

Comments submitted 4/10/13

Comments submitted 4/30/13 City of Portland

Comments submitted 5/7/13 Development Review Application
Planning Division Transmittal Form

Application Number: 2013-091 **Application Date:** 04/08/2013
CBL: 045 B023001 **Application Type:** Level III Site Plan Under 50,000 sq f
Project Name: Levell III Site plan/ Change of Use
Address: 91 STATE ST
Project Description: Renovation of existing building into 10 apartments. Change of Use from "convalescent home" to multi-family residential.
Zoning: R6

Other Required Reviews:

<input type="checkbox"/> Traffic Movement	<input type="checkbox"/> 14-403 Streets	<input type="checkbox"/> Housing Replacement
<input type="checkbox"/> Storm Water	# Units _____	<input checked="" type="checkbox"/> Historic Preservation
<input checked="" type="checkbox"/> Subdivision	<input type="checkbox"/> Flood Plain	<input type="checkbox"/> Other:
# Lots <u>10</u>	<input type="checkbox"/> Shoreland	
<input type="checkbox"/> Site Location	<input type="checkbox"/> Design Review	
# Unit _____		

Distribution List:

Planner	Caitlin Cameron	Parking	John Peverada
Zoning	Marge Schmuckal	Design Review	Alex Jaegerman
Traffic Engineer	Tom Errico	Corporation Counsel	Danielle West-Chuhta
Civil Engineer	David Sensus	Sanitary Sewer	John Emerson
Fire Department	Chris Pirone	Inspections	Tammy Munson
City Arborist	Jeff Tarling	Historic Preservation	Deb Andrews
Engineering	David Margolis-Pineo	DRC Coordinator	Phil DiPierro
		Outside Agency	

Comments needed by April 17, 2013

MEMORANDUM

To: FILE

From: Caitlin Cameron

Subject: Application ID: 2013-091

Date: 5/7/2013

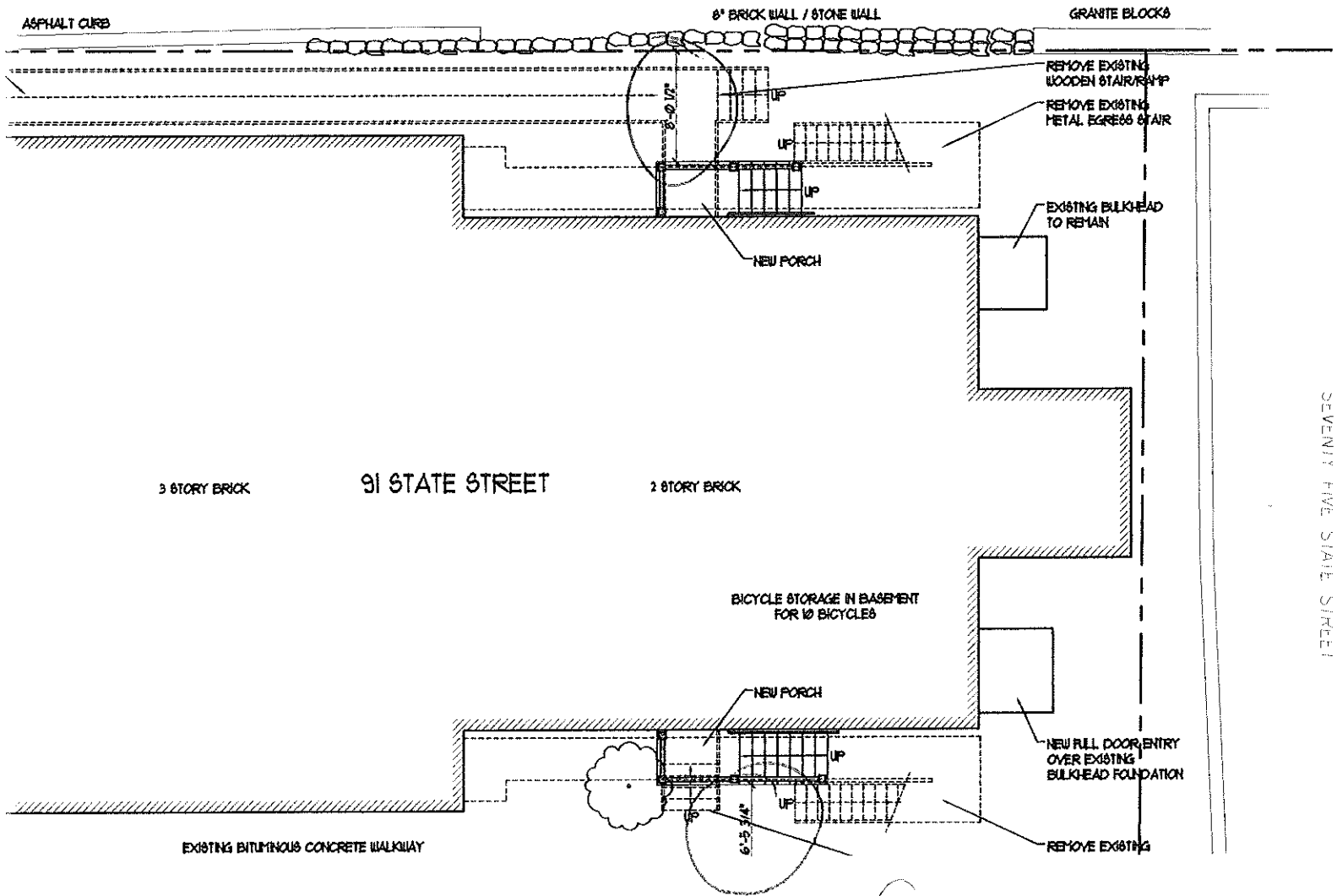
Comments Submitted by: Marge Schmuckal/Zoning on 5/7/2013

