wall but they will address issue.

1/29/03 - Final of Chapel - OK TM
2nd floor final - OK. TM

02-1130

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

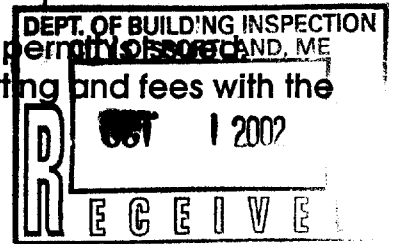
Location/Address of Construction: 144 State Street, Portland, ME 04101		
Total Square Footage of Proposed Structure Interior Renovations, 6,172 S.F.	Square Footage of Lot N/A	
Tax Assessor's Chart, Block & Lot Chart# 045 Block# C Lot# 006	Owner: Mercy Hospital	Telephone: 879-3433
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: Brandon Mitchell	Cost Of Work: \$191,143 Fee: \$1,363
Current use: Medical		
If the location is currently vacant, what was prior use: N/A		owe \$5.00
Approximately how long has it been vacant: N/A		
Proposed use: Medical		
Project description: Interior renovations within an existing building, removing non-load bearing walls, 12' x 6' Th floor reno, moving chapel		
Contractor's name, address & telephone: Ledge wood, INC., P.O. Box 8107, Portland, ME 04104, 767-1866		
Who should we contact when the permit is ready: Brandon Mitchell		
Mailing address: 27 Main St. South Portland, ME 04106		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 767-1866		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Brandon J. Mitchell Date: 10/1/02

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

_____ **Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

_____ **Footing/Building Location Inspection:** Prior to pouring concrete

_____ **Re-Bar Schedule Inspection:** Prior to pouring concrete

_____ **Foundation Inspection:** Prior to placing ANY backfill

Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling

Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

_____ **If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

X Brandon J. [Signature]
Signature of applicant/designee

Date 10/10/02

Signature of Inspections Official

Date

CBL: 0450006 Building Permit #: 021130



CITY OF PORTLAND
ACCESSIBILITY CERTIFICATE

Designer: CRAIG PIPER

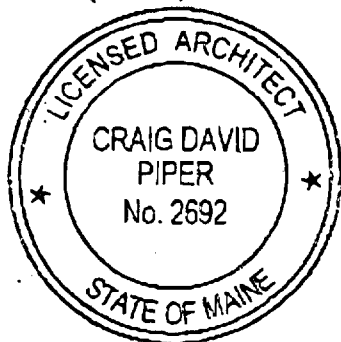
Address of Project STATE STREET, PORTLAND

Nature of Project INTERIOR RENOVATIONS FOR
MERCY HOSPITAL

Date 10.1.02

The technical submissions covering the proposed construction work as described above have been have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.

(SEAL)



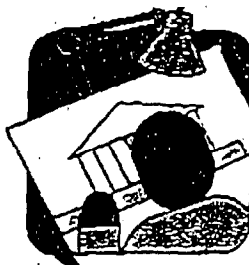
Signature [Handwritten Signature]

Title ARCHITECT

Firm SMRT

Address 144 FORE STREET
PORTLAND, MAINE

Telephone 207-772-3846



CITY OF PORTLAND MAINE

389 Congress St., Rm 315

Portland, ME 04101

Tel. - 207-874-8704

Fax - 207-874-8716

TO: Inspector of Buildings City of Portland, Maine
Planning & Urban Development
Division of Housing & Community Services

FROM DESIGNER: CRAIG PIPER
SMRT

DATE: 10.1.02

Job Name: MERCY HOSPITAL - B1, 2ND, 4TH, AND 6TH FLOOR RENOVATION

Address of Construction: STATE STREET, PORTLAND

THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION

Construction project was designed according to the building code criteria listed below:

Building Code and Year BOCA 1999 NFPA 2000 Use Group Classification(s) HOSPITALS

Type of Construction IB Bldg. Height N/A Bldg. Sq. Footage N/A

Seismic Zone N/A Group Class N/A

Roof Snow Load Per Sq. Ft. N/A Dead Load Per Sq. Ft. N/A

Basic Wind Speed (mph) N/A Effective Velocity Pressure Per Sq. Ft. N/A

Floor Live Load Per Sq. Ft. N/A

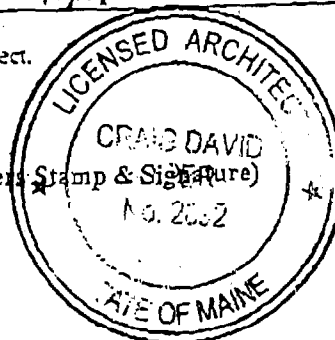
Structure has full sprinkler system? Yes No Alarm System? Yes No
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

Is structure being considered unlimited area building: Yes No

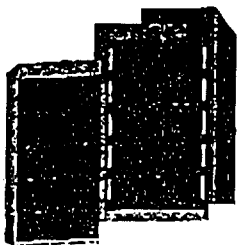
If mixed use, what subsection of 313 is being considered N/A

List Occupant loading for each room or space, designed into this Project.

(Designer's Stamp & Signature)



THE BEST C
MY KNOWLEDGE
INFORMATION
AND BEUR



CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Rm 315
Portland, ME 04101

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: CRAIG PIPER

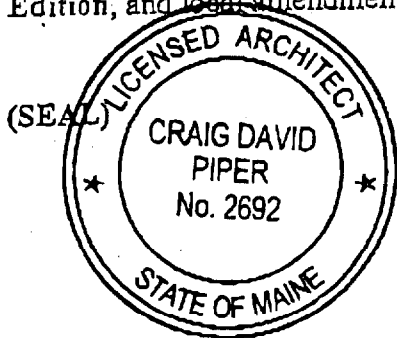
RE: Certificate of Design

DATE: 10/1/02

These plans and/or specifications covering construction work on:

MERCY HOSPITAL - B1, 2ND, 4TH AND 6TH FLOOR RENOVATION

TO THE BEST OF MY KNOWLEDGE, BELIEF AND INFORMATION,
Have been designed and drawn up by the undersigned, a Maine registered
architect/engineer according to the BOCA National Building Code/1999 Fourteenth
Edition, and local amendments.



Signature [Handwritten Signature]

Title ARCHITECT

Firm SMRT

Address 144 POLK STREET
PORTLAND, MAINE

As per Maine State Law:

\$50,000.00 or more in new construction, repair,
expansion, addition, or modification for Building or
Structures, shall be prepared by a registered design
Professional.

B1, 2ND & 6TH FLOOR RENOVATIONS

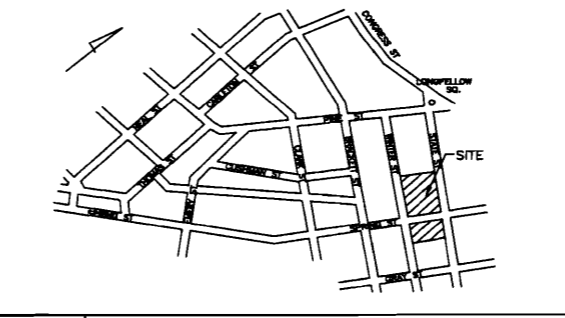
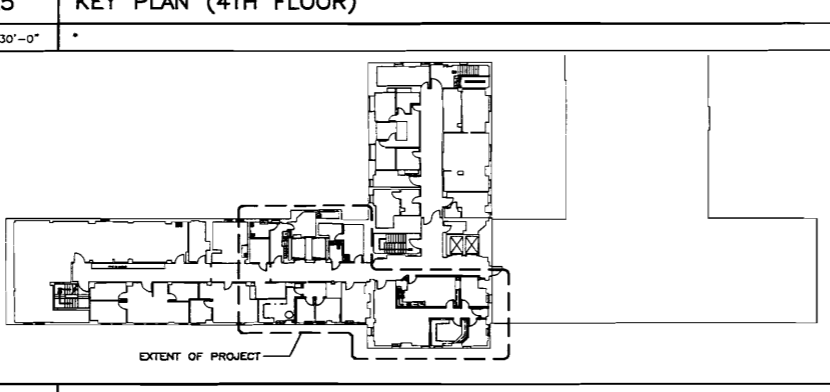
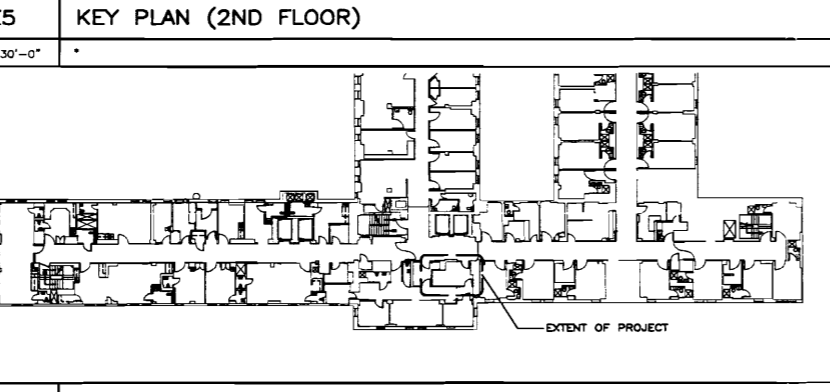
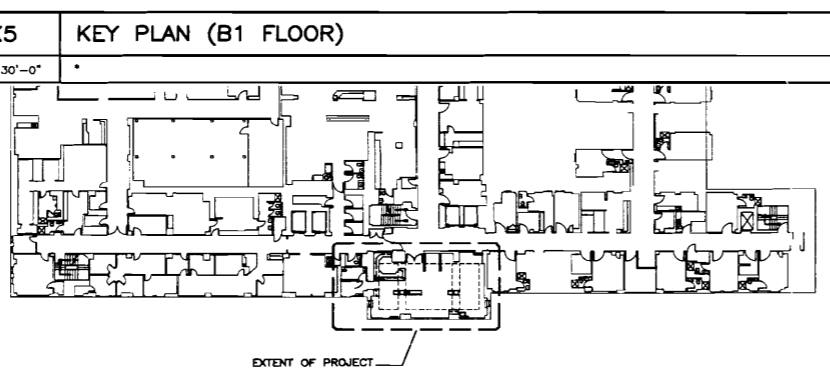
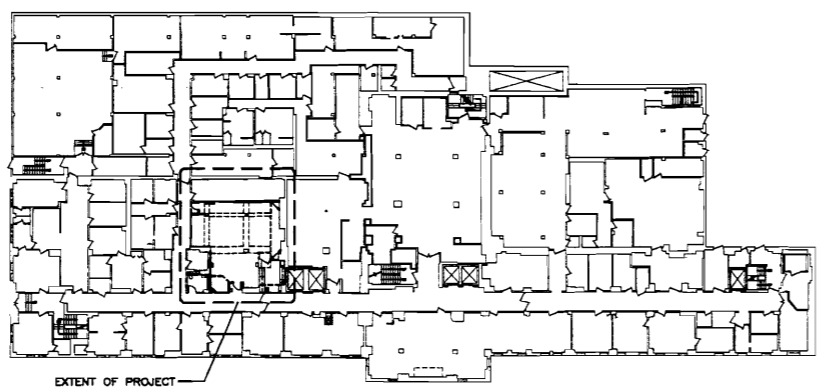
GENERAL NOTES:

- DO NOT SCALE THE DRAWINGS.
- THE CONTRACTOR AND ALL TRADES SHALL NOTE REQUIREMENTS OF "GENERAL NOTES" ON ALL SHEETS.
- FIELD VERIFY ALL DIMENSIONS AND LAYOUT PRIOR TO PROCEEDING WITH WORK. NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES OR INCONSISTENCIES. FAILURE TO REPORT ANY DISCREPANCIES WITHIN THESE CONSTRUCTION DOCUMENTS TO THE ARCHITECT WILL NOT BE GROUNDS FOR ADDITIONAL COST OR CHANGE ORDERS.
- "PROVIDE" MEANS "FURNISH AND INSTALL".
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS (UNLESS NOTED OTHERWISE), AND WORKMANSHIP IN ACCORDANCE WITH FEDERAL, STATE, CITY AND LOCAL BUILDING CODES AND THEIR REQUIREMENTS.
- REFER TO LARGE SCALE PLANS FOR PARTITION TYPES IN AREAS WHICH ARE DETAILED AT A LARGER SCALE.
- EACH TRADE TO PROVIDE SMOKE OR FIRE SEALANT AT PENETRATIONS AS REQUIRED FOR WALL TYPE. ALL SEALANT, FIRE STOPPING, AND SMOKE STOPPING ASSEMBLIES SHALL BE U.L. RATED.
- DIMENSIONS ARE FACE OF CONCRETE, FACE OF MASONRY, AND CENTERLINE OF INTERIOR STUD PARTITIONS, EXTERIOR STUD PARTITIONS ARE DIMENSIONED TO EXTERIOR FACE OF STUD, UNLESS INDICATED OTHERWISE.
- TOILET ACCESSORIES ARE SHOWN ON INTERIOR ELEVATIONS.
- REFER TO ALL CONSTRUCTION DOCUMENTS FOR REQUIREMENTS WHICH MAY AFFECT THE WORK IN ANOTHER AND COORDINATE WORK.
- REFERENCE DETAILS AND ENLARGED PLANS FOR ADDITIONAL DIMENSIONAL INFORMATION.
- DOOR JAMBS SHALL BE LOCATED 6" FROM CORNER IN STUD PARTITIONS AND 8" FROM CORNER IN MASONRY PARTITIONS, UNLESS INDICATED OTHERWISE.

- A/C AIR CONDITIONING
- ACT ACoustic CEILING TILE
- AF ABOVE FINISHED FLOOR
- AP ACCESS PANEL
- BC BOTTOM CHORD EXTENSION
- BD BOARD
- BO BOTTOM OF
- BOF BOTTOM OF FOOTING
- BS BOTTOM OF STEEL
- BSS BOTH SIDES
- BSE BRICK SHELF ELEVATION
- C CHANNEL
- CB CATCH BASIN
- CCM CUBIC FEET PER MINUTE
- CC CORNER GUARD
- CCJ CONTROL JOINT; CONSTRUCTION JOINT
- CLD CEILING
- CUH CABINET UNIT HEATER
- CR CHAIR RAIL
- DF DRINKING FOUNTAIN
- EF EXHAUST FAN; EACH FACE
- EJ EXPANSION JOINT
- EPDM ETHYLENE PROPYLENE DIENE MONOMER
- EWC ELECTRIC WATER COOLER
- FB FLAT BAR
- FBO FURNISHED BY OTHERS
- FDD FLOOR CLEAN-OUT
- FD FLOOR DRAIN
- FE FIRE EXTINGUISHER
- FF FINISHED FLOOR; FAR FACE
- FO FRAMED OPENING
- FS FAR SIDE
- FT FIRE TREATED
- GB GRAB BAR
- GC GENERAL CONTRACTOR
- GWB GYPSUM WALL BOARD
- H HORIZONTAL
- HC HANDICAPPED
- HM HOLLOW METAL
- HRU HEAT RECOVERY UNIT
- HR HEIGHT
- HR HAND RAIL
- H&V HEATING AND VENTILATING
- HVAC HEATING, VENTILATING AND AIR CONDITIONING
- IF INSIDE FACE
- IJ ISOLATION JOINT
- IN INVERT
- JS JOIST SUBSTITUTE
- L ANGLE
- LCC LEAD COATED COPPER
- LH LONG LEG HORIZONTAL
- LV LONG LEG VERTICAL
- LP LIGHTING PANEL
- MB MARKER BOARD
- MDO MEDIUM DENSITY OVERLAY
- MO MASONRY OPENING
- MR MOISTURE-RESISTANT
- MUA MAKE-UP AIR
- N NOSING
- NIC NOT IN CONTRACT
- NS NEAR SIDE
- NTS NOT TO SCALE
- OC ON CENTER
- OH OUTSIDE FACE
- OH OVERHEAD
- OF/CI OWNER FURNISHED/CONTRACTOR INSTALLED
- OF/I OWNER FURNISHED/INSTALLED
- PA PUBLIC ADDRESS
- PAF POWDER-ACTUATED FASTENER
- PL PLATE
- PLAM PLASTIC LAMINATE
- PLF POUNDS PER LINEAR FOOT
- PP POWER PANEL
- PSF POUNDS PER SQUARE FOOT
- PSI POUNDS PER SQUARE INCH
- PT PRESSURE-TREATED
- PVC POLYVINYL CHLORIDE
- R RISER; RADIUS
- RB RESILIENT BASE
- RD ROOF DRAIN
- RO ROUGH OPENING
- RUB-RAL RUB-RAL
- SC SOLID CORE
- SCHD SCH-REDUCE
- SF SQUARE FOOT; SUPPLY FAN
- SK SHEAR KEY
- SS SPACES
- SS STAINLESS STEEL
- T TREAD
- TB TACKBOARD
- T&B TOP AND BOTTOM
- TBM TEMPORARY BENCHMARK
- TCE TOP CHORD EXTENSION
- TJ TOP JOIST
- TO TOP OF
- TOC TOP OF CONCRETE
- TOF TOP OF FOOTING
- TOM TOP OF MASONRY
- TOP TOP OF PIER
- TOS TOP OF STEEL; TOP OF SLAB
- TOW TOP OF WALL
- TP TOILET PAPER (DISPENSER)
- UH UNIT HEATER
- UNO UNLESS NOTED OTHERWISE
- V VENT PIPE; VERTICAL
- VB VAPOR BARRIER
- VV VINYL COMPOSITION TILE
- VP VISION PANEL
- VV VENT THROUGH THE ROOF
- WF WATER CLOSER
- W/F WIDE FLANGE
- W/O WITHOUT
- WP WORKING POINT
- WS WEB STIFFENER
- WWS WELDED WIRE FABRIC

