

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED	
Permit No: 01-536	Issue Date: FEB 12 2002
CBL: 045 C001001	

Location of Construction: 184 State St	Owner Name: Rice Geoffrey I	Owner Address: 658 Congress Street Portland	Phone: 207-773-1814
Business Name: n/a	Contractor Name: Rice, Geoffrey	Contractor Address: 658 Congress Street Portland	Phone: 2077731814
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Alterations - Multi Family	Zone: B-1 using R-6 request

Past Use: Multi Family	Proposed Use: Multi Family / Amendment to Permit # 991401. Building dormer & replacement window. <i>3 legal D.U. with 1st floor rehab</i>	Permit Fee:	Cost of Work: \$8,000.00	CEO District: 3
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Proposed Project Description: Amendment to Permit # 991401 to Build Dormer & Replacement Window	FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R2 Type: 3B BOCA 99
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Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
Signature:	Date:

Permit Taken By: gg	Date Applied For: 12/17/2001	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> -Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK with conditions</i> Date: <i>12/18/01</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <i>See J.H. Approval</i> <input type="checkbox"/> Denied from review <i>T.D.A.</i> Date: <i>12/18/01</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

 SIGNATURE OF APPLICANT ADDRESS DATE PHONE

 RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

01 1536

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

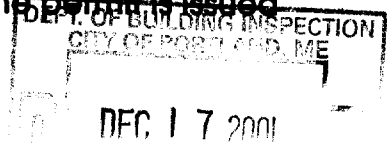
Location/Address of Construction: 182 STATE ST, PORTLAND, ME		
Total Square Footage of Proposed Structure	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# 045 Block# C Lot# 001	Owner: Same	Telephone:
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: Geoffrey Rice 658 Congress St. 04101	Cost Of Work: \$ 8000.00 Fee: \$ 72.00
Current use: 3 Apartments (As Approved # 991401 12/21/99)		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: Apartments		
Project description: Amendment to existing building Permit see attached description "Project Description" Call TX		
Contractor's name, address & telephone: Geoffrey Rice 658 Congress Street 7731814		
Who should we contact when the permit is ready: JEREMY MOSER (As representative)		
Mailing address: P.O #5360 Portland, Me. 04101		
		Phone: (J. MOSER) 278144677

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <i>G/Rice</i>	Date: December 17, 2001
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This is not a permit, you may not commence ANY work until the permit is issued



Application Number: 1-1536

Department: Zoning

Decision: Approved with Conditions

Reviewer: Marge Schmuckal

Address: 184 State St

Approved Date: 12/18/2001

12/18/2001



Reviewed by:

Marge Schmuckal

12/18/2001

To remain a three dwelling unit with retail on the first floor. Any changes to this use shall require a separate permit application.

All attached Historic Preservation requirements imposed by their review (Jeffery Harris) shall be adhered to.

Date: 12/17/2001

gg

Date: 12/18/2001

mes

B

studio mnemosyne PO box 5360 portland maine 04101 207 329 6128 874 4077
november 15th

PROJECT DESCRIPTION

city of portland maine
permits ,city hall

RE: 182 State Street

Enclosed is a request for a building permit for the purpose of performing exterior work on 182 state street. This should be considered as an amendment to the original permit #991401 change of use from 7 units to 3 apartments approved December 21 1999. Work on the interior has progressed on the interior after the permit was issued.

This application is for a building permit for a dormer and a replacement window at 182 State street whose exterior alterations have received a certificate of appropriateness from Historic preservation as "appropriate" and in compliance. See letter attached dated September 24 2001 by from Jeffrey Harris. Please note drawings highlighted in bubbles A-1.1 plan, S-1.1 Structural plan stamped by L& L Structural engineering services, and E-1.1 reviewed by Hal Thomas electrical engineer. All drawings are drawn and prepared by jeremy moser, and if you have any questions you may direct them to me as Geoffrey Rice's representative.

Sincerely,

Jeremy moser

jeremy moser

CITY OF PORTLAND, MAINE
HISTORIC PRESERVATION COMMITTEE

Edward Hobler, Chair
Rick Romano, Vice Chair
Susan Wroth
Camillo Breggia
Robert Parker
Steve Sewall
Cordelia Pitman

September 24, 2001

Jeremy Moser
Studio Mnemosyne
P.O. Box 5360
Portland, ME 04101

Re: 182 State Street – Exterior Alterations, Dormer Addition

Dear Mr. Moser:

On September 20, 2001, this office reviewed and approved amendments to a previously approved Certificate of Appropriateness for exterior alterations and new construction at 182 State Street. Approval is for the removal of the existing dormer on the rear roof of 182 State Street and the construction of a new dormer in its place.

Note that the Committee's original approval for this project was made subject to the following condition:


- The exterior of the new dormer is to be painted a dark color.

All improvements shall be carried out as shown on the submitted plans and specifications dated 9/14/01. Except as to comply with the condition above. Changes to the approved plans and specifications and any additional work that may be undertaken must be reviewed and approved by this office prior to construction, alteration, or demolition. If, during the course of completing the approved work, conditions are encountered which prevent completing the approved work, or which require additional or alternative work, you must apply for and receive a Certificate of Appropriateness or Non-Applicability PRIOR to undertaking additional or alternative work.

Please note that you must notify staff at a mid-point during construction, and again upon completion of the project, to ensure compliance with the approved application. (Contact Jeffrey Harris, Preservation Compliance Coordinator, at 874-8728.)