Today I received a revised plan showing that both side entrances will meet the R-7 minimum side setback of 5'. One is 8' the other is 6.5'. All the R-7 zoning requirements are being met.

Separate permits are required for the change of use and proposed work. Any new HVAC systems, sprinkler systems and fire alarm systems require separate permits.

Marge Schmuckal
Zoning Administrator

91 State St Revised 5/7/13



SEVENTY FIVE STATE STREET

ok for R-7
min setback

MEMORANDUM

To: FILE
From: Caitlin Cameron
Subject: Application ID: 2013-091
Date: 4/30/2013

Comments Submitted by: Marge Schmuckal/Zoning on 4/30/2013

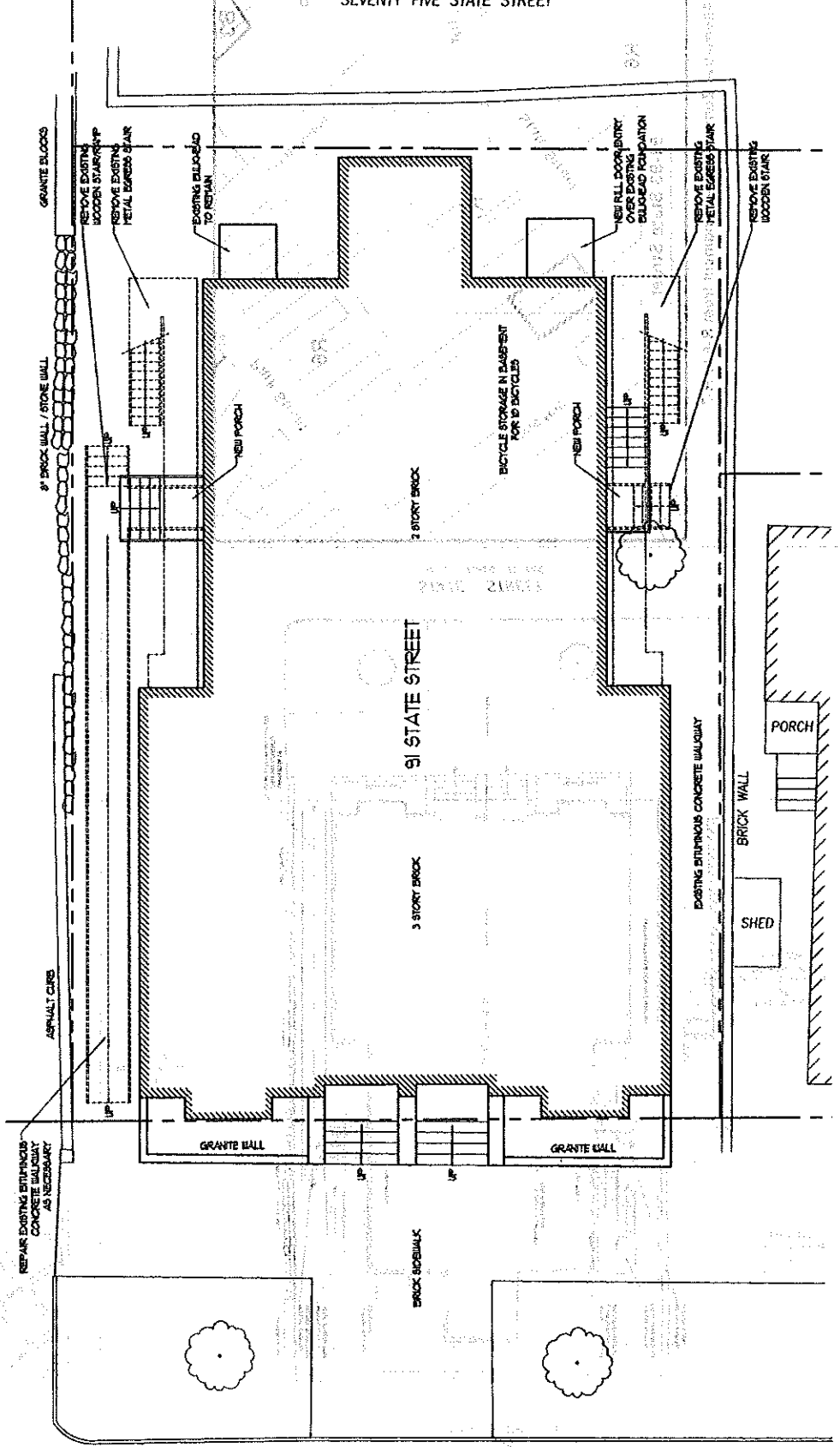
I have reviewed the most recent plans down loaded in e-plan. The latest floor plans confirm that the minimum 400 square foot for each apartment is being met. I have scaled the setbacks for the new porches. Section 14-142(a)3.b Of the R-7 Zone states that minimum setbacks for the side and rear is five (5) foot for each. My scaling of the plans show the Northerly side of the building to be less than 5' for a setback It would be in violation of the R-7 zone. The southerly side of the building shows a 6' side setback which meets the R-7 zone requirements. I would like the applicant to confirm the setbacks. There is no bar scale on the final site plan in which to completely calibrate dimensions. I acutally used the dlmensions of the building on the survey plan to calibrate on the final site plan. Again, I would want to see confirmation on the side setbacks. The minimum rear setback of 5 foot is more than being met.

For zoning purposes, I have already confirmed the approval to begin interior demolitions prior to finalizing the site plan review IF a building permit application is submitted and if the Planning Authority so approves it under a written request.

Marge Schmuckal
Zoning Administrator

TM 45-B-18
N/F
SEVENTY FIVE STATE STREET

R-7



STATE STREET
PAVED - PUBLIC - 99' WIDE

100A

4/25/13

PROJECT DATA

The following information is required where applicable, in order complete the application.