GRID LOCATION	TITLE
A1 A101	BUILDING SECTION
A1 A101	WALL SECTION
A1 A101	DETAIL
◆	LEVEL LINE
△	REVISION
△	WINDOW TYPE
Ⓢ	DOOR NUMBER
LOBBY A155	ROOM NAME ROOM NUMBER
◀ B14 A200	INTERIOR ELEVATION
◆	WALL TYPE
1	CONTRACTOR REMOVALS NOTE
A	OWNER REMOVALS NOTE
Ⓢ	BACKER ROD AND SEALANT
A1 A101	EXTERIOR ELEVATION
---	EXISTING - TO BE REMOVED (UNLESS NOTED OTHERWISE)
---	1 HOUR RATED WALL ASSEMBLY
---	2 HOUR RATED WALL ASSEMBLY

GRID LOCATION	TITLE
G3	SYMBOLS LEGEND
NTS	



GRID LOCATION	TITLE
G6	LOCATION MAP
NTS	

DRAWING LIST:

G001	COVER SHEET	A14	DRAWING LIST
G002	CODE REVIEW & OUTLINE SPECIFICATIONS	N/A	*
ARCHITECTURAL			
AD101	DEMOLITION PLANS		
AE101	FLOOR PLANS		
AE102	REFLECTED CEILING PLANS		
AE201	INTERIOR ELEVATIONS		
AE202	CASEWORK DETAILS		
AE203	CASEWORK DETAILS		
AE601	SCHEDULES, WINDOW ELEVATIONS AND DETAILS		
AF101	FLOOR FINISH PLANS		

- 1A INTERIOR PARTITION: 5/8" TYPE "X" GYPSUM BOARD, 3-5/8" METAL STUDS EXTENDED TO 6" ABOVE HIGHEST ADJACENT CEILING. ACUSTIC BATT INSULATION BETWEEN STUDS, 5/8" TYPE "X" GYPSUM BOARD. PROVIDE ACUSTIC CAULK AT ALL PERIMETERS BELOW CEILING. CONSTRUCT WALL TO COMPLY WITH NO LESS THAN THE REQUIREMENTS OF UL DESIGN U485. REFER TO FINISH SCHEDULE FOR APPLIED FINISHES SUCH AS TILE. PROVIDE SPECIFIED TILE SUBSTRATE IN PLACE OF GYPSUM BOARD WHERE TILE INDICATED, TYP.
- 1B INTERIOR PARTITION / 1 HOUR FIRE RATED WALL: 5/8" TYPE "X" GYPSUM BOARD FULL HEIGHT, 3-5/8" METAL STUDS EXTENDED TO BOTTOM OF STRUCTURE ABOVE. ACUSTIC BATT INSULATION BETWEEN STUDS, 5/8" TYPE "X" GYPSUM BOARD FULL HEIGHT. PROVIDE FIRE CAULK AT ALL PERIMETERS. FIRE STOP ALL PENETRATIONS. CONSTRUCT WALL TO COMPLY WITH NO LESS THAN THE REQUIREMENTS OF UL DESIGN U485. REFER TO FINISH SCHEDULE FOR APPLIED FINISHES SUCH AS TILE. PROVIDE SPECIFIED TILE SUBSTRATE IN PLACE OF GYPSUM BOARD WHERE TILE INDICATED, TYP. (IF TAG IS INDICATED AT AN EXISTING WALL-MODIFY WALL TO MEET THESE REQUIREMENTS)
- 2 INTERIOR PARTITION: 5/8" TYPE "X" GYPSUM BOARD, 3-5/8" METAL STUDS EXTENDED TO 6" ABOVE HIGHEST ADJACENT CEILING. ACUSTIC BATT INSULATION BETWEEN STUDS, PROVIDE ACUSTIC CAULK AT ALL PERIMETERS BELOW CEILING. REFER TO FINISH SCHEDULE FOR APPLIED FINISHES SUCH AS TILE. PROVIDE SPECIFIED TILE SUBSTRATE IN PLACE OF GYPSUM BOARD WHERE TILE INDICATED, TYP.
- 3 INTERIOR PARTITION: (2) LAYERS 5/8" TYPE "X" GYPSUM BOARD, 3-5/8" METAL STUDS EXTENDED TO 6" ABOVE HIGHEST ADJACENT CEILING, ACUSTIC BATT INSULATION BETWEEN STUDS. PROVIDE ACUSTIC CAULK AT ALL PERIMETERS BELOW CEILING. REFER TO FINISH SCHEDULE FOR APPLIED FINISHES.

REV.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	8-23-02

ISSUED FOR CONSTRUCTION
8-23-02

CURRENT ISSUE STATUS:



SMRT ARCHITECTURE ENGINEERING PLANNING
SMRT
144 Fore Street/P.O. Box 618
Portland, Maine 04104
tel. (207) 772-3846
fax. (207) 772-1070

MERCY HOSPITAL
B1, 2ND AND 6TH FLOOR RENOVATIONS
PORTLAND, MAINE

COVER SHEET		
SHEET TITLE:	G1001	
SCALE:	AS NOTED	DATE: 8-23-02
PROJECT MANAGER:	CDP	GRAPHIC SCALE: 0" = 1'
JOB CAP/DRAWN:	MDR	
A/E OF RECORD:	CDP	SHEET No.
SMRT CAD FILE:	G1001-02035	
PROJECT No.	02035	

GRID LOCATION	TITLE
A1	ABBREVIATIONS
NTS	*

GRID LOCATION	TITLE
A5	KEY PLAN (6TH FLOOR)
NTS	*

GRID LOCATION	TITLE
A14	PARTITION LEGEND
N/A	*

CODE REVIEW SUMMARY

FIRE: NFPA INCLUDING 101 LIFE SAFETY CODE, 1987 EDITION
BUILDING: BOCA BUILDING CODE, 2000 EDITION
ACCESSIBILITY: ADA, ACCESSABILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
USE GROUP CLASSIFICATION(S):
THE BOCA NATIONAL BUILDING CODE:
I-2/NEW-INSTITUTIONAL FACILITY-HOSPITAL
SPECIFIC OCCUPANCY AREAS/HAZARDOUS AREA PROTECTION:
BOCA CHAPTER 3, TABLE 302.1.1, NFPA 101 CHAPTER 12, TABLE 12-3.2.1:
USE GROUP I-2
WASTE AND SOILED LINEN RMS. 1 HR SEPARATION
KITCHEN & EMPLOYEE LOCKER RMS. SMOKE PARTITIONS
SOILED LINEN RMS. 1 HR SEPARATION
STORAGE ROOMS > 50 SQ FT SMOKE PARTITIONS
STORAGE ROOMS > 100 SQ FT 1 HR SEPARATION
TRASH COLLECTION RMS. 1 HR SEPARATION
TYPE OF CONSTRUCTION:
NFPA 220: TYPE I-PROTECTED (332)
BOCA: TYPE 1B-PROTECTED
FIRE RESISTANCE RATINGS OF STRUCTURE ELEMENTS: (BOCA, TABLE 602)
ELEMENT 1B
EXTERIOR LOAD BEARING WALLS 3 HR.
FIRE SEPARATION ASSEMBLIES: 2 HR.
FIRE PARTITIONS
EXIT ACCESS CORRIDORS (TABLE 1011.4) RESIST THE PASSAGE OF SMOKE.
INTERIOR LOAD BEARING WALLS & COLUMNS: 2 HR. UL DESIGN NO X771
FLOOR/CEILING (PENTHOUSE) 2 HR. UL DESIGN NO D739
ROOF/CEILING 2 HR. UL DESIGN NO P717
OCCUPANCY/USE GROUP SEPARATION
BOCA CHAPTER 3, TABLE 313.1.2
2 HR. FIRE SEPARATION BETWEEN FIRE AREAS.
BUILDING HEIGHT:
BOCA CHAPTER 5, TABLE 503
ALLOWABLE
NOT LIMITED
BUILDING AREA:
BOCA-CHAPTER 5, TABLE 503
ALLOWABLE
NOT LIMITED
ACTUAL:
SQ FT
MEANS OF EGRESS:
BOCA-CHAPTER 10
NFPA 101-CHAPTERS 5, 12
MINIMUM NUMBER OF EXITS REQUIRED
ANY ROOM OR ANY SUITE OF ROOMS, OTHER THAN PATIENT SLEEPING ROOMS, OF MORE THAN 2500 FT2 (230 M2) SHALL HAVE NOT LESS THAN TWO EXIT ACCESS DOORS REMOTELY LOCATED FROM EACH OTHER.
EGRESS CAPACITY:
EXIT ACCESS CORRIDORS:
WIDTH 98 IN. CLEAR
DOORS:
WIDTH 44 IN. CLEAR
STAIRS:
WIDTH 44 IN. CLEAR
ARRANGEMENT:
ALLOWABLE
DEAD-END-CORRIDOR 20 FT.
TRAVEL DISTANCE
ROOM DOOR AND EXIT 200 FT
POINT IN A ROOM AND EXIT 250 FT
EMERGENCY LIGHTING WILL BE PROVIDED BY AN ESSENTIAL ELECTRICAL SYSTEM UTILIZING EMERGENCY POWER GENERATION AND CONFORMING WITH THE REQUIREMENTS OF NFPA 99.
EXIT SIGNAGE SHALL BE SELF-LUMINOUS TYPE AS PERMITTED BY NFPA 101, 5-10.3.3 EXCEPTION NO. 2

PROTECTION OF VERTICAL OPENINGS:
BOCA CHAPTERS 6 & 7
NFPA 101 - CHAPTERS 6 & 22
VERTICAL OPENINGS CONNECTING TWO OR MORE STORIES SHALL BE PROTECTED BY A SHAFT ENCLOSURE WITH A FIRE RESISTANCE RATING AS DESIGNATED UNDER "TYPE OF CONSTRUCTION-FIRE RESISTANCE RATINGS OF STRUCTURE ELEMENTS" ABOVE. WHERE PERMITTED BY THE CODE, PENETRATIONS OF FLOOR/CEILING AND ROOF/CEILING ASSEMBLIES WILL BE PROTECTED BY A THROUGH-PENETRATION FIRESTOP SYSTEM WITH RATINGS NOT LESS THAN THE REQUIRED RATING OF THE ASSEMBLY BEING PROTECTED.
INTERIOR FINISH:
BOCA - CHAPTER 6
NFPA 101 - CHAPTERS 6 & 22
WALL AND CEILING FINISHES:
EXITS ENCLOSURES CLASS A
EXIT STAIRWAYS CLASS A
LOBBIES AND CORRIDORS CLASS A OR B
ALL OTHER SPACES CLASS A OR B
FLOOR FINISHES: NO REQUIREMENTS
PROTECTION OF VERTICAL OPENINGS:
BOCA - CHAPTERS 6 & 7
NFPA 101 - CHAPTERS 6 & 22
VERTICAL OPENINGS CONNECTING TWO OR MORE STORIES SHALL BE PROTECTED BY A SHAFT ENCLOSURE WITH A FIRE RESISTANCE RATING AS DESIGNATED UNDER "TYPE OF CONSTRUCTION-FIRE RESISTANCE RATINGS OF STRUCTURE ELEMENTS" ABOVE. WHERE PERMITTED BY THE CODE, PENETRATIONS OF FLOOR/CEILING AND ROOF/CEILING ASSEMBLIES WILL BE PROTECTED BY A THROUGH-PENETRATION FIRESTOP SYSTEM WITH RATINGS NOT LESS THAN THE REQUIRED RATING OF THE ASSEMBLY BEING PROTECTED.
NOTIFICATION:
OCCUPANT:
AUTOMATIC NOTIFICATION REQUIRED IN CONFORMANCE WITH NFPA 101, 7-6.3. VISIBLE ALARM DEVICES MAY BE USED IN LIEU OF AUDIBLE DEVICES IN CRITICAL CARE AREAS.
EMERGENCY FORCES:
FIRE DEPARTMENT NOTIFICATION REQUIRED IN CONFORMANCE WITH NFPA 101, 7-6.4.
DETECTION:
SPACES OPEN TO CORRIDORS, AND NOT ARRANGED TO PERMIT DIRECT SUPERVISION FROM THE NURSE'S STATION SHALL BE PROTECTED BY AN ELECTRICALLY SUPERVISED, AUTOMATIC SMOKE DETECTION SYSTEM.
EXTINGUISHMENT REQUIREMENTS:
BOCA-CHAPTER 9, NFPA 101 - CHAPTERS 7 (SECTION 7-7) & 12, NFPA 13, NFPA 10
AUTOMATIC FIRE SUPPRESSION:
WATER BASED - QUICK RESPONSE OR RESIDENTIAL SPRINKLERS REQUIRED
THROUGHOUT:
PORTABLE FIRE EXTINGUISHERS:
REQUIRED IN ACCORDANCE WITH NFPA 101, 7-7.4.1, AND IN ACCORDANCE WITH NFPA 10.
CORRIDORS:
NFPA 101 CHAPTER 12 SECTION 12-3.6.2
CORRIDOR WALLS SHALL BE CONSTRUCTED TO RESIST THE PASSAGE OF SMOKE.
NFPA 101 CHAPTER 12 SECTION 12-3.6.3 CORRIDOR
DOORS
CORRIDOR DOORS SHALL BE POSITIVE LATCHING. DOOR CLOSURES ARE NOT REQUIRED ON NON-RATED DOORS.
SUBDIVISION OF BUILDING SPACES:
NFPA 101 CHAPTER 12 SECTION 12-3.7
EVERY STORY SHALL BE SUBDIVIDED BY ONE HOUR FIRE RATED SMOKE BARRIERS INTO TWO SMOKE COMPARTMENTS WITH AT LEAST 30 NET SQUARE FEET PER PATIENT IN AREAS WITH A HOSPITAL OCCUPANCY, AND 15 SQUARE FEET PER PATIENT IN AREAS WITH AN AMBULATORY HEALTH CARE OCCUPANCY.
FURNISHINGS, BEDDING AND DECORATIONS IN ACCORDANCE WITH NFPA 6-8.1 AND 12-7.5.