This Certificate is granted upon condition that the work authorized herein is commenced within twelve (12) months after the date of issuance. If the work authorized by this Certificate is not commenced within twelve (12) months after the date of issuance or if such work is suspended in significant part for a period of one year after the time the work is commenced, such Certificate shall expire and be of no further effect; provided that, for cause, one or more extensions of time for periods not exceeding ninety (90) days each may be allowed in writing by the Department.

Sincerely,



Jeffrey Harris
Preservation Compliance Coordinator

cc: Approval Letter File

*note: 9/28/01
Talked w/ J. Harris
verified a window
solution acceptable*

studio mnemosyne PO box 5360 portland maine 04101 207 329 6128 874 4077
14 september 2001

city of portland maine
historic preservation
Jeffrey Harris

RE: 182 State Street

Mr. Harris,

The owner @ 182 State Street wishes to re insert a window into a previously bricked up opening on the second floor pine street side. The header will remain intact and a matching wood window by Brosco w/ true divided light will be placed into the opening. The egg and dart header is still intact and will be treated in a similar manner as all the windows on this façade.

Specifically:

exist window is 35x68 Owner will provide Boston Layout Brosco Authentic Divided Light SSB 15/30 2/2 light-vertical

Owner will provide matching storm window system

Sincerely,

Jeremy moser

jeremy@mnemosyne.com



182 existing conditions
from state street



182 proposed revision to window



182 existing conditions
from state street



182 proposed revision to window



182 existing conditions
from state street



182 proposed revision to window

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

891401

PERMIT

Please Read
Application And
Notes, If Any,
Attached

This is to certify that Bill Nemmers/Geoffrey Rice
has permission to Change the Use from 7 unit rooming house to 3 apts.
AT 182 State Street

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. [Signature]
Health Dept. _____
Appeal Board _____
Other _____
Department Name

[Signature]
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD



WILLIAM NEMMERS ASSOCIATES ARCHITECTS
424 FORE ST. PORTLAND, ME 04101 774-3683.

November 19, 1999

Marge Schmuckel,
Building Inspections Office
City of Portland
389 Congress Street
Portland, Maine 04101

Re: 182 State St. - Building Permit and Change of Use

Dear Marge:

With this letter I am submitting an application for building Permit for the interior renovations to the 2nd and 3rd floor of this building.

The attached Site Plan indicates the lot, at the corner of Pine and State Streets and building which is the subject of this application, as well as a parking lot across Pine street, also owned by Mr. Rice.

The upper floors of this building is currently a 7 unit rooming house which has been leased to long term, not transient, tenants. The Application calls for re-configuring the existing rooms into (4) one-bedroom apartment units.

The Parking code states that if additional units are created then 1.5 parking spaces per each such apartment must be provided. This building is being reduced from the existing 7 room rooming house to a 4 unit apartment building, so in that sense no additional living units are being created and no additional parking spaces are required.

still req
1.5 each of
6 parking spaces

However, as with the recently approved change of use for the apartments across Pine Street at 688 Congress Street, Mr. Rice owns the 16 space parking lot into which residents of this application as well as those of 688 State will be able to park.

The building is in a Historic District. We are proposing, with this application no exterior work to the building with ~~two~~ ^{ONE} exceptions:

1) We are showing a flat skylight on the flat "widow's walk" area at the top of the building. This skylight will replace an existing roof hatch which also is flat to the deck. Neither the existing hatch nor the proposed skylight will be visible from the exterior.

~~2) One window on the second floor is being widened from the existing 24" to a proposed 36" in order to provide the required exit-sized window from the bedroom. This window is on the rear of the building tucked into a recess behind another wing and under a fire escape of the house and is not visible to normal street traffic.~~

RE: Deb A.

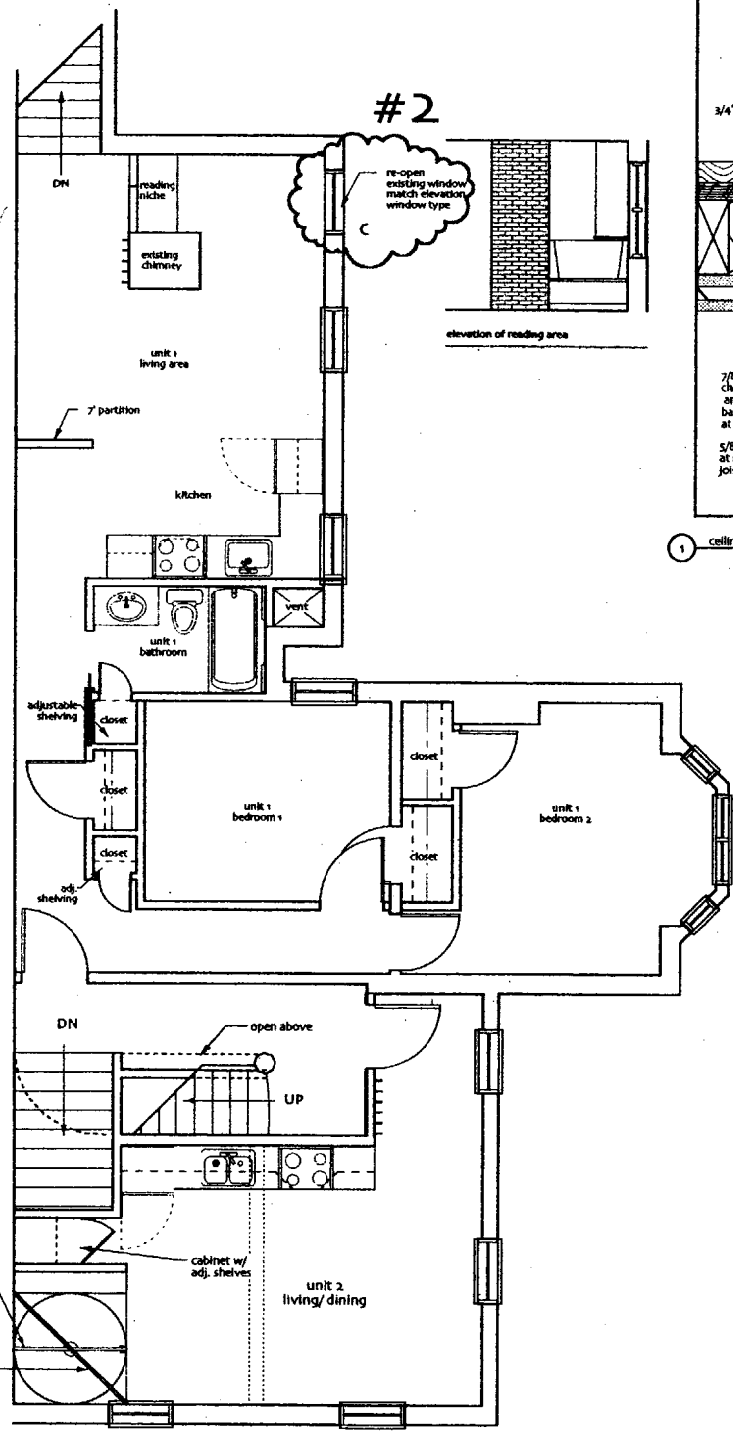
No changes in the existing fire escapes and exit stairs are contemplated. However, new exit signs and emergency lighting is being proposed.