Total Area of Site	5,490	sq. ft.
Proposed Total Disturbed Area of the Site	0	sq. ft.
(If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) with DEP and a Stormwater Management Permit, Chapter 500, with the City of Portland)		
Impervious Surface Area		
Impervious Area (Existing)	No Change	
Impervious Area (Proposed)	No Change	
Building Ground Floor Area and Total Floor Area		
Building Footprint (Existing)	3,355	sq. ft.
Building Footprint (Proposed)	3,355	sq. ft.
Floor Area (Existing)	8,548	sq. ft. (excluding basement and attic)
Floor Area (Proposed)	8,548	sq. ft. (excluding basement and attic)
Zoning		
Existing	R-6	
Proposed, if applicable	R-7 (application submitted March 18, 2013)	
Land Use		
Existing	Approved: Convalescent Home; <i>De Facto</i> : Transitional Housing	
Proposed	Apartments	
Residential, if applicable		
Residential Units (Existing)	Approved: 0; <i>De Facto</i> : 7	
Residential Units (Proposed)	10	
# Number of Lots (Proposed)	1	
Affordable Housing Units (Proposed)	0	
Efficiency Units (Proposed)	0	
One-Bedroom Units (Proposed)	5	
Two-Bedroom Units (Proposed)	5	
Three-Bedroom Units (Proposed)	0	
Parking Spaces		
Parking Spaces (Existing)	0	
Parking Spaces (Proposed)	0	
Handicapped Spaces (Proposed)	0	
Bicycle Parking Spaces		
Bicycle Spaces (Existing)	0	
Bicycle Spaces (Proposed)	Bicycle Parking will be provided in the basement	
Estimated Cost of Project	\$200,000 (renovation cost)	

2 units on 3rd floor
 4 units on 2nd floor
 4 units on 1st floor
 TO

100% lot cov,
 min 400^{sq} ft DU - OK
 Set BACKS side & Rear ST

MEMORANDUM

To: FILE
From: Caitlin Cameron
Subject: Application ID: 2013-091
Date: 4/10/2013

Comments Submitted by: Marge Schmuckal/Zoning on 4/10/2013

I have reviewed the plans submitted for this proposal for a change of use from a convalescent home to 10 residential dwelling units. Thru a separate application, the applicant is also requesting a zone change from R-6 to R-7. Therefore I reviewed this submittal based upon the R-7 zone requirements. I have already stated that the land area per dwelling unit requirement of the R-7 zone is being met. I have checked the floor plans and the ten units are all meeting the minimum 400 square foot of apartment space. The smallest unit is approximately 610 sq foot in size.

This project is not required to show parking under the exemptions listed for historic districts. I have tried to review the new site plan. However, the submittal does not meet the requested format for review under e-plan. The plan does reveal that the plan is at 1/8" scale. There is no dimension on the plans for me to calibrate my measuring. I will need a plan with a measurement bar on it, or a specific dimension shown on the plans that I can use. There are a couple new entry ways being proposed for which I want to be sure are meeting the requirements.

Marge Schmuckal
Zoning Administrator

1st floor

- #101 = 608[#]
- #102 = 830[#]
- #103 = 655[#]
- #104 = 610[#]

2nd floor

- #201 = 630[#]
- #202 = 820[#]
- #203 = 612[#]
- #204 = 713[#]

3rd floor

- #301 = 830[#]
- #302 = 840[#]

Submittal Requirements

Complete Application Form – Attached

Application Fees – Check #118 for \$1,250.00 included

Written description of project – See attached cover letter

Evidence of right, title and interest - Redacted P&S attached.

Copies of required State and/or Federal permits - N/A

Written assessment of proposed project's compliance with applicable zoning requirements.

This application is predicated on zoning map change to R-7 for the site (application submitted March 18, 2013). Analysis below is for the R-7 zone.

Permitted use: The proposed use is a multifamily dwelling, which is a permitted use in the R-7 zone.

Dimensional requirements:

- **Minimum Lot Size:** None required; proposal meets requirement.
- **Minimum Frontage:** None required; proposal meets requirement.
- **Minimum Yard Dimensions:**
 - **Front yard:** None required; proposal conforms.
 - **Rear yard:** 5 feet required, 1 foot proposed. Existing building is a legally nonconforming structure, therefore proposal is exempt from requirement.
 - **Side yard:** 5 feet required, 4.5 foot proposed. Existing building is a legally nonconforming structure, therefore proposal is exempt from requirement.
- **Maximum Lot Coverage:** 100% allowed; proposal meets requirement.
- **Maximum Residential Density:** 435 s.f. of land area per dwelling unit required. Site size of 5,490 s.f. permits a maximum of 12 dwelling units. Proposal of 10 units meets requirement.
- **Maximum Building Height:** 50 feet required, xx feet proposed. Proposal conforms.
- **Off-street parking:** None required pursuant to 14-332.2(d) of the City Code; none proposed. The existing building is a contributing structure in a historic district; further, no off-street parking existed on or serviced the lot as of March 15, 1999. As such, the proposal meets the requirement for the categorical exemption under 14-332.2(d).
- **Minimum dwelling unit size:** 400 square feet of habitable floor area required per dwelling unit. All units proposed exceed 400 square feet in habitable floor area; proposal conforms.

Written description of existing and proposed easements or other burdens. – N/A

April 8, 2013

Barbara Barhydt
Development Review Services Manager
Planning Division
389 Congress Street, 4th Floor
Portland, ME 04101

Dear Barbara,

We are pleased to submit required documentation 91-93 State Street. Our applicant is purchasing the building from Mercy Hospital, which had used the building as the home to its McAuley Residence transitional housing program for the last 30 years. That program has relocated, offering Mercy the opportunity to sell the property. The property is currently configured with 2 units on the third floor, 4 units on the second floor and 1 unit plus office / program space on the first floor. The current permitted land use for the property is "convalescent home."

Our proposal is to renovate the building into 10 apartments – (6) 1 bedroom and (4) 2 bedroom units. Units are spacious and feature high ceilings and large windows. We plan to make the units more attractive by removing extraneous doors and partition walls; installing hardwood floors in those units that do not currently have them; removing drop ceilings in the units that have them; updating kitchens and baths; improving the lighting; and painting with bright colors.

Our proposal also contemplates significant investment in systems.

- *Electrical* - Electric is not separately metered at present. We will be installing separate meters for each of the units and making the necessary investment in the electrical system to allow this.
- *Heat / Hot Water* - While the heating system is relatively new, it is significantly over-built (8 boilers). We plan to reduce the number of boilers and to sequence them to reduce energy consumption.
- *Life Safety / Sprinkler* - We will install a full sprinkler system.
- *Air Sealing / Insulation* - We will be doing significant air sealing and insulation work to improve the energy efficiency and comfort of the building. We will be adding additional cellulose to the attic area and installing spray foam insulation in the rim joists and exposed walls of the basement. We will also be identifying areas of air penetration throughout the building and sealing them up.

Please call with any concerns.