DIVISION 2- DEMOLITION AND SITE WORK
SECTION 02050 - DEMOLITION
A. ALL MATERIALS ARE TO BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER. CARE IS TO BE TAKEN TO AVOID DAMAGE TO ADJACENT MATERIALS.
B. WHERE INTERIOR MATERIALS CONTAIN ASBESTOS, THE OWNER INTENDS TO CONTRACT FOR REMOVAL OF THESE MATERIALS PRIOR TO THE START OF CONSTRUCTION.
DIVISION 5- WOOD AND PLASTICS
SECTION 05100 - ROUGH CARPENTRY
A. ALL WOOD FRAMING AND BLOCKING SHALL BE FIRE RESISTANT, MATERIAL BY HOOVER.
SECTION 05402 - INTERIOR ARCHITECTURAL WOODWORK
A. ALL CASEWORK TO BE AMERICAN WOODWORK INSTITUTE (AWI) "ARCHITECTURAL WOODWORK QUALITY STANDARDS" PREMIUM QUALITY, LAMINATE CLAD. COUNTERTOPS TO BE PLASTIC LAMINATE WITH MAPLE WOOD BULLNOSE EDGE.
1. LAMINATE: HIGH PRESSURE DECORATIVE LAMINATE, NEMA LD-3
2. GRADE: PREMIUM
3. FACE STYLE: FLUSH OVERLAY
4. FRAME FABRICATION: FACE FABRICATION
5. CORE: PLYWOOD AS ALLOWED BY GRADE.
DIVISION 7- THERMAL AND MOISTURE PROTECTION
A. MISC. ROOF REPAIRS AND PATCHES DUE TO INSTALLATION OF NEW MECHANICAL EQUIPMENT.
SECTION 07210 - BUILDING INSULATION
A. ACOUSTIC INSULATION AT INTERIOR PARTITIONS, BLANKET TYPE.
B. VAPOR RETARDER (NOT INTEGRAL WITH INSULATION): TYPE: POLYETHYLENE, ASTM D 4397, 6 MILS, 0.13 PERM VAPOR TRANSMISSION RATING.
SECTION 07270 - FIRESTOPPING
A. PROVIDE FIRESTOPPING MATERIALS AT PENETRATIONS THROUGH FIRE-RESISTANCE-RATED FLOOR AND ROOF CONSTRUCTION.
B. PROVIDE FIRESTOPPING MATERIALS AT PENETRATIONS THROUGH FIRE-RESISTANCE-RATED WALLS AND PARTITIONS.
C. PROVIDE FIRESTOPPING MATERIALS AT CONTROL JOINTS WHERE NEW AND EXISTING WORK MEETS AT ROOF AND CORRIDOR CROSSING.
D. PROVIDE SEALANT JOINTS IN FIRE-RESISTANCE-RATED CONSTRUCTION.
07800 JOINT SEALANTS
A. LATEX JOINT SEALANTS:
1. TYPE: ACRYLIC-EMULSION, ASTM C 834.
2. APPLICATION: INTERIOR JOINTS IN VERTICAL AND OVERHEAD SURFACES WITH LIMITED MOVEMENT.
B. AUXILIARY MATERIALS:
1. PLASTIC FOAM JOINT FILLERS.
2. ELASTOMERIC TUBING BACKER RODS.
3. BOND BREAKER TAPE.
DIVISION 8- DOORS AND WINDOWS
SECTION 08100 - HOLLOW METAL DOORS & FRAMES (WELDED ASSEMBLIES)
A. INTERIOR STANDARD HOLLOW METAL FRAMES AND DOORS.
B. STANDARDS: ANSI/SOI-100, RECOMMENDED SPECIFICATIONS FOR STANDARD STEEL DOORS AND FRAMES.
C. FIRE AND THERMAL RATED ASSEMBLIES AS REQUIRED.
D. DOORS TO BE FLUSH WITH HOLLOW OR COMPOSITE CONSTRUCTION, 18 GA. STEEL AT INTERIOR DOORS AND 16 GA GALVANIZED SHEET STEEL AT EXTERIOR DOORS.
E. HOLLOW METAL FRAMES TO BE WELDED FOR DOORS AND BORROWED LITES.
F. DOORS AND FRAMES TO BE FACTORY PRIMED AND FIELD PAINTED.
SECTION 08210 - WOOD DOORS
A. SOLID CORE, 5 PLY, FLUSH WOOD DOORS, TO MATCH EXISTING HOSPITAL DOORS, FOR TRANSPARENT FINISH, U.L. AS REQUIRED.
B. PROVIDE GLAZED LITES AND LOUVERS WHERE SCHEDULED.
C. DOORS TO BE FACTORY FINISHED.
D. ALL DOORS TO BE PREPARED FOR HARDWARE.
SECTION 08305 - ACCESS DOORS
A. PROVIDE FLUSH STEEL ACCESS DOORS FOR INSTALLATION IN GYPSUM BOARD WALLS AND CEILINGS. ACCESS DOORS TO BE RATED WHERE NECESSARY. DOORS TO BE FIELD PAINTED.
SECTION 08700 - FINISH HARDWARE
A. TYPICAL ROOM DOOR HARDWARE TO INCLUDE:
1. HINGES AND PIVOTS.
2. DOOR CLOSERS: LCN - 4041 OR SARGENT 281.
3. OFFSET PIVOTS.
4. EXIT DEVICES - VON DUPRIN AND SARGENT.
5. HOSPITAL LATCH EQUAL TO SARGENT MODEL #115.
6. LOCKSETS, LATCH SETS - SCHLAGE NO EXCEPTIONS.
7. PUSH PLATES, DOOR PULLS, PUSH/PULL BARS - ROCKWOOD, BURNS AND MES.
8. KICK PLATES (8 INCHES HEIGHT), ARMOR PLATES (34 INCHES), MOP PLATES (4 INCHES).
9. STOPS - ROCKWOOD, MES AND GLYNN JOHNSON. WALL BUMPERS, FLOOR STOPS AND ROLLER BUMPERS.
10. ELECTRICALLY - POWERED DOOR OPERATOR. LOW ENERGY OPERATION AND ADA REQUIREMENTS. HORTON 4000 LE, LCN 4510/20, AND KEANE-MONROE CORPORATION
ACCESS TWO SERIES 3100.
11. SILENCERS
12. NEW FINISH TO MATCH EXISTING IN HOSPITAL.
A. INTERIOR BUTTS: US260 (BHMA 652).
B. DOOR CLOSERS: SPRAYED TO MATCH HARDWARE FINISH.
C. EXIT DEVICES: US260 (BHMA 628).
D. KICK, PUSH PLATES: US320 (BHMA 630).
E. ALL OTHER HARDWARE SHALL BE: US260 (BHMA 626).

C. HARDWARE SETS:
HW 1: EACH LEAF SHALL HAVE: HINGES, LOCKSET (FUNCTION PRIVACY), DOOR CLOSER, DOOR STOP, SILENCERS.
HW 2: EACH LEAF SHALL HAVE: HINGES, LOCKSET (FUNCTION OFFICE), DOOR STOP, SILENCERS.
HW 2A: EACH LEAF SHALL HAVE: HINGES, LOCKSET (FUNCTION OFFICE, COMBINATION LOCK), DOOR STOP, SILENCER, CLOSER.
HW 3: EACH LEAF SHALL HAVE: HINGES, LOCKSET (FUNCTION STORAGE), DOOR STOP, CLOSER.
HW 4: EACH LEAF SHALL HAVE: HINGES, LOCKSET (FUNCTION CLASSROOM), DOOR STOP, SILENCERS, CLOSER.
HW 5: EACH PAIR SHALL HAVE: HINGES, PUSH AND PULL PADS, EXIT DEVICE WITH DOOR OPERATOR WITH KEY PAD. LOCKABLE FROM CORRIDOR SIDE.
SECTION 08800 - GLAZING
A. PROVIDE GLASS AND GLAZING AT EXTERIOR WINDOWS, INTERIOR WINDOWS, GLAZED OPENINGS, DOORS AND MIRRORS.
B. INSULATED GLASS TO HAVE 10 YEAR MANUFACTURER'S WARRANTY.
C. PRODUCTS
1. GLASS:
a. PRIMARY GLASS PRODUCTS: CLEAR FLOAT GLASS, ASTM C 1036
b. HEAT-TREATED GLASS PRODUCTS: HEAT-STRENGTHENED, TEMPERED, ASTM C 1048.
c. SEALED INSULATING GLASS UNITS: ASTM E 774, CLASS A.
d. MIRRORS: SILVERING AND PROTECTIVE COATINGS.
e. HIGH-PERFORMANCE COATINGS: LOW E (LOW EMISSIVITY) TYPE.
f. WIRED GLASS: ASTM C 1036. SQUARE MESH.
g. FIRE RATED SAFETY GLASS, PREMIUM GRADE.
2. GLAZING:
a. ELASTOMERIC GLAZING SEALANTS.
b. PERFORMED GLAZING TAPES
c. SETTING BLOCKS, SPACERS AND COMPRESSIBLE FILLER RODS.
3. GLAZING SCHEDULE:
a. ENTRANCES: 1IN THICK INSULATING GLASS, CLEAR TEMPERED GLASS, LOW-E-COATING.
b. MIRRORS: 1/4 INCH PLATE GLASS.
c. DOORS: TEMPERED, FIRE-RATED SAFETY GLASS OR LAMINATED GLASS AS REQUIRED.
DIVISION 9- FINISHES
SECTION 09250 - GYPSUM BOARD ASSEMBLIES
A. 5/8" GYPSUM BOARD SCREW ATTACHED TO STEEL FRAMING FOR INTERIOR PARTITIONS AND AT GYPSUM BOARD SOFFITS. PROVIDE RATED WALL CONSTRUCTION WHERE SCHEDULED. PROVIDE MR BOARD AT WET AREAS, I.E. BEHIND SINKS AND AT SHOWERS AND TUBS.
B. JOINT TREATMENT: 3-COAT SYSTEM FOR APPLICATION OF PAINT FINISHES AND VINYL WALLCOVERING.
C. TRIM ACCESSORIES: METAL CORNERBEAD, EDGE TRIM AND CONTROL JOINTS. PROVIDE VINYL EDGE TRIM AT EXTERIOR WINDOW HEAD AND JAMB RETURNS.
D. STEEL FRAMING: 25 GAGE OR TO MEET L/360 STEEL STUDS, DEPTH SCHEDULED.
SECTION 09511 - ACOUSTICAL PANEL CEILINGS
A. ACT: ARMSTRONG BEVELED REGULAR CURRUS, LAY-IN TILE IN ARMSTRONG 15/16" PRELUDE GRID SYSTEM, ANTIMICROBIAL SOLUTION.
SECTION 09650 - RESILIENT FLOORING
A. TYPES OF RESILIENT FLOORING AND ACCESSORIES (REFER TO FLOOR FINISH PLAN FOR COLORS AND PATTERNS.
1. VINYL COMPOSITION TILE (VCT):
(2) FROM ARMSTRONG MULTICOLOR PREMIUM EXCELOX
(2) FROM ARMSTRONG IMPERIAL TEXTURE /STANDARD EXCELOX
3. RESILIENT ACCESSORIES: 6" COVE BASE, VINYL OR RUBBER AND MATCHING REDUCER STRIPS AND OTHER ACCESSORY PRODUCTS
SECTION 09800 - PAINTING
A. ALL AREAS TO RECEIVE PAINT FINISH SHALL HAVE A PREMIUM 3 COAT LATEX SYSTEM. ALL PAINTS TO BE LOW ODOR AND VOC COMPLIANT.
B. EPOXY PAINT SHALL BE EQUAL TO SHERWIN -WILLIAMS ARMOR-TILE POLYESTER EPOXY.
DIVISION 10- SPECIALTIES
SECTION 10200 - LOUVERS AND VENTS
A. INTERIOR LOUVERS TO HAVE STATIONARY BLADES FOR AIR CIRCULATION OF BACK-LIT STAINED GLASS WINDOW/CABINETS. LOUVERS TO BE ALUMINUM PAINTED WHITE.
SECTION 10265 - IMPACT RESISTANT WALL PROTECTION
A. CORNER GUARDS AND WALL PANELS AT 48" HIGH. ARCHITECT TO SELECT FROM MANUFACTURES FULL RANGE OF STANDARD COLORS. 1PC. CORNER GUARDS TO BE SURFACED MOUNTED.
SECTION 10522 - FIRE EXTINGUISHERS AND CABINETS
A. PROVIDE FIRE EXTINGUISHERS SURFACE MOUNTED WALL CABINETS AS INDICATED ON PLAN. MAINTAIN MAXIMUM 75' TRAVEL DISTANCE BETWEEN EXTINGUISHERS.
SECTION 10800 - TOILET AND BATH ACCESSORIES
A. TOILET ACCESSORIES AT TOILET ROOMS TO INCLUDE PAPER TOWEL DISPENSER/DISPOSAL UNIT, FRAMED ADA MIRROR, GRAB BARS. (TOILET PAPER AND SOAP DISPENSERS TO BE PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR.). ROBE HOOKS TO BE PROVIDED ON DOORS (ALLOW FOR ALL TOILET ROOM DOORS).
SECTION 10850 - CUBICLE CURTAIN TRACK AND CUBICLE CURTAINS
A. PROVIDE SURFACE MOUNTED CUBICLE TRACK BY IMPERIAL FASTENER, COLOR: SELECT FROM MANUFACTURERS FULL RANGE OF COLORS. PROVIDE FIRE RETARDANT CUBICLE CURTAINS WITH MATCHING MESH.

A1 CODE REVIEW

A1 OUTLINE SPECIFICATIONS

Table with 3 columns: REV., DESCRIPTION, DATE. Row 1: 0 ISSUED FOR CONSTRUCTION 8-23-02. Row 2: REV. DESCRIPTION DATE