I trust that this information satisfies your requirements for this application, if you have questions please give me a call at 774-3683.

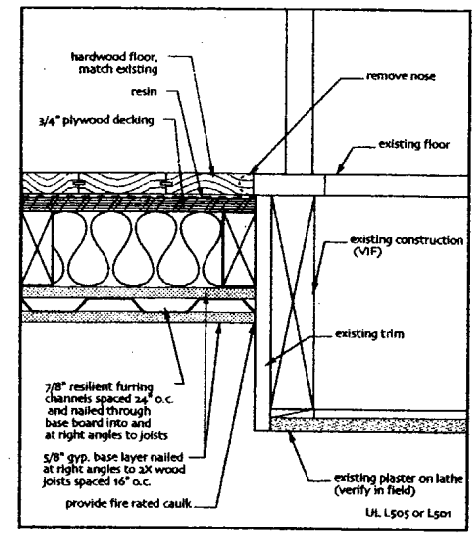
Sincerely,



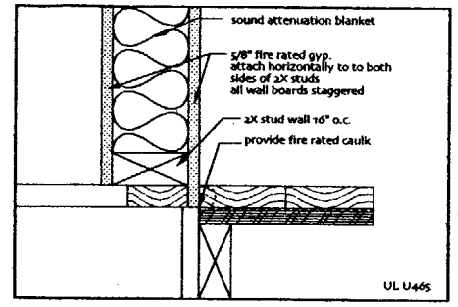
William Nemmers



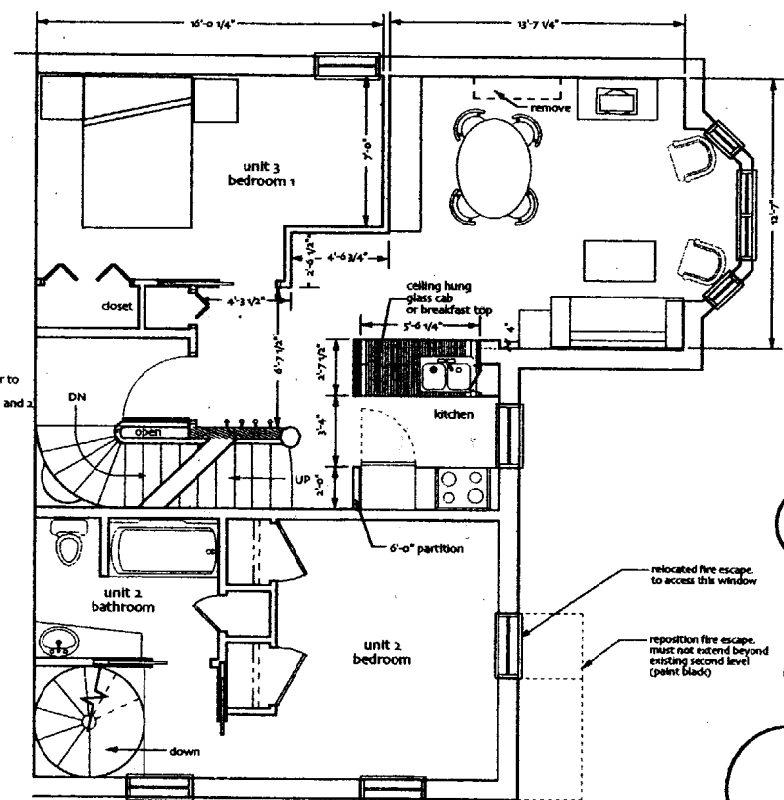
second floor plan



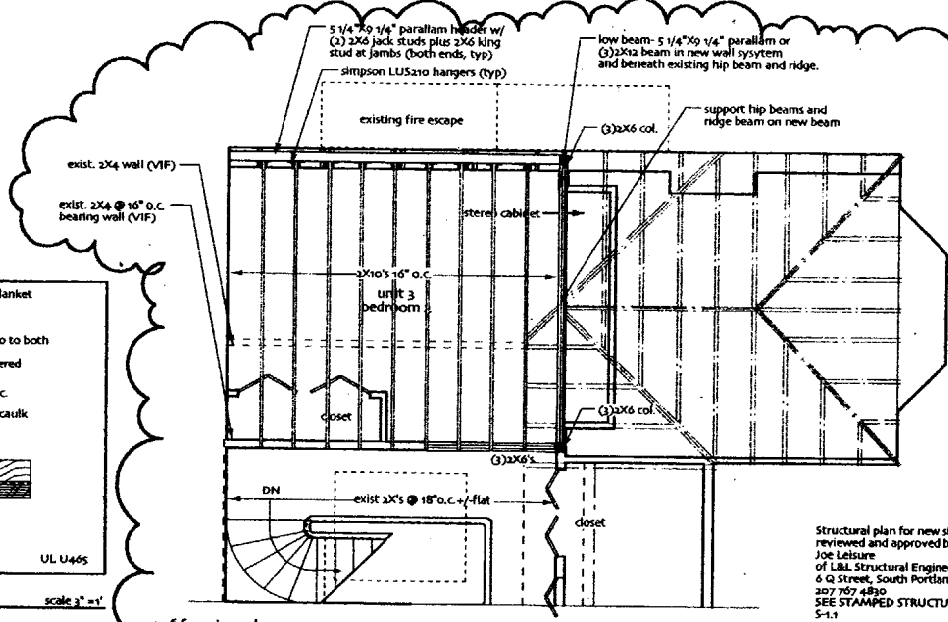
ceiling detail scale 3" = 1'



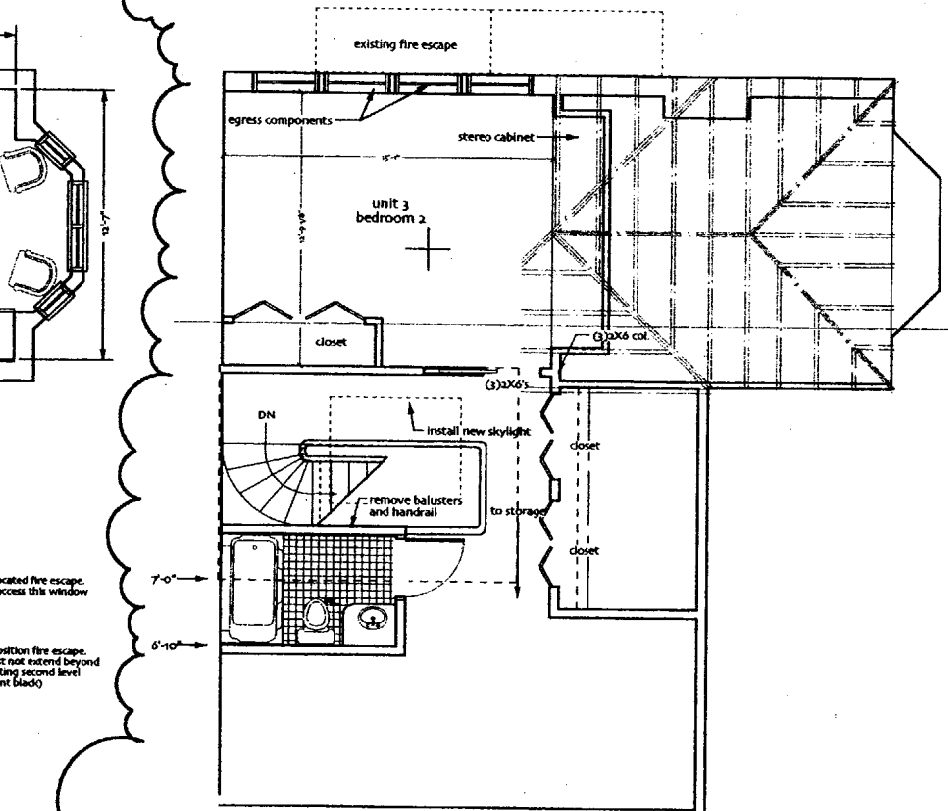
wall detail scale 3" = 1'



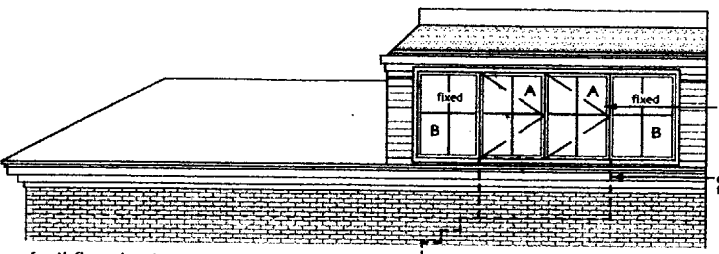
third floor plan (utilising previously proposed exterior)



roof framing plan new roof dormer



fourth floor plan (utilising previously proposed dormer)



fourth floor elevation deemed architecturally appropriate

previously approved dormer but new window scope

MANUFACTURER	MODEL #	TYPE	TD	TD	TD	TD	TD
Andersen	OXW 54	casement	3'-0 1/2" x 4'-0 1/2"	operable	egress	A	
Andersen	P3040	casement picture	3'-0 1/2" x 4'-0 1/2"	picture unit		B	

400 series w/ andersen high performance glass and through muntins
Broscow/Boston Authentic divided light 55% visible light vertical

ARCHITECTURAL NOTES

The site is located at 181 State Street, Portland ME 04101

All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the project supervisor and owner before proceeding with that portion of the work.

All applicable Federal, State, and Municipal regulations shall be followed, including the Federal Department of Labor Occupational Safety and Health.

All work is to be carried out in a professional and workmanlike manner complying with all manufacturers' specifications.