Sincerely,

David Lloyd
Architect

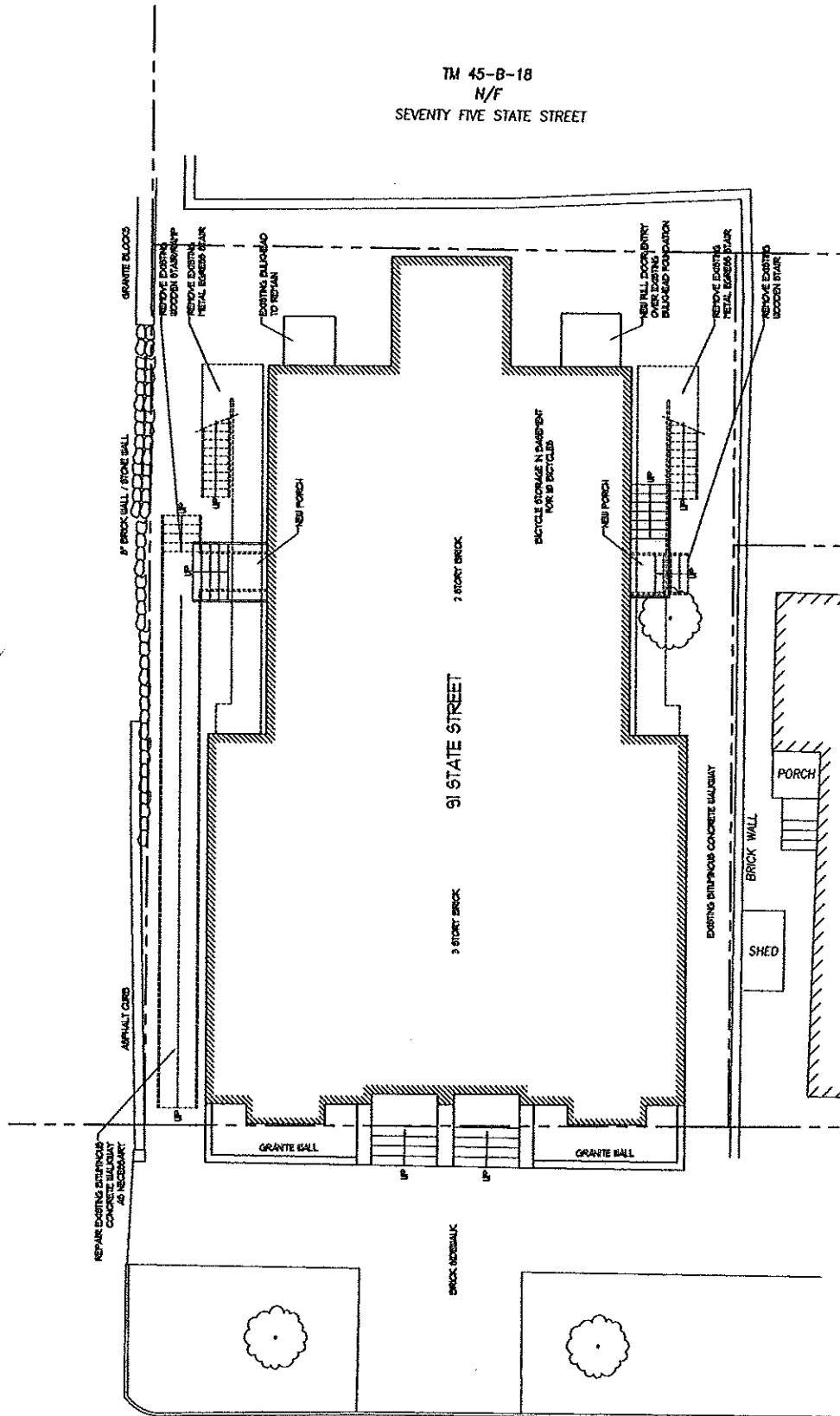
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Proposed	Apartments	
Residential, if applicable		
Residential Units (Existing)	Approved: 0; <i>De Facto</i> : 7	
Residential Units (Proposed)	10	
# Number of Lots (Proposed)	1	
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Efficiency Units (Proposed)	0	
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Two-Bedroom Units (Proposed)	5	
Three-Bedroom Units (Proposed)	0	
Parking Spaces		
Parking Spaces (Existing)	0	
Parking Spaces (Proposed)	0	
Handicapped Spaces (Proposed)	0	
Bicycle Parking Spaces		
Bicycle Spaces (Existing)	0	
Bicycle Spaces (Proposed)	Bicycle Parking will be provided in the basement	
Estimated Cost of Project	\$200,000 (renovation cost)	

TM 45-B-18
 N/F
 SEVENTY FIVE STATE STREET

No Scale
 Bar Scale



STATE STREET
 PAVED - PUBLIC 99' WIDE

City of Portland

3/20/13

Development Review Application
 Planning Division Transmittal Form

Application Number: 2013-078 **Application Date:** 03/20/2013
CBL: 045 B023001 **Application Type:** Zoning Map and Text Amendent

Project Name: Zone Change R-6 to R-7
Address: 91- STATE ST *10 Residential Units*

Project Description: Change of zone for the parcel from R-6 to R-7. - the zone change would allow the office space to be converted to residential space, resulting in ten residential units. Mercy's McAuley Residence transitional housing program had been the long-standing occupant of the building until its recent move to 68 High Street.

Distribution List:

	Planner	Kaitlin Cameron		Parking	John Peverada
	Zoning	Marge Schmuckal		Design Review	Alex Jaegerman
	Traffic Engineer	Tom Errico		Corporation Counsel	Danielle West-Chuhta