ISSUED FOR CONSTRUCTION 8-23-02

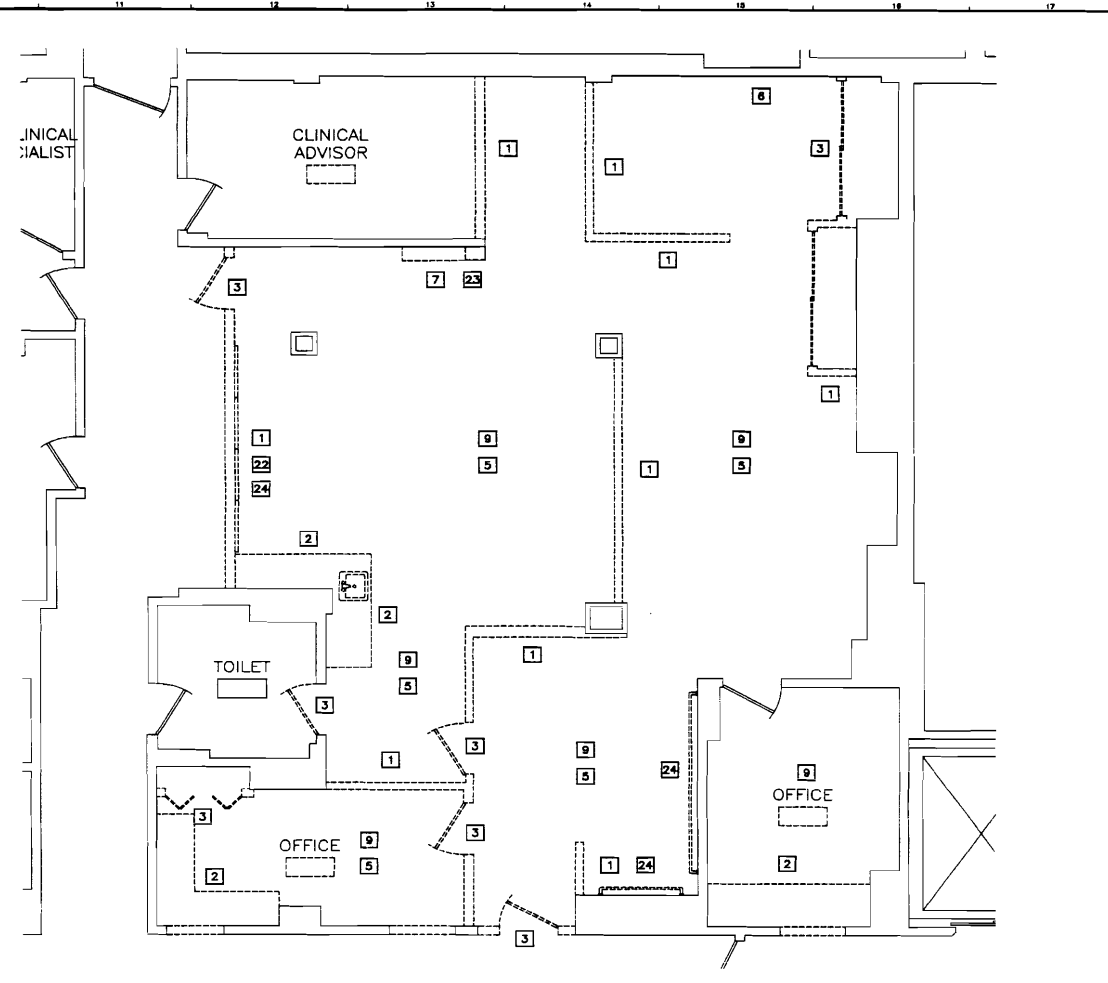
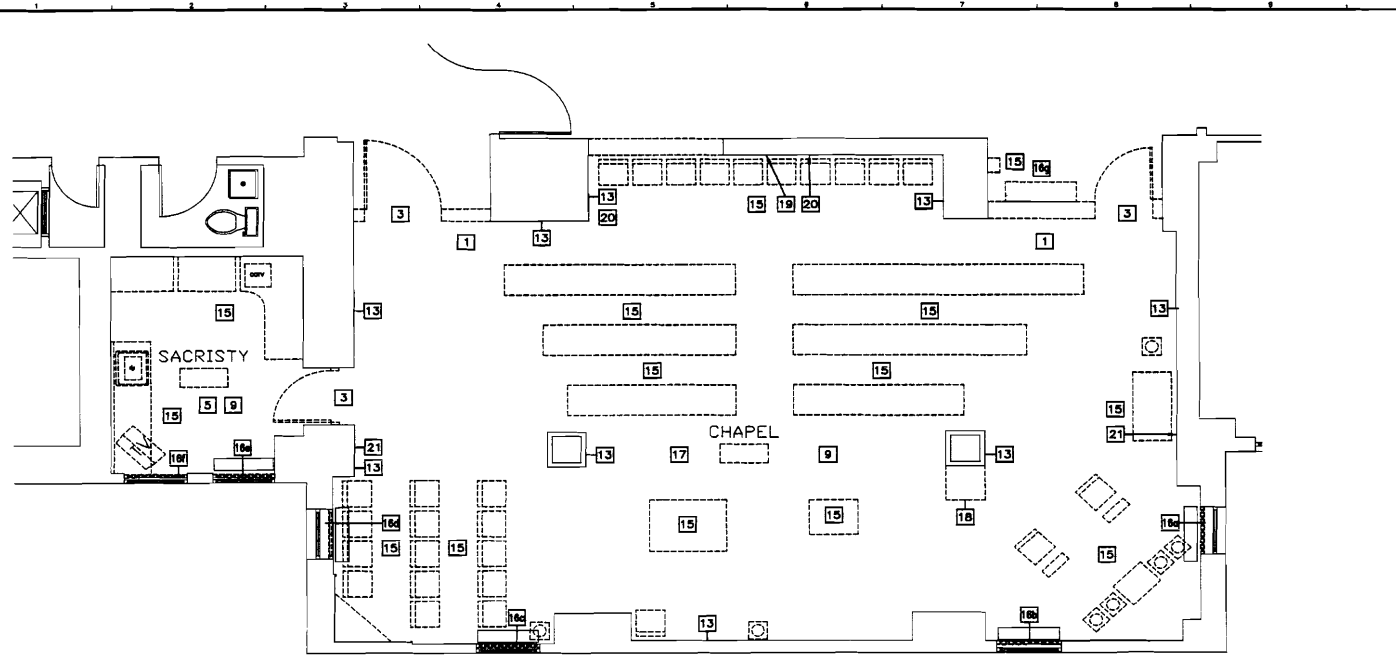
CURRENT ISSUE STATUS: Includes a professional seal for CRAIG DAVID, ARCHITECT, LICENSE NO. 4560, STATE OF MAINE.

SMART ARCHITECTURE ENGINEERING PLANNING 144 Fore Street/P.O. Box 618 Portland, Maine 04104 tel. (207) 772-3846 fax. (207) 772-1070

PROJECT: MERCY HOSPITAL B1, 2ND AND 6TH FLOOR RENOVATIONS PORTLAND, MAINE

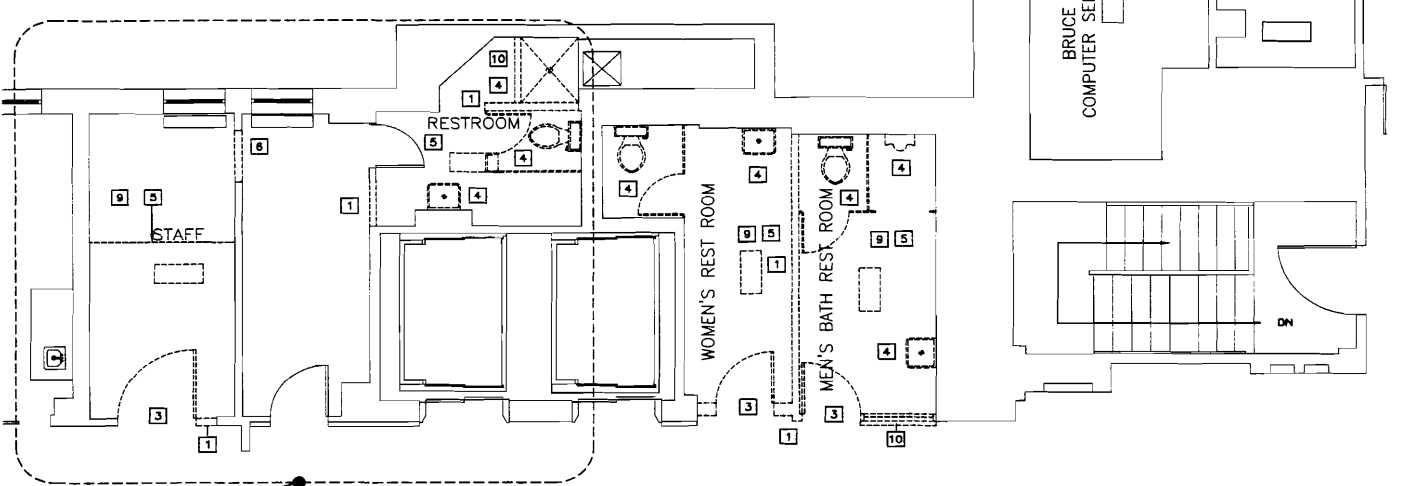
CODE REVIEW & OUTLINE SPECIFICATIONS

Table with 4 columns: SHEET TITLE, SCALE, PROJECT MANAGER, JOB CAP/DRAWN, A/E OF RECORD, SMRT CAD FILE, PROJECT No., DATE, GRAPHIC SCALE, SHEET No. Values include NTS, CDP, MDR/CDP, CDP, G1002-02035, 02035, 8-23-02, 1", 11, 1, G1002.



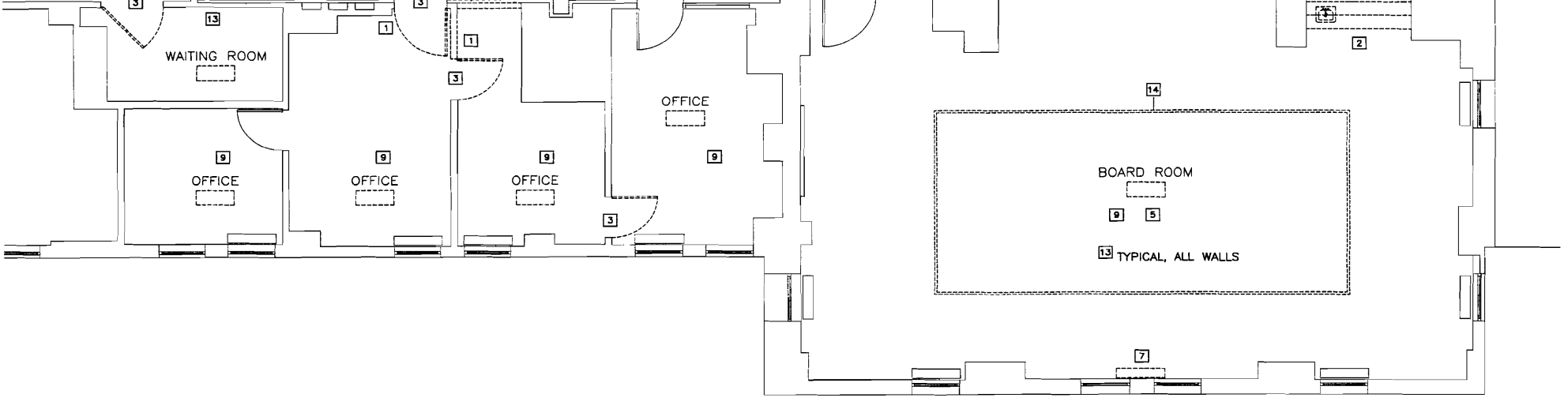
L1 2ND FLOOR DEMOLITION PLAN

1/4" = 1'-0"



A1 6TH FLOOR DEMOLITION PLAN

1/4" = 1'-0"



A14 4TH FLOOR PLAN

1/4" = 1'-0"

DEMOLITION KEY NOTES:

- 1 REMOVE PARTITION COMPLETE AND COORDINATE WITH NEW WORK.
- 2 REMOVE EXISTING CASEWORK COMPLETE.
- 3 REMOVE DOOR, FRAME AND HARDWARE COMPLETE.
- 4 REMOVE EXISTING PLUMBING FIXTURES COMPLETE.
- 5 REMOVE EXISTING CEILING SYSTEM INCLUDING SOFFITS COMPLETE. COORDINATE EXTENTS OF REMOVAL WITH PARTITION LOCATIONS AND EXISTING FINISHES TO REMAIN.
- 6 REMOVE PORTION OF PARTITION FOR INSTALLATION OF DOOR. COORDINATE EXTENTS WITH FINISHES TO REMAIN. REFERENCE DOOR SCHEDULE.
- 7 REMOVE/RELOCATE EXISTING FIXTURE. REFERENCE MECHANICAL/ELECTRICAL.
- 8 EXISTING CEILING SYSTEM TO BE REMOVED & REPLACED TO ALLOW MECHANICAL WORK TO BE PERFORMED.
- 9 REMOVE EXISTING FLOOR AND PREPARE FOR NEW FLOOR. COORDINATE EXTENTS OF REMOVAL WITH PARTITION LOCATIONS AND EXISTING FINISHES TO REMAIN.
- 10 REMOVE EXISTING CONCRETE CURB.
- 11 REMOVE EXISTING DOOR LEAVE FRAME IN PLACE. PATCH AND PAINT FRAME.
- 12 REMOVE EXISTING DOOR, FRAME TO REMAIN.
- 13 REMOVE EXISTING WALL COVERING. SKIM COAT TO PREPARE FOR NEW PAINT.
- 14 REMOVE EXISTING FALSE SKYLIGHT.
- 15 REMOVE EXISTING FURNITURE, RELOCATE.
- 16 STAINED GLASS WINDOW TO BE RELOCATED AS NOTED ON AE101 WITH SAME NUMBER/LETTER DESIGNATION, TYPICAL THRU 16a-16f.
- 17 EXISTING CEILING GRID SYSTEM TO REMAIN. REMOVE AND REPLACE PORTION OF CEILING TILES.
- 18 REMOVE AND RELOCATE SOUND SYSTEM AND CASEWORK.(RE: ELEC.)
- 19 REMOVE AND RELOCATE VIDEO CAMERA.(RE: ELEC.)
- 20 REMOVE AND RELOCATE EXISTING STATIONS
- 21 REMOVE AND RELOCATE WALL SCULPTURES.(MOUNT AS DIRECTED BY OWNER)
- 22 REMOVE EXISTING MIRROR, TURN OVER TO OWNER.
- 23 REMOVE SPEAKER
- 24 REMOVE EXISTING RUBRAIL

GENERAL DEMOLITION NOTES:

1. COORDINATE EXTENT OF DEMOLITION WITH LOCATIONS OF PARTITIONS DESCRIBED ON PLANS AND WITH LOCATIONS OF FINISHES NOTED AS EXISTING TO REMAIN.
2. ANY WALL, PARTITION OR SURFACE DISTURBED BECAUSE OF NEW WORK OR DEMOLITION SHALL BE PATCHED AND FINISHED CONTINUOUSLY TO THE NEAREST CORNER UNLESS NOTED OTHERWISE. MATCH EXISTING ADJACENT CONSTRUCTION FINISHES, CONTINUITY AND FIRE RATINGS UNLESS NOTED OTHERWISE.
3. PROTECT ALL FINISHES, MATERIALS AND EQUIPMENT NOTED AS EXISTING TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE ALL FINISHES, MATERIALS AND EQUIPMENT DAMAGED DURING CONSTRUCTION.
4. FOR EXTENTS OF CEILING GRID REMOVALS AND ADJUSTMENTS REFER TO SHEET AE102
5. DIMENSIONS INDICATED ± ARE EXISTING CONDITION DIMENSIONS TO BE VERIFIED IN FIELD.
6. CONTRACTOR NOTE: REMOVE AND REPAIR OF WORK ON B2, FIRST FLOOR AND 5TH FLOOR CEILINGS FOR INSTALLATION OF PLUMBING SHOULD BE INCLUDED IN BASE BID.
7. REMOVE ALL MISC. ELECTRICAL, MECHANICAL AND ARCHITECTURAL EQUIPMENT NO LONGER IN OPERATION WITHIN SPACES BEING RENOVATED.