All dimensions, unless otherwise noted are to face of structure; steel, concrete labors, concrete footings. Vertical dimensions are from top of subfloor unless otherwise noted.

Provide solid blocking at all millwork, towel bars, railings and grab bars, etc.

All trades are responsible for reviewing the Architectural drawings for details and coordinating relevant conditions with their particular trade.

All to have blocking on all walls to receive marker boards and shelving

STRUCTURAL NOTES:

1. Structural drawings shall be used in conjunction with job specifications and architectural, mechanical, electrical, plumbing, and site drawings. Consult these drawings for locations and dimensions of openings, chases, inserts, registers, sleeves, depressions and other details not shown in structural drawings.

2. All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work. Do not scale plans.

3. The structure is designed to be self-supporting and stable after the building is complete. It is the contractor's sole responsibility to determine its erection procedures and sequencing to ensure the safety of the building and its components during erection.

4. Sections and details shown on any structural drawings shall be considered typical for similar conditions.

5. All applicable federal, state and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

DESIGN LOADS:

1. Building code: BOCA Basic Building Code 1999

2. Design Live Loads:
Roof: 43 PSF + Drift
Floor: 40 PSF

3. Design wind loads are based on exposure B using 85 mph basic wind speed.

TIMBER FRAMING

1. All timber framing shall be in accordance with the ATC Timber Construction Manual or the National Design Specification (NDS) latest editions.

2. Individual timber framing members shall be visually graded, minimum grade #2 spruce-pine-fir (SPF), kiln dried 19% maximum moisture content, to 2.4 x 1/4" in accordance with AWWA C-18.

3. Pressure treated lumber shall be used where wood is in contact with ground or concrete. Timber shall be southern yellow pine treated with CCA to 2.4 x 1/4" in accordance with AWWA C-18.

4. Provide 3x3 lumber bridging, double-nailed at each end, at eight feet maximum spacing for all dimensional lumber floor framing.

5. Standard metal connectors shall be used at all timber to timber connections or as noted on the design drawings.

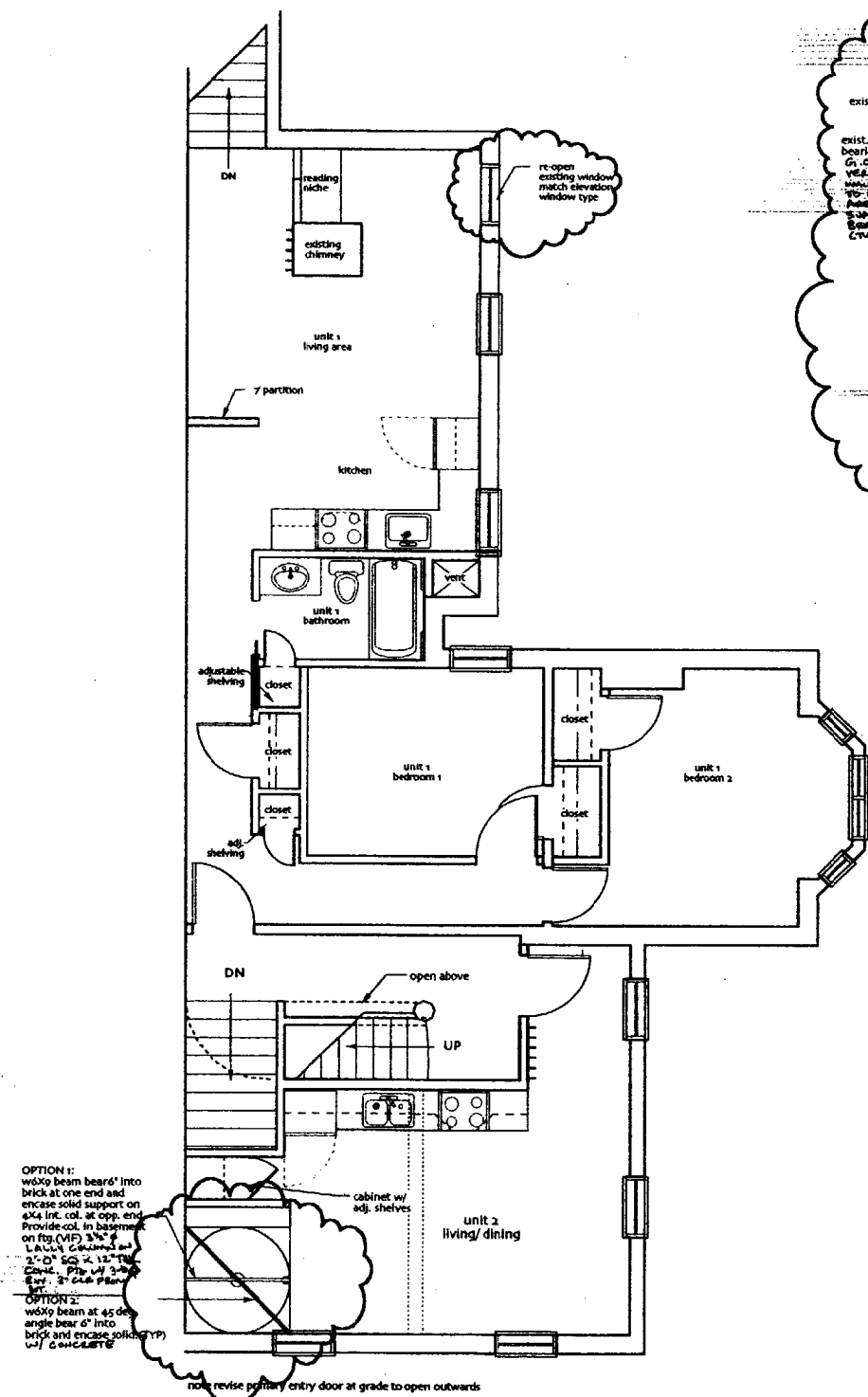
6. Provide Simpson H-5 hurricane anchors at each end of timber trusses and rafters.

7. Nailing not specified shall conform to BOCA appendix C.

8. Provide 1/2" thick APA rated sheathing on roof framing.

9. Provide 1/2" thick APA rated sheathing on exterior wall framing.

Structural plan for new shed/hip roof reviewed and approved by:
Joe Lethure
of L&L Structural Engineering Services
6 Q Street, South Portland, ME 04106
207 767 4830
SEE STAMPED STRUCTURAL DOCUMENT S-1.1



OPTION 1: w/6x6 beam bear'd into brick at one end and encase solid support on 4x4 linc. col. at opp. end. Provide col. in basement on (fig. VIF) 3"x6" L.B.R. G. columns and 2'-0" SQ. X 12" TR. COL. Pts. w/ 3" dia. Bar. 3" dia. Plate.

OPTION 2: w/6x6 beam at 45 deg angle bear'd into brick and encase solid support w/ concrete.

note revise primary entry door at grade to open outwards

2 second floor plan

ARCHITECTURAL NOTES

The site is located at 182 State Street, Portland ME 04101

All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the project supervisor and owner before proceeding with that portion of the work.

All applicable Federal, State, and Municipal regulations shall be followed, including the Federal Department of Labor Occupational Safety and Health.

All work is to be carried out in a professional and workmanlike manner complying with all manufacturers' specifications.

All dimensions, unless otherwise noted are to face of structure, studs, concrete block, concrete footings. Vertical dimensions are from top of subfloor unless otherwise noted.

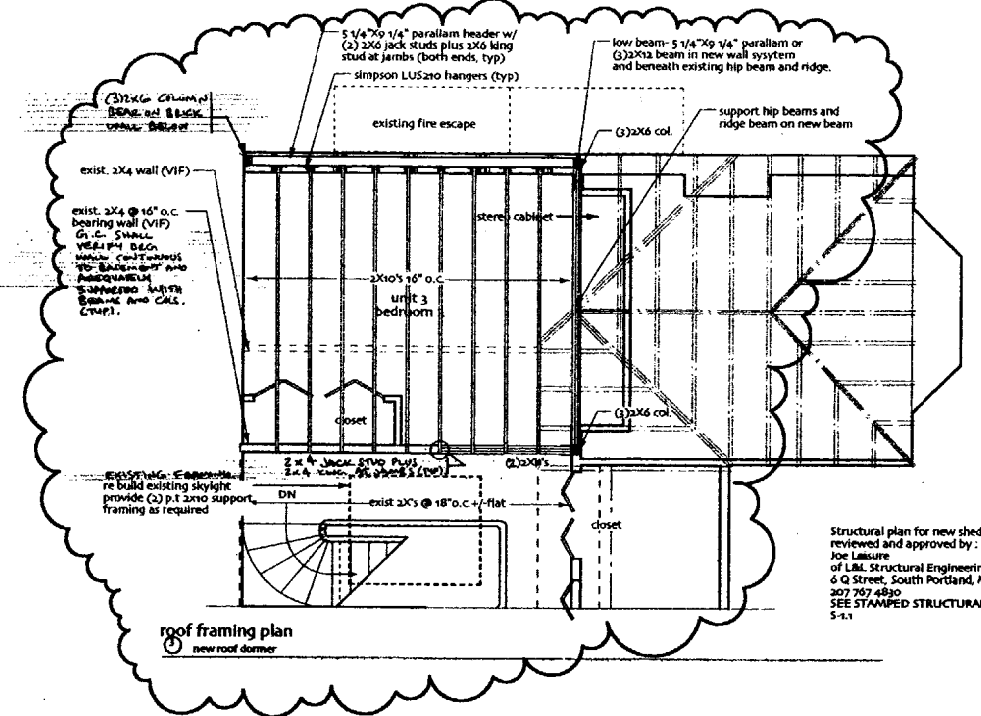
Provide solid blocking at all millwork, towel bars, railings and grab bars, etc.

All trades are responsible for reviewing the Architectural drawings for details and coordinating relevant conditions with their particular trade.

All to have blocking on all walls to receive marker boards and shelving.

STRUCTURAL NOTES:

- Structural drawings shall be used in conjunction with job specifications and architectural, mechanical, electrical, plumbing, and site drawings. Consult these drawings for locations and dimensions of openings, chases, inserts, registers, sleeves, depressions and other details not shown in structural drawings.
 - All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work. Do not scale plans.
 - The structure is designed to be self-supporting and stable after the building is complete. It is the contractor's sole responsibility to determine its erection procedures and sequencing to ensure the safety of the building and its components during erection.
 - Sections and details shown on any structural drawings shall be considered typical for similar conditions.
 - All applicable federal, state and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.
- DESIGN LOADS:
- Building code: BOCA Basic Building Code 1999
 - Design Live Load: Floor: 40 PSF Roof: 42 PSF + Drift
 - Design wind loads are based on exposure B using 85 mph basic wind speed.
- TIMBER FRAMING
- All timber framing shall be in accordance with the AITC Timber Construction Manual or the National Design Specification (NDS) latest editions.
 - Individual timber framing members shall be visually graded, minimum grade #2 spruce-pine-fir (SPF), kiln dried 19% maximum moisture content, to 0.4 #/CF in accordance with ANSI A-C-18.
 - Pressures treated lumber shall be used where wood is in contact with ground or concrete. Timber shall be southern yellow pine treated with CCA.
 - Provide 2x3 lumber bridging, double-nailed at each end, at eight feet maximum spacing for all dimensional lumber floor framing.
 - Standard metal connectors shall be used at all timber to timber connections or as noted on the design drawings.
 - Provide Simpson H 2.5 Hurricane anchors at each end of timber trusses and rafters.
 - Nailings not specified shall conform to BOCA appendix C.
 - Provide 19/32" thick APA rated sheathing on roof framing.
 - Provide 1/2" thick APA rated sheathing on exterior wall framing.