REV.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	8-23-02

ISSUED FOR CONSTRUCTION 8-23-02

PROJECT NORTH

SMRT ARCHITECTURE ENGINEERING PLANNING

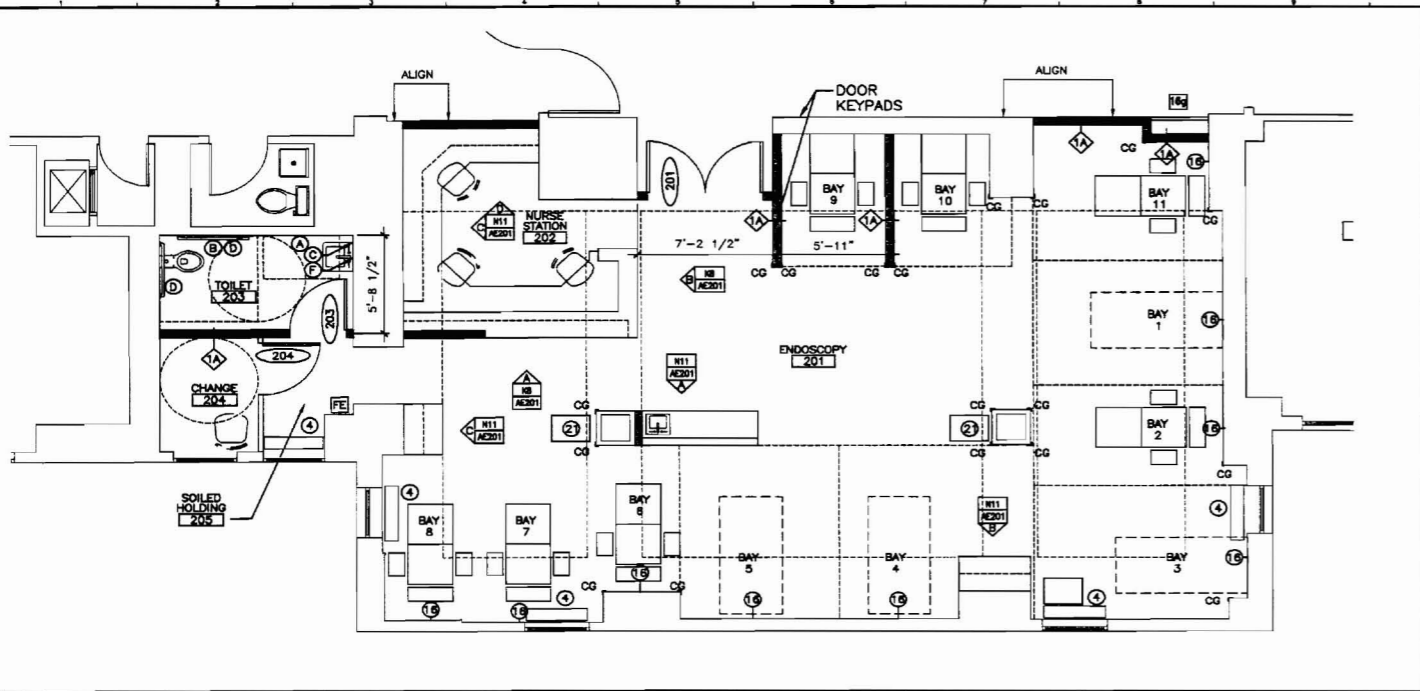
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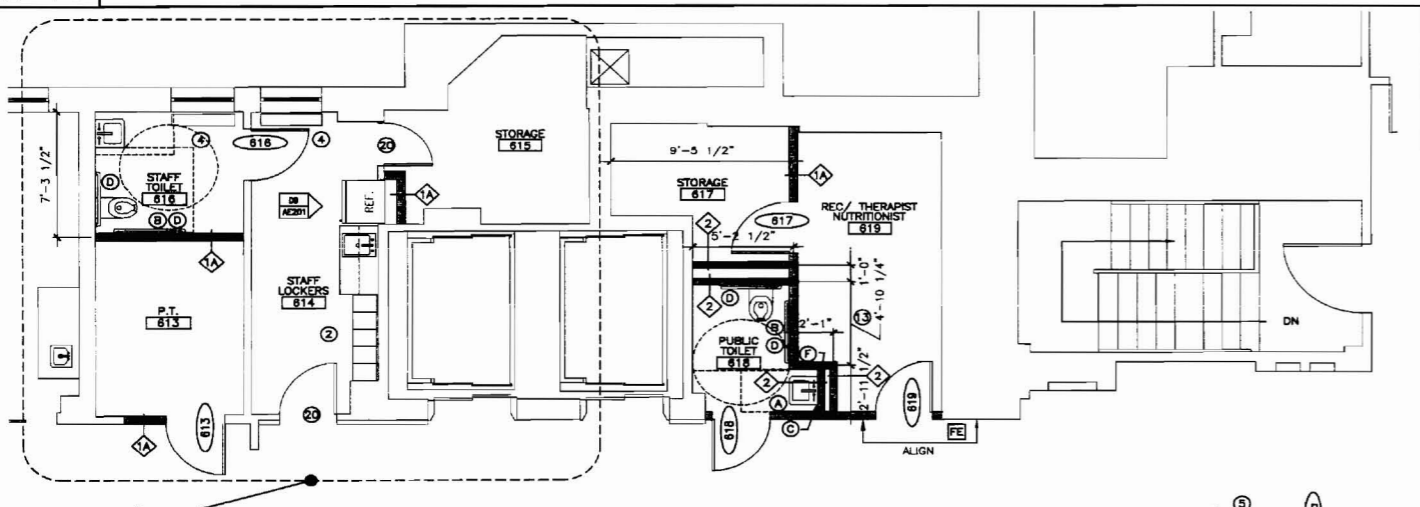
**MERCY HOSPITAL
B1, 2ND AND 6TH FLOOR RENOVATIONS**
PORTLAND, MAINE

PROJECT: DEMOLITION PLANS

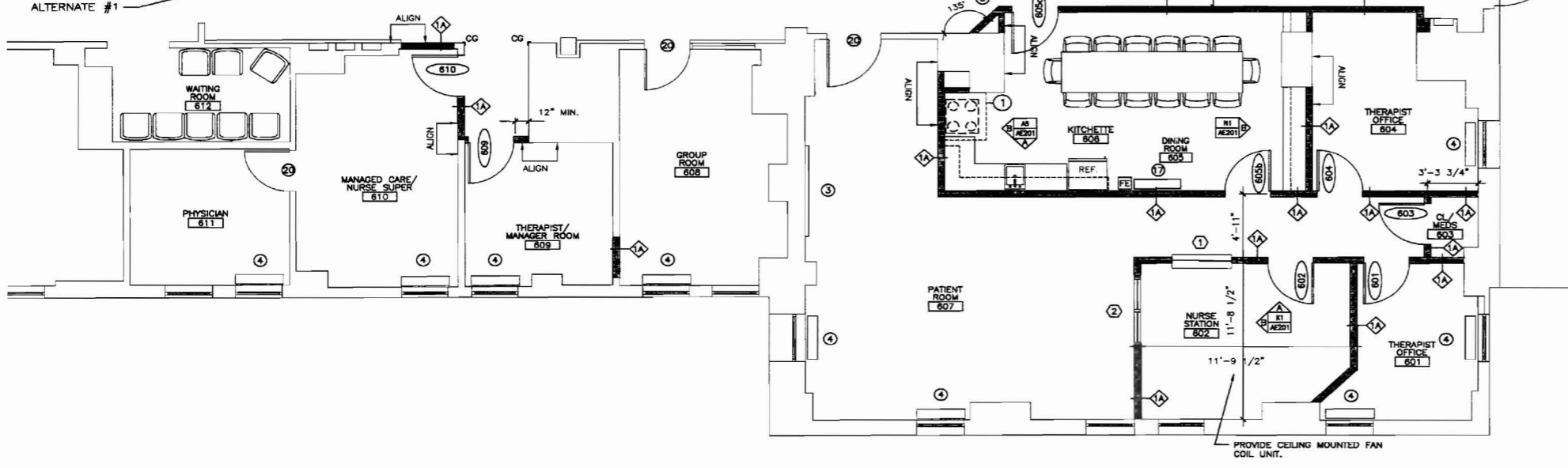
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PROJECT MANAGER: CDP	JOB CAP/DRAWN: MDR	GRAPHIC SCALE: 0" = 1'
A/E OF RECORD: CDP	SMRT CAD FILE: AD101-02035	SHEET No. AD101
PROJECT No. 02035		



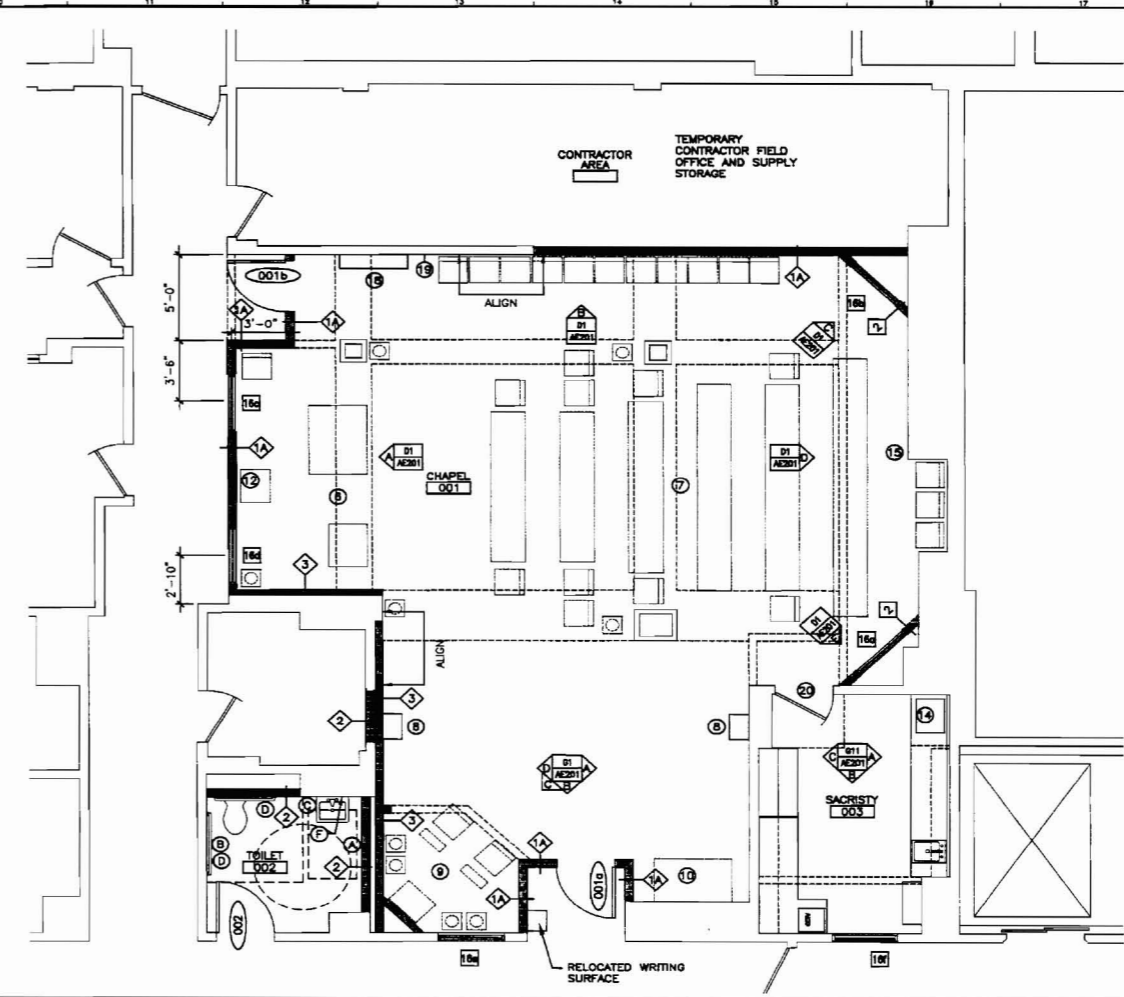
L1 2ND FLOOR PLAN
1/4" = 1'-0"



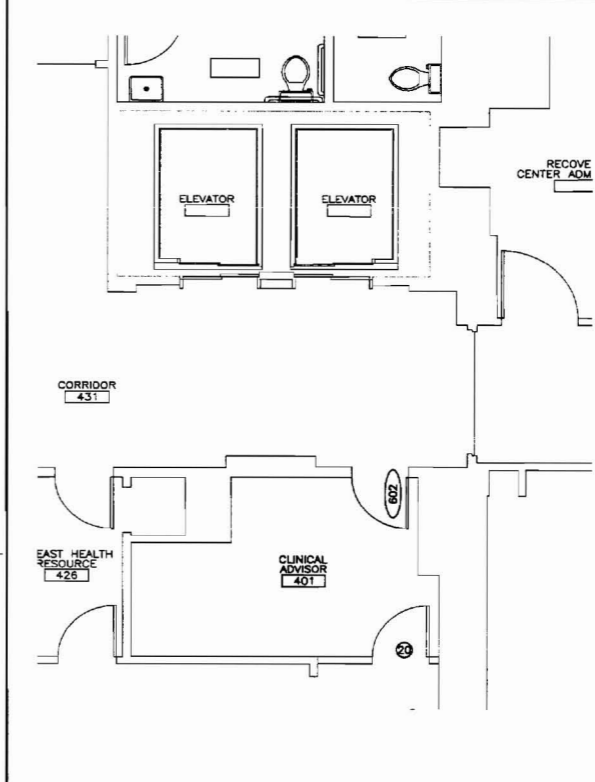
H10 B1 FLOOR PLAN
1/4" = 1'-0"



A1 6TH FLOOR PLAN
1/4" = 1'-0"



H10 B1 FLOOR PLAN
1/4" = 1'-0"



A14 4TH FLOOR PLAN
1/4" = 1'-0"

- GENERAL NOTES:**
- DO NOT SCALE THE DRAWINGS.
 - EACH TRADE TO PROVIDE SMOKE OR FIRE SEALANT AT PENETRATIONS AS REQUIRED FOR WALL TYPE. ALL SEALANT, FIRE STOPPING, AND SMOKE STOPPING ASSEMBLIES SHALL BE U.L. RATED.
 - DIMENSIONS ARE FACE OF CONCRETE, FACE OF MASONRY, FACE OF EXISTING PARTITION AND CENTERLINE OF STUD PARTITIONS, UNLESS INDICATED OTHERWISE.
 - REFER TO ALL CONSTRUCTION DOCUMENTS FOR REQUIREMENTS WHICH MAY AFFECT THE WORK IN ANOTHER AND COORDINATE WORK.
 - REFERENCE DETAILS FOR ADDITIONAL DIMENSIONAL INFORMATION.
 - DOOR JAMBS SHALL BE LOCATED 4" FROM CORNER IN STUD PARTITIONS AND 8" FROM CORNER IN MASONRY PARTITIONS, UNLESS INDICATED OTHERWISE.
 - PROVIDE BLOCKING IN WALLS AS NECESSARY WHERE CASEWORK, SHELVES, HANDRAILS, AND MISC. EQUIPMENT ARE LOCATED.
 - PATCH ALL HOLES, WALLS AND CRACKS IN ROOMS TO RECEIVE NEW PAINT.

- WALL LEGEND**
- ◇ PARTITION TYPE, SEE G101
 - ▬ INDICATES NEW PARTITION/ WALL
 - ▬ MODULAR FURNITURE
 - FE FIRE EXTINGUISHER
 - CG CORNER GUARD
 - 16a, 16b, 16c, 16d, 16e, 16f RELOCATED STAINED GLASS LOCATIONS. SEE AD101 FOR ORIGINAL LOCATION, SEE /AE301 FOR DETAIL.
 - 16g REMOVE AND RELOCATE STAINED GLASS CABINETS. COORDINATE SWITCH AND LIGHTING IN NEW LOCATION. (RE. ELEC.)

- FLOOR PLAN NOTES:**
- HOOD WITH FIRE SUPPRESSION
 - LOCKERS - 5 TIER
 - EXISTING MARKER BOARD TO REMAIN
 - PAINT EXISTING CABINET UNIT HEATER.
 - PROVIDE ACCESS (PANEL) TO EXISTING ACCESS PANEL.
 - RELOCATED ALTAR AND LECTERN (ACCENT LIGHTING)
 - RELOCATED PEWS
 - RELOCATED SCULPTURE (ACCENT LIGHTING)
 - RELOCATED TABERNACLE (ACCENT LIGHTING)
 - RELOCATED ORGAN
 - RELOCATED BACKLIT STAINED GLASS CABINET
 - RELOCATED CRUCIFIX (ACCENT LIGHTING)
 - RELOCATED COPIER
 - RELOCATED EXISTING CHAPEL SOUND SYSTEM AND CASEWORK
 - RELOCATE VIDEO CAMERA
 - WALL PROTECTION
 - NEW FAN COIL
 - RELOCATED EXISTING FAN COIL
 - RELOCATED STATIONS OF THE CROSS. (ACCENT LIGHTING)
 - EXISTING DOOR LOCKSETS TO BE MODIFIED TO KEY SIMILAR TO NEW DOORS, PER AREA.
 - OWNER EQUIPMENT CART

TOILET ACCESSORY SCHEDULE

Symbol	Description	Provide
(A)	PAPER TOWEL DISPENSER	PROVIDE
(B)	TOILET PAPER DISPENSER	PROVIDE
(C)	SOAP DISPENSER	PROVIDE
(D)	GRAB BAR (36" AND 42")	PROVIDE
(E)	MIRROR 16 X 30	PROVIDE

REV.	ISSUED FOR CONSTRUCTION	8-23-02
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CURRENT ISSUE STATUS:

PROJECT NORTH

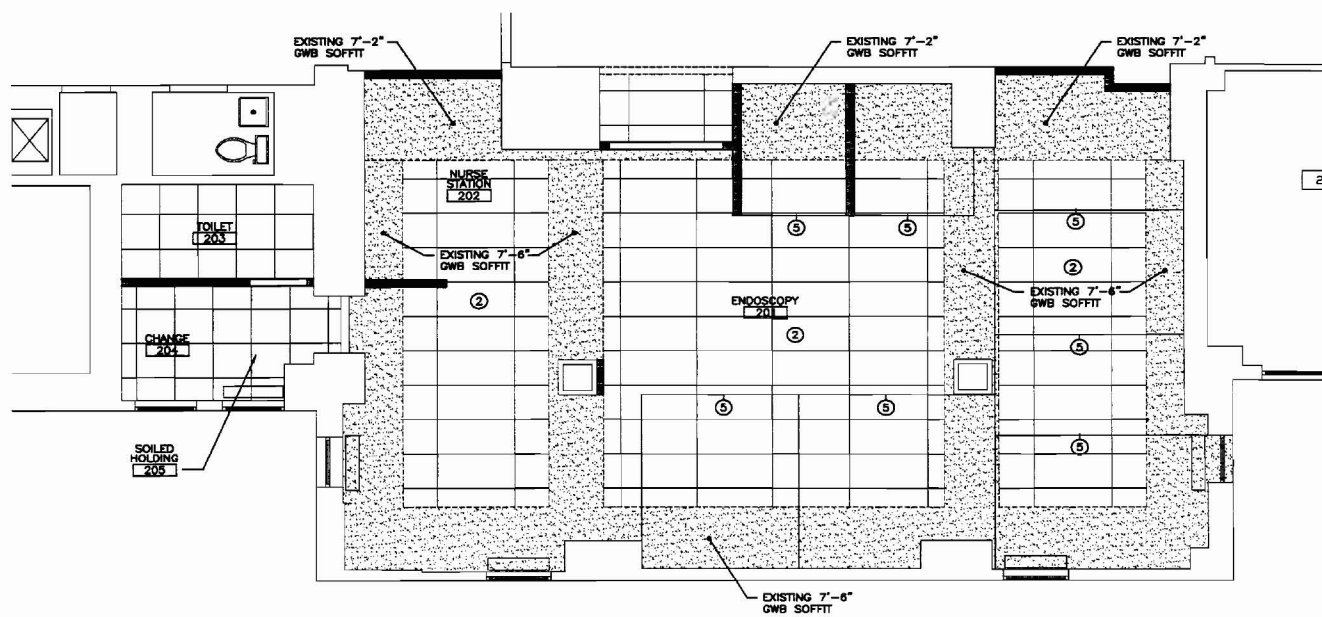
LICENSED ARCHITECT
CRAIG DAVID
PIES
No. 2592
STATE OF MAINE

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MERCY HOSPITAL
B1, 2ND AND 6TH FLOOR RENOVATIONS
PORTLAND, MAINE

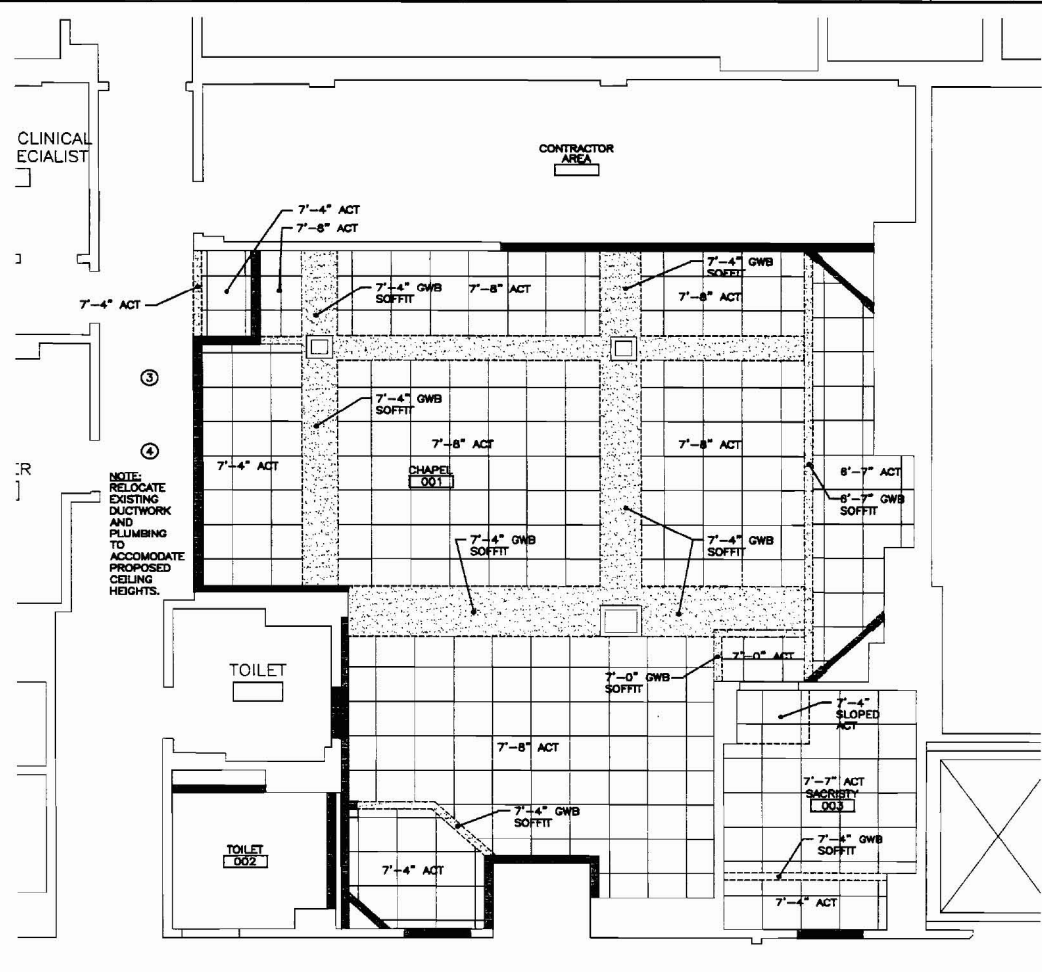
FLOOR PLANS

SHEET TITLE:	FLOOR PLANS	
SCALE:	1/4" = 1'-0"	DATE: 8-23-02
PROJECT MANAGER:	CDP	GRAPHIC SCALE: 0"
JOB CAP/DRAWN:	MDR	SHEET No.
A/E OF RECORD:	CDP	AE101
SMRT CAD FILE:	AE101-02035	
PROJECT No.	02035	



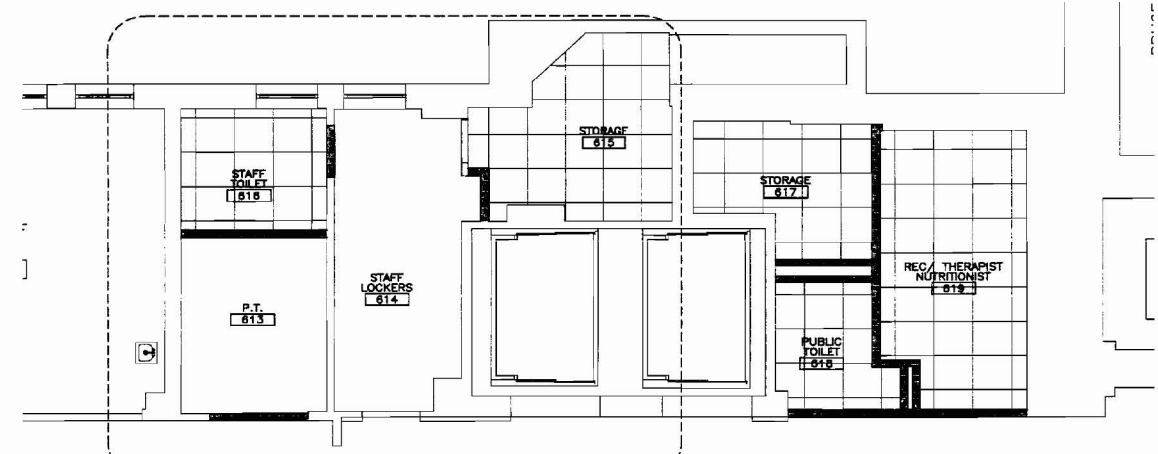
L1 2ND FLOOR REFLECTED CEILING PLAN

1/4" = 1'-0"

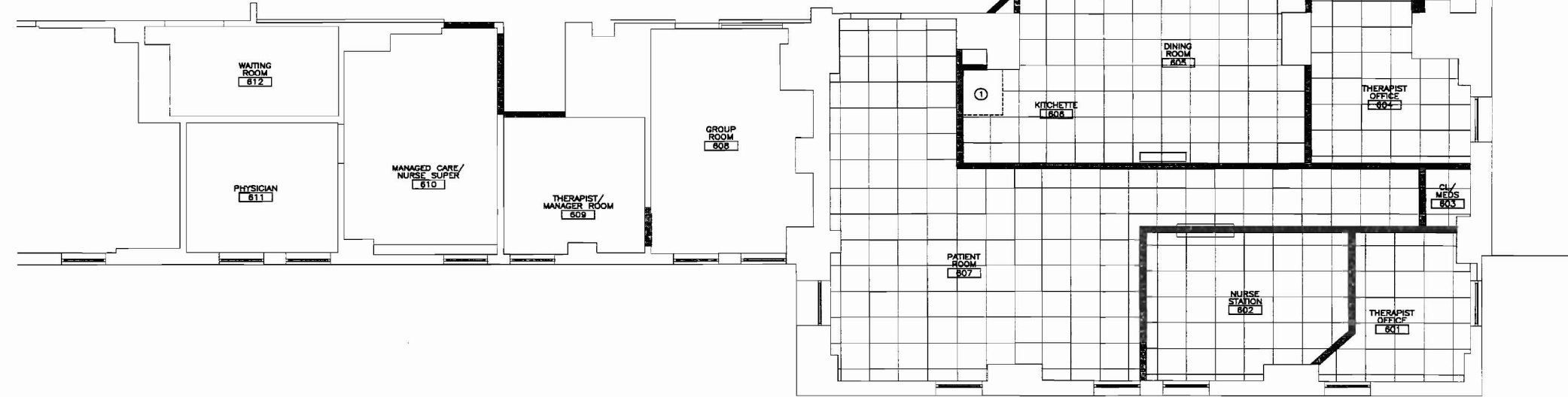


H10 B1 FLOOR REFLECTED CEILING PLAN

1/4" = 1'-0"



ALTERNATE # 1



A1 6TH FLOOR REFLECTED CEILING PLAN

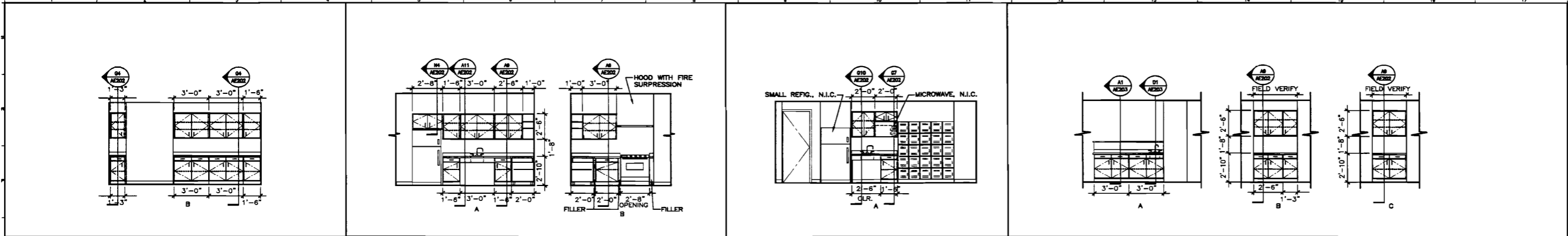
1/4" = 1'-0"

- GENERAL NOTES:**
- DO NOT SCALE THE DRAWINGS.
 - EACH TRADE TO PROVIDE SMOKE OR FIRE SEALANT AT PENETRATIONS AS REQUIRED FOR WALL TYPE. ALL SEALANT, FIRE STOPPING, AND SMOKE STOPPING ASSEMBLIES SHALL BE U.L. RATED.
 - DIMENSIONS ARE FACE OF CONCRETE, FACE OF MASONRY, FACE OF EXISTING PARTITION AND CENTERLINE OF STUD PARTITIONS, UNLESS INDICATED OTHERWISE.
 - REFER TO ALL CONSTRUCTION DOCUMENTS FOR REQUIREMENTS WHICH MAY AFFECT THE WORK IN ANOTHER AND COORDINATE WORK.
 - REFERENCE DETAILS FOR ADDITIONAL DIMENSIONAL INFORMATION.
 - DOOR JAMBS SHALL BE LOCATED 4" FROM CORNER IN STUD PARTITIONS AND 8" FROM CORNER IN MASONRY PARTITIONS, UNLESS INDICATED OTHERWISE.
 - PROVIDE BLOCKING IN WALLS AS NECESSARY WHERE CASEWORK, SHELVES, HANDRAILS, AND MISC. EQUIPMENT ARE LOCATED.
 - PATCH ALL HOLES, WALLS AND CRACKS IN ROOMS TO RECEIVE NEW PAINT.
 - REPAIR CEILINGS DISTURBED FOR INSTALLATION OF NEW MECHANICAL AND PLUMBING WORK, ON B2 LEVEL, FIRST FLOOR AND 5TH FLOOR CEILING.

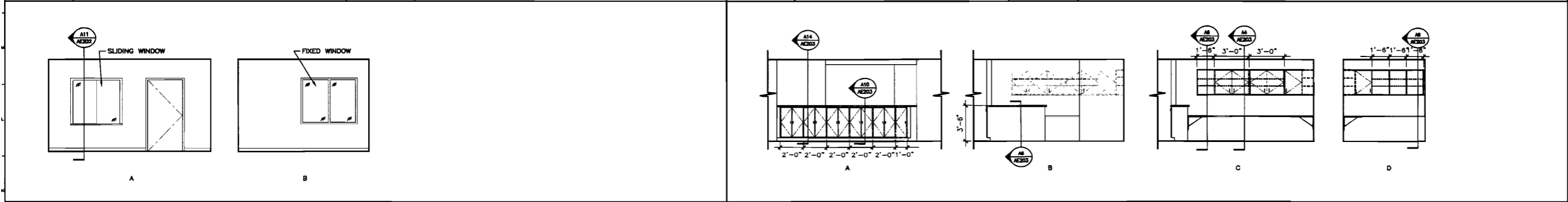
- FLOOR PLAN NOTES:**
- HOOD WITH FIRE SUPPRESSION
 - EXISTING 8'-0" ACT CEILING GRID TO REMAIN, REPLACE EXISTING TILES WITH NEW.
 - RELOCATE EXISTING LIGHTS
 - RELOCATE DUCT WORK
 - CUBICLE CURTAIN, TYP.

- WALL LEGEND**
- PARTITION TYPE, SEE G1001
 - INDICATES NEW PARTITION/WALL
 - MODULAR FURNITURE

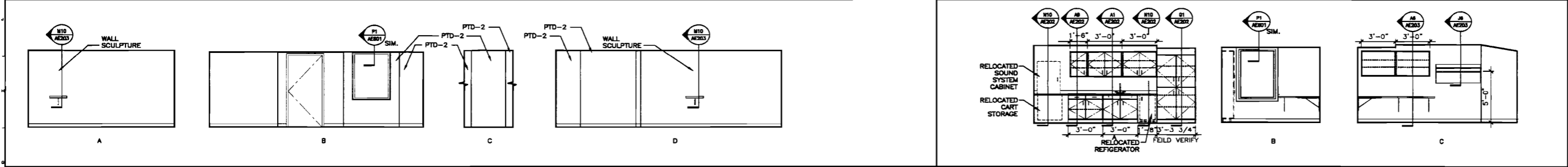
0	ISSUED FOR CONSTRUCTION	8-23-02
REV.	DESCRIPTION	DATE
ISSUED FOR CONSTRUCTION		
8-23-02		
CURRENT ISSUE STATUS:		
		ARCHITECTURE ENGINEERING PLANNING SMART 144 Fore Street/P.O. Box 618 Portland, Maine 04104 tel. (207) 772-3846 fax. (207) 772-1070
MERCY HOSPITAL B1, 2ND AND 6TH FLOOR RENOVATIONS PORTLAND, MAINE		
PROJECT:		
REFLECTED CEILING PLANS		
SHEET TITLE:		
SCALE: 1/4" = 1'-0"	DATE: 8-23-02	
PROJECT MANAGER: CDP	GRAPHIC SCALE: 0" = 1'	
JOB CAP/DRAWN: MDR		
A/E OF RECORD: CDP		
SMRT CAD FILE: AE102-02035		
PROJECT No. 02035		AE102



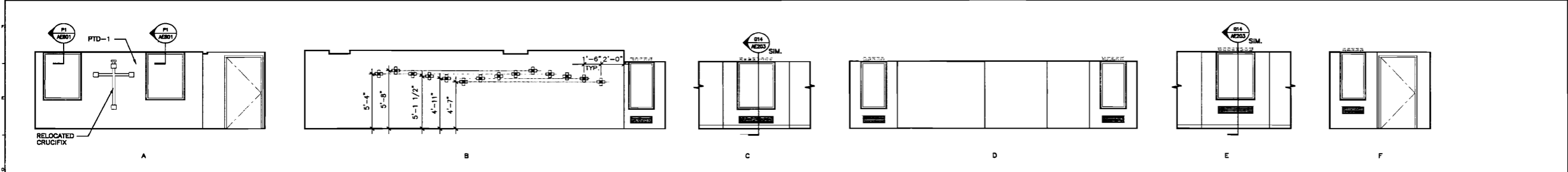
N1	INTERIOR ELEVATION	N4	INTERIOR ELEVATION	N8	INTERIOR ELEVATION	N11	INTERIOR ELEVATION
1/4"=1'-0"	*	1/4"=1'-0"	*	1/4"=1'-0"	*	1/4"=1'-0"	*



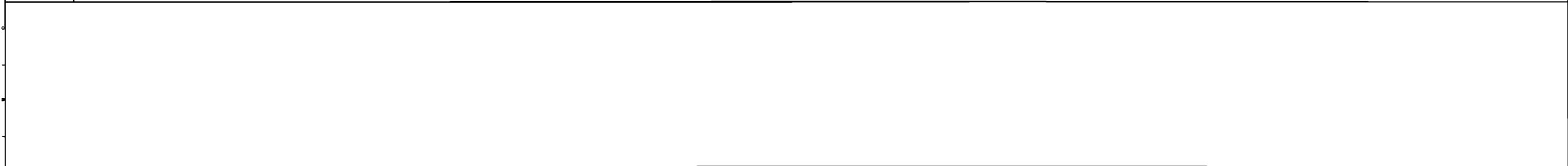
K1	INTERIOR ELEVATION	K8	INTERIOR ELEVATION
1/4"=1'-0"	*	1/4"=1'-0"	*



G1	INTERIOR ELEVATION	G11	INTERIOR ELEVATION
1/4"=1'-0"	*	1/4"=1'-0"	*



D1	INTERIOR ELEVATION
1/4"=1'-0"	*



A1	INTERIOR ELEVATION
1/4"=1'-0"	*

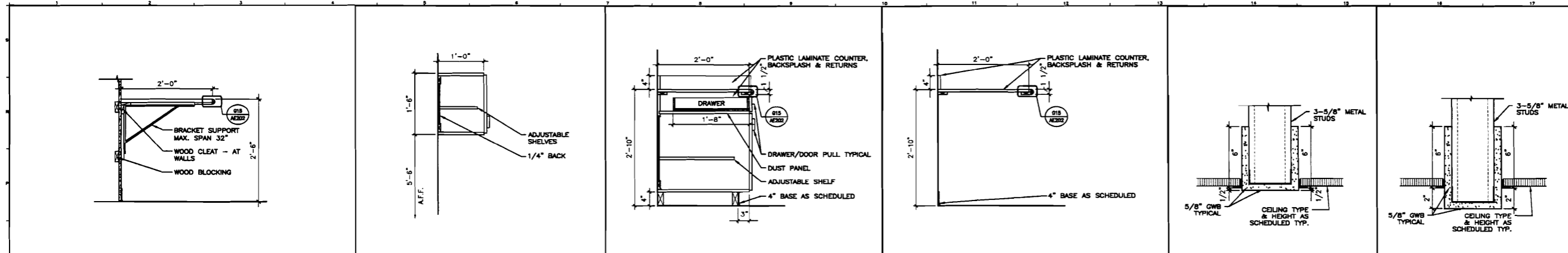
0	ISSUED FOR CONSTRUCTION	8-23-02
REV.	DESCRIPTION	DATE
ISSUED FOR CONSTRUCTION		
8-23-02		
CURRENT ISSUE STATUS:		

SMRT ARCHITECTURE ENGINEERING PLANNING
 SMART
 144 Fore Street/P.O. Box 618
 Portland, Maine 04104
 tel. (207) 772-3846
 fax. (207) 772-1070

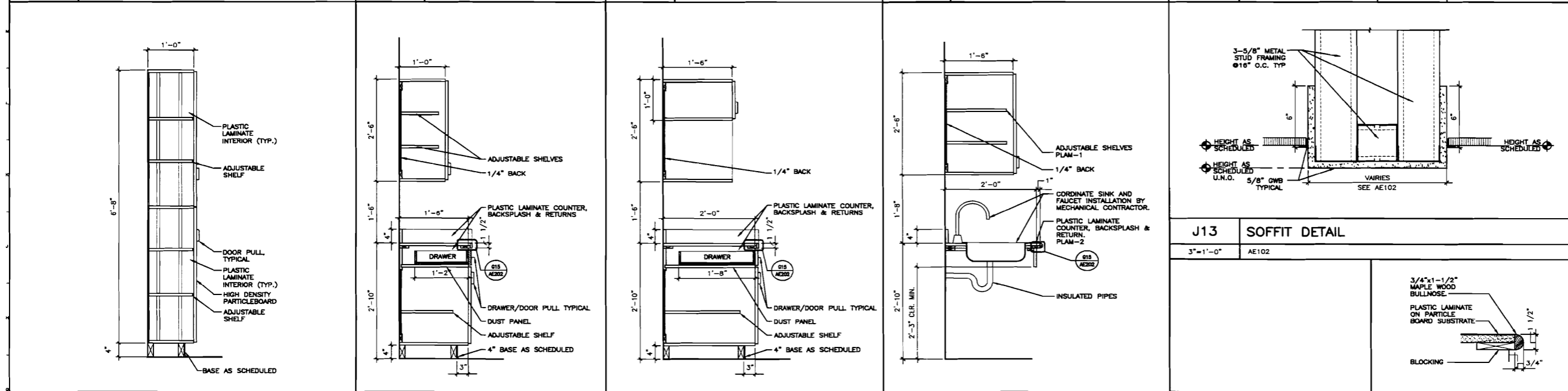
MERCY HOSPITAL
 B1, 2ND AND 6TH FLOOR RENOVATIONS
 PORTLAND, MAINE
 PROJECT:

INTERIOR ELEVATIONS	
SHEET TITLE:	
SCALE: 1/4"=1'-0"	DATE: 8-23-02
PROJECT MANAGER: CDP	GRAPHIC SCALE: 0" 1"
JOB CAP/DRAWN: MDR	
A/E OF RECORD: CDP	SHEET No.
SMRT CAD FILE: AE201-02035	AE201
PROJECT No. 02035	

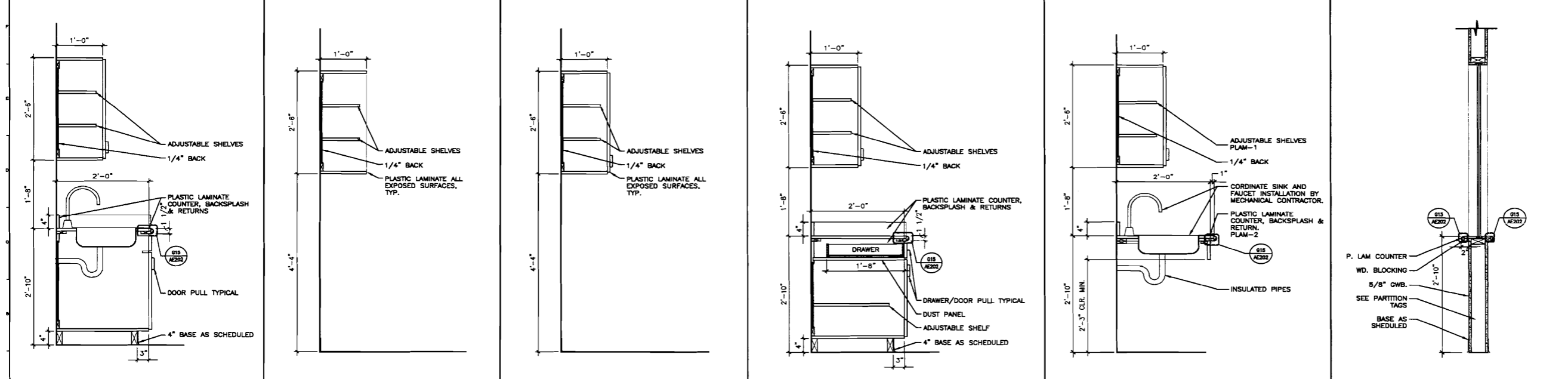
GENERAL NOTES:



N1	CASEWORK DETAIL	N4	CASEWORK DETAIL	N7	CASEWORK DETAIL	N10	CASEWORK DETAIL	N13	SOFFIT DETAIL	N15	SOFFIT DETAIL
1"=1'-0"	*	1"=1'-0"	*	1"=1'-0"	*	1"=1'-0"	*	3"=1'-0"	AE102	3"=1'-0"	AE102



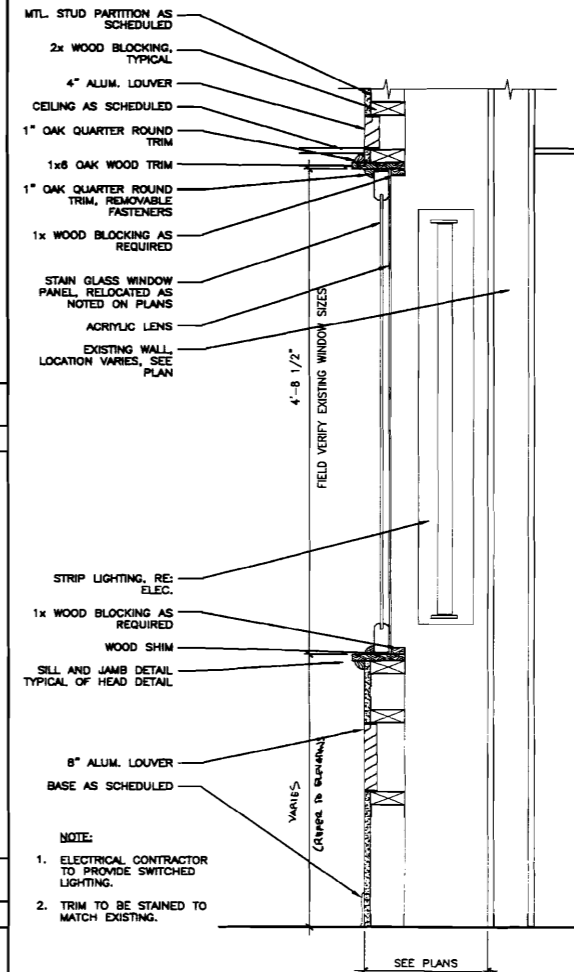
G1	CASEWORK DETAIL	G4	CASEWORK DETAIL	G7	CASEWORK DETAIL	G10	CASEWORK DETAIL	G13	*	G15	EDGE DETAIL
1"=1'-0"	AE201	1"=1'-0"	AE201	1"=1'-0"	AE201	1"=1'-0"	AE201	*	*	3"=1'-0"	AE201, AE202



A1	CASEWORK DETAIL	A3	CASEWORK DETAIL	A6	CASEWORK DETAIL	A9	CASEWORK DETAIL	A11	CASEWORK DETAIL	A15	CASEWORK DETAIL
1"=1'-0"	AE201	1"=1'-0"	AE201	1"=1'-0"	AE201	1"=1'-0"	AE201	1"=1'-0"	AE201	1"=1'-0"	AE201

0	ISSUED FOR CONSTRUCTION	8-23-02
REV.	DESCRIPTION	DATE
ISSUED FOR CONSTRUCTION		
8-23-02		
CURRENT ISSUE STATUS:		
PROJECT NORTH		
SMRT ARCHITECTURE ENGINEERING PLANNING SMRT 144 Fore Street/P.O. Box 818 Portland, Maine 04104 Tel. (207) 772-3846 Fax. (207) 772-1070		
MERCY HOSPITAL B1, 2ND AND 6TH FLOOR RENOVATIONS PORTLAND, MAINE		
CASEWORK DETAILS		
SHEET TITLE:	AS NOTED	DATE: 8-23-02
PROJECT MANAGER: CDP	DATE:	GRAPHIC SCALE: 0"=1'
JOB CAP/DRAWN: MOR		SHEET No.
A/E OF RECORD: CDP		
SMRT CAD FILE: AE202-02035		
PROJECT No. 02035		AE202

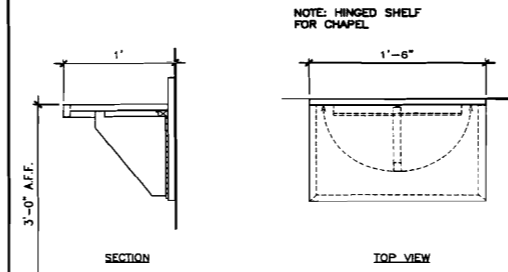
GENERAL NOTES:



G14 STAIN GLASS WINDOW DETAIL

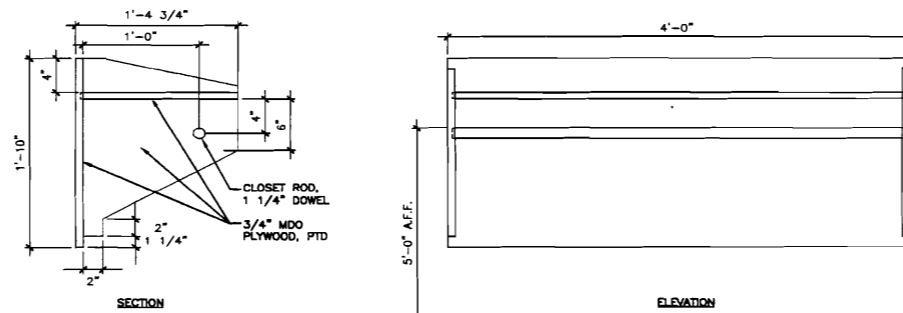
1-1/2"=1'-0" AE201

- NOTE:**
- ELECTRICAL CONTRACTOR TO PROVIDE SWITCHED LIGHTING.
 - TRIM TO BE STAINED TO MATCH EXISTING.



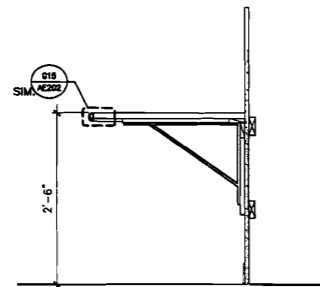
M10 CASEWORK DETAIL

1-1/2"=1'-0" AE201



M6 *

1-1/2"=1'-0" AE201

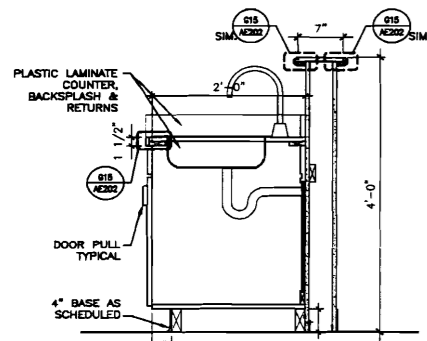


J6 CASEWORK DETAIL

1-1/2"=1'-0" AE201

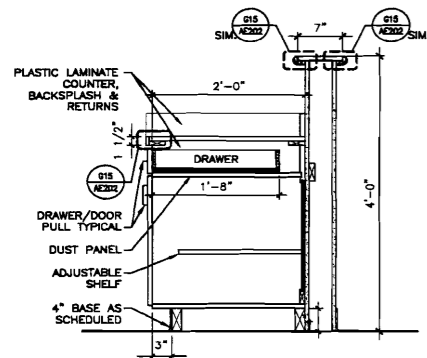
J6 CASEWORK DETAIL

1-1/2"=1'-0" AE201



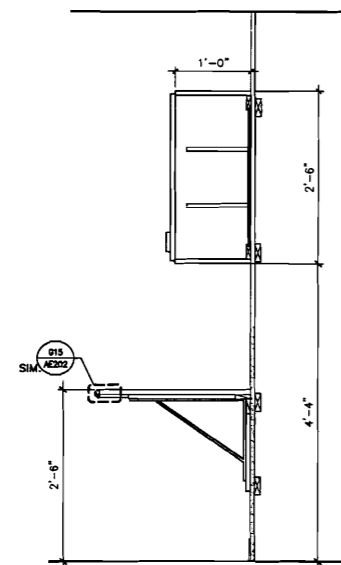
D1 CASEWORK DETAIL

1"=1'-0" AE201



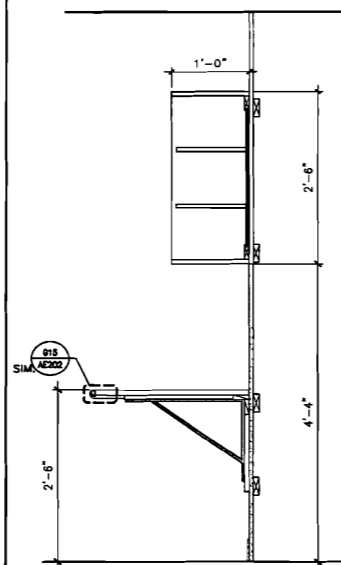
A1 CASEWORK DETAIL

1"=1'-0" AE201



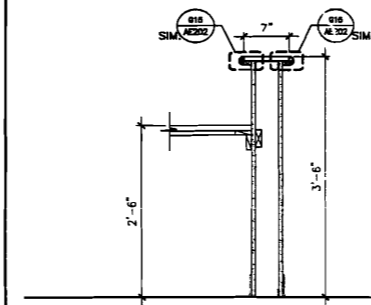
A4 CASEWORK DETAIL

1"=1'-0" AE201



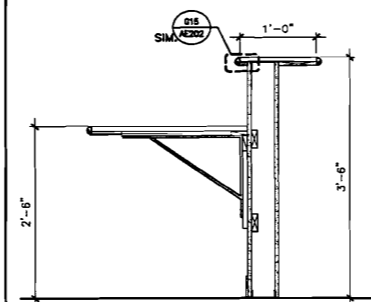
A6 CASEWORK DETAIL

1"=1'-0" AE201



D6 CASEWORK DETAIL

1"=1'-0" AE201



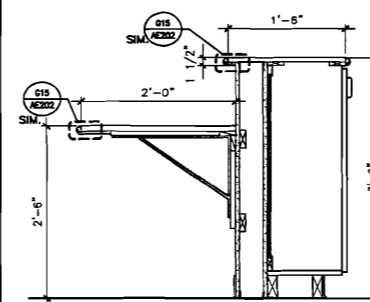
A9 CASEWORK DETAIL

1"=1'-0" AE201



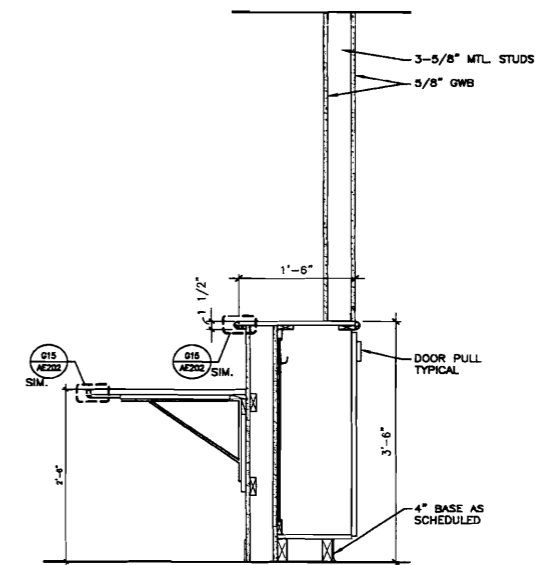
D10 *

1"=1'-0" AE201



A11 CASEWORK DETAIL

1"=1'-0" AE201



A14 CASEWORK DETAIL

1"=1'-0" AE201

0	ISSUED FOR CONSTRUCTION	8-23-02
REV.	DESCRIPTION	DATE

ISSUED FOR CONSTRUCTION 8-23-02

CURRENT ISSUE STATUS:



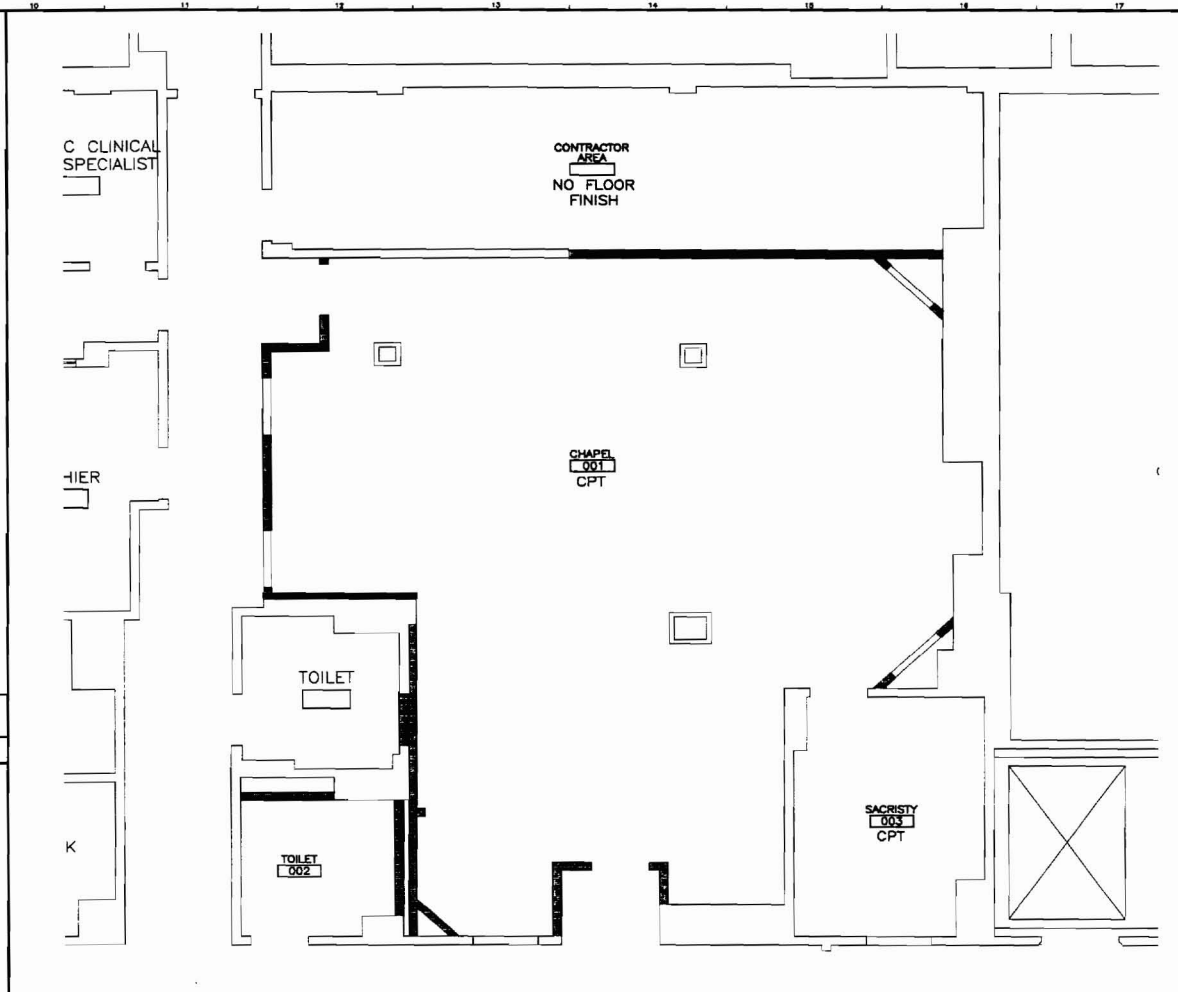
SMRT ARCHITECTURE ENGINEERING PLANNING
 144 Fore Street, P.O. Box 618
 Portland, Maine 04104
 Tel. (207) 772-3846
 Fax. (207) 772-1070

MERCY HOSPITAL B1, 2ND AND 6TH FLOOR RENOVATIONS
 PORTLAND, MAINE

CASEWORK DETAILS

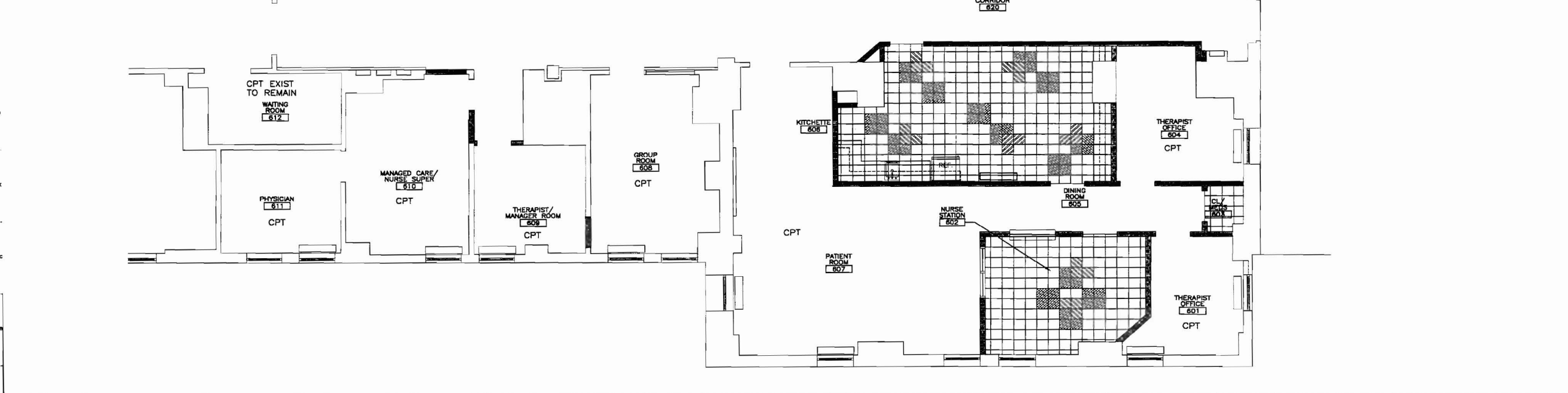
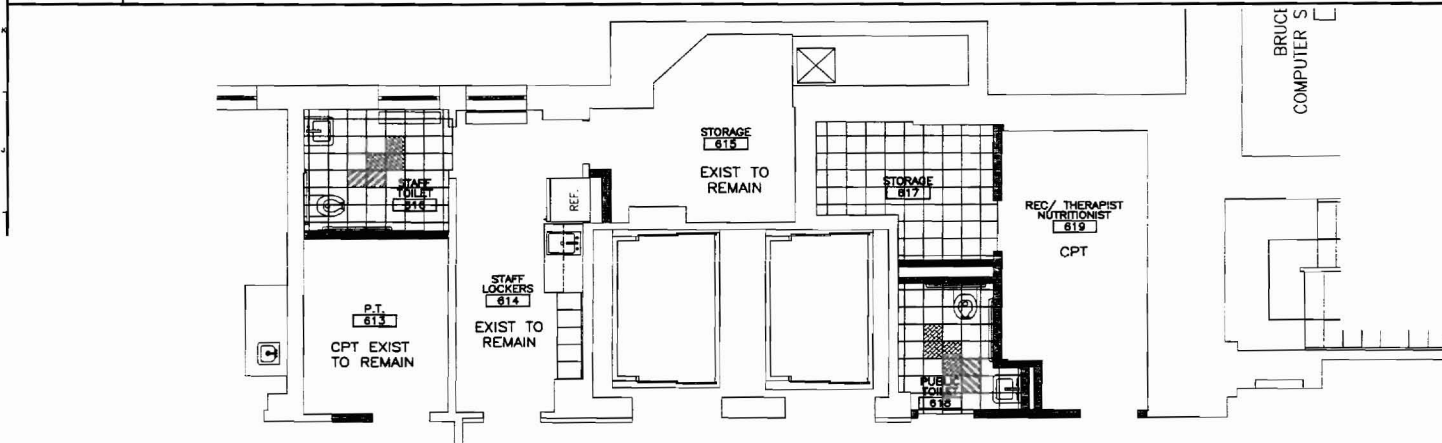
SHEET TITLE:	AS NOTED	DATE:	8-23-02
PROJECT MANAGER:	CDP	GRAPHIC SCALE:	0" = 1'
JOB CAP/DRAWN:	MDR	SHEET No.	
A/E OF RECORD:	CDP		
SMRT CAD FILE:	AE203-02035		
PROJECT No.	02035		

AE203



L1 2ND FLOOR FINISH PLAN
1/4" = 1'-0"

H10 B1 FLOOR FINISH PLAN
1/4" = 1'-0"



A1 6TH FLOOR FINISH PLAN
1/4" = 1'-0"

GENERAL NOTES:

1. .

MATERIALS LEGEND B1 FLOOR:

CPT: CARPET: J&J COMMERCIAL XTRA TERRESTRIAL (4375) #6736 BLAZERS
VCT: ARMSTRONG #51858 SANDRIFT WHITE

MATERIALS LEGEND 2ND FLOOR:

VCT-1 ALL FIELD ARMSTRONG #51858 SANDRIFT WHITE
VCT-2 GREEN TILE ARMSTRONG #52519 MINE GREEN
VCT-3 PURPLE TILE ARMSTRONG #51944 TYRIAN PURPLE

MATERIALS LEGEND 4TH FLOOR:

EXIST TO REMAIN

MATERIALS LEGEND 6TH FLOOR:

CPT: J&J COMMERCIAL SNEAK PREVIEW #9455 OPENING NIGHT
VCT-1 ALL FIELD ARMSTRONG #51800 BUTTERCREAM YELLOW
VCT-2 ACCENT TILE ARMSTRONG #51867 CANTALOUPE
VCT-3 PURPLE TILE ARMSTRONG #51817 DARK EGGPLANT

REV.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	8-23-02

ISSUED FOR CONSTRUCTION
8-23-02

PROJECT NORTH

STATE OF MAINE
LICENSED ARCHITECT
CRAIG DAVID PIPER
No. 2687

SMRT ARCHITECTURE ENGINEERING PLANNING
SMRT
144 Fore Street/P.O. Box 618
Portland, Maine 04104
tel. (207) 772-3446
fax. (207) 772-1070

MERCY HOSPITAL
B1, 2ND AND 6TH FLOOR RENOVATIONS
PORTLAND, MAINE

PROJECT: FLOOR FINISH PLANS

SHEET TITLE:	SCALE:	DATE:
	1/4" = 1'-0"	8-23-02
PROJECT MANAGER:	JOB CAP/DRAWN:	GRAPHIC SCALE:
CDP	MDR	0" = 1'
A/E OF RECORD:	SMRT CAD FILE:	SHEET No.
CDP	AF101-02035	
PROJECT No.	02035	AF101



CITY OF PORTLAND, MAINE

Department of Building Inspections

1001 2007

Received from 1001

Location of Work 144 ST. J.

Cost of Construction \$ 11,100.00

Permit Fee \$ 1,500.00

Building (I1) Plumbing (I5) Electrical (I2) Site Plan (U2)

Other 1001

CBL: 045 6006

Check #: 29043 Total Collected \$ 1362.00

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

[Handwritten signature]

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy



CITY OF PORTLAND, MAINE
Department of Building Inspections

20

Received from _____

Location of Work _____

Cost of Construction \$ _____

Permit Fee \$ _____

Building (IL) Plumbing (I5) Electrical (I2) Site Plan (U2)

Other _____

CBL: 45 Cook

Check #: Cook

Total Collected \$ 5.00

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
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[Handwritten signature]