roof framing plan
new roof dormer

Structural plan for new shed/hip roof reviewed and approved by:
Joe Leasure
of L.B. Structural Engineering Services,
6 Q Street, South Portland, ME 04106
207 767 4830
SEE STAMPED STRUCTURAL DOCUMENT
5-11



Electrical drawings reviewed by:
 Thomas Engineering 175 Carlson Way
 Westbrook ME 04077 207 878 4407

ELECTRICAL NOTES

- Contractor is responsible for installation acceptable to all city, state and national codes.
- Contractor is responsible for obtaining all applicable permits.
- All outlets within 6' of any water tap shall be ground fault protected.
- Review all appliances schedules, mechanical drawings and specifications for a complete understanding of the electrical requirements.
- Mounting heights:

DUPLEX - 15" AFF min, mount horizontally at kitchen counter.

G.F.I. DUPLEX OUTLET - At contractor's option, ground fault protection may be installed at electrical panel.

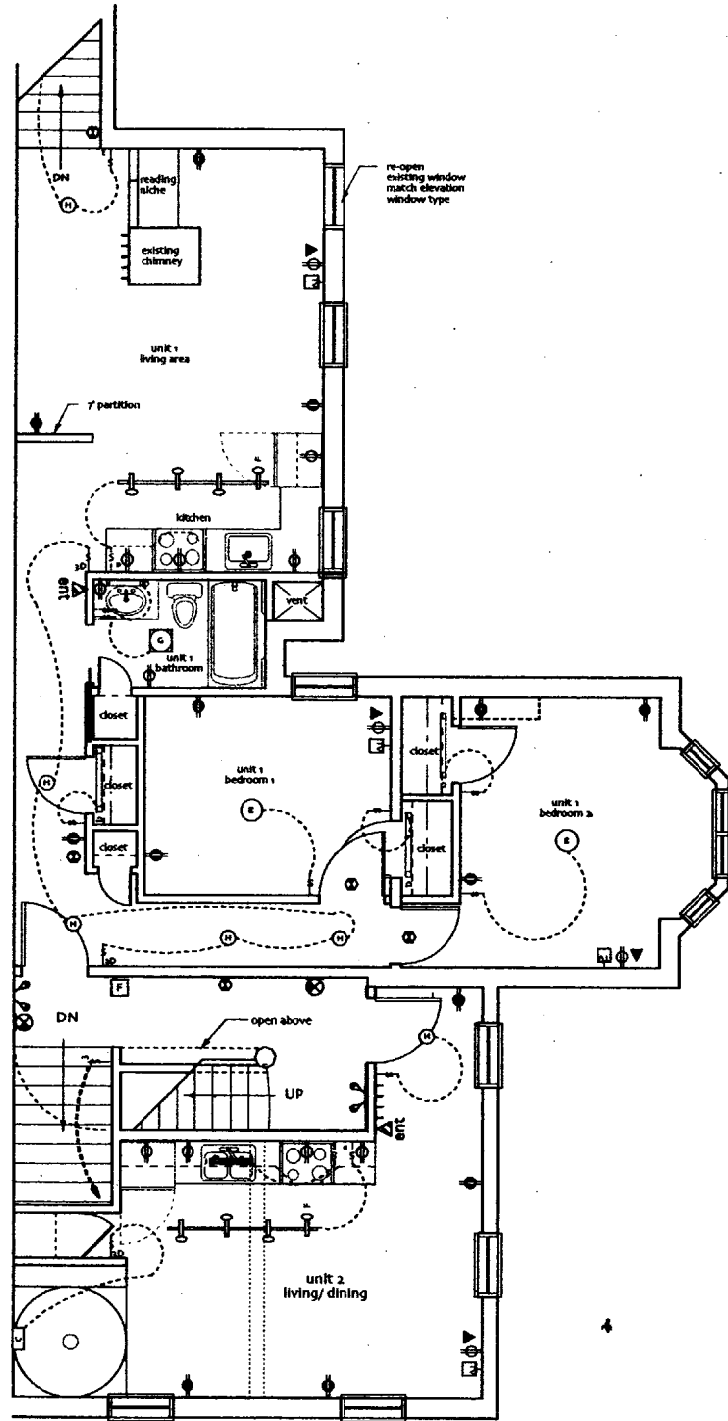
WALL TELEPHONE JACK - Wire to telephone panel, 15" AFF max. (in bedrooms offices and phone areas)

SWITCH LOCATION - 48" AFF max.

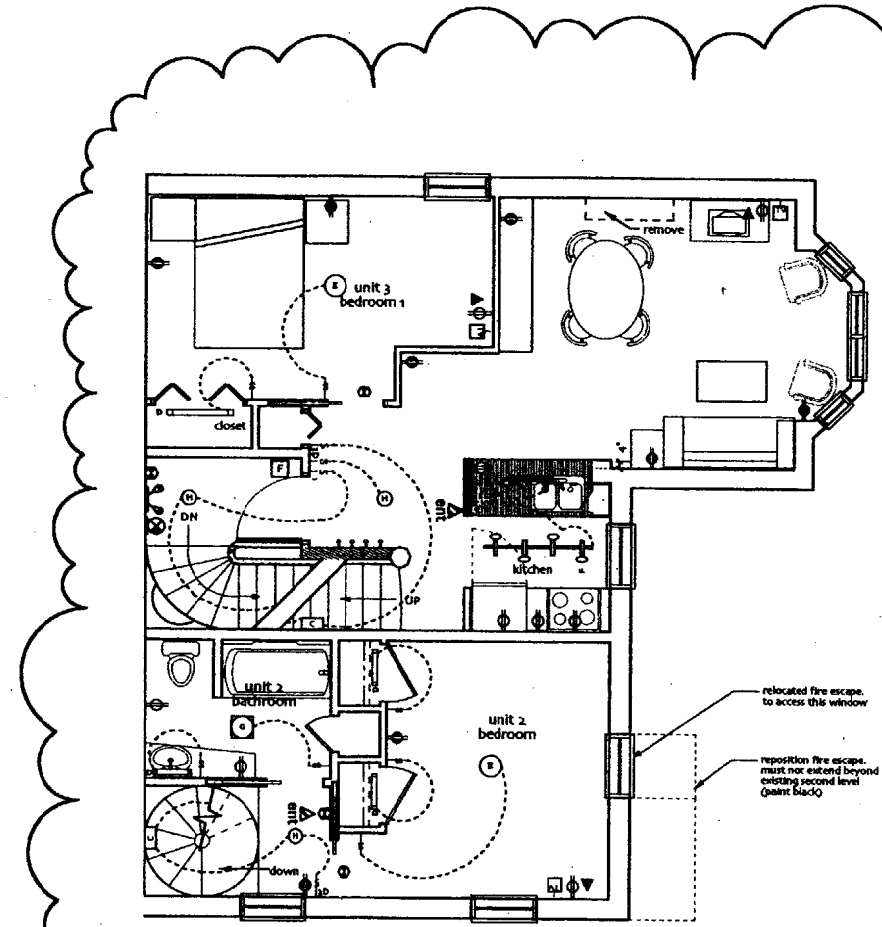
EMERGENCY ALARM SYSTEM PULL - 48" AFF max.

In general, all mounting heights shall conform to ADA accessibility guideline.

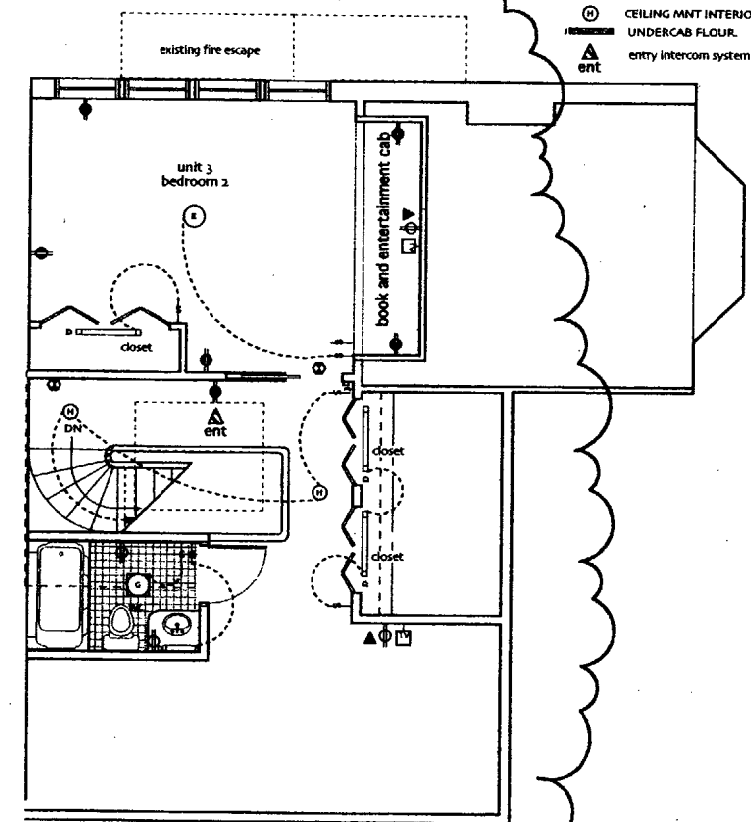
- KEY**
- EMERGENCY LIGHTING UNIT W/REMOTE HEADS AS SHOWN - MOUNTED SO TOP OF HEADS ARE 6" BELOW CEILING
 - EXIT LIGHTING UNIT - WALL OUTLET
 - SMOKE DETECTOR
 - FIRE ALARM MANUAL STATION
 - DUPLEX
 - DEDICATED
 - QUAD
 - GFCI
 - WEATHER PROTECTED
 - TV-CABLE/DUPLEX/PHONE LINES
 - SWITCH
 - 3-WAY SWITCH
 - 3-WAY SWITCH WITH DIMMER
 - MULTIPLE TELEPHONE LINES
 - RECESSED CEILING FIXT-NEW
 - RECESSED CEILING FIXT-REMODEL
 - WALL MNT INTERIOR FIXTURE
 - WALL MOUNTED FLOOR FIXTURE W/ LENSE
 - CEILING MNT INTERIOR FIXTURE
 - TRACK LIGHTS
 - CEILING MNT LIGHT W/ FAN
 - CEILING MNT INTERIOR FIXTURE UNDERCAB FLOOR.
 - entry intercom system



second floor plan



third floor plan



fourth floor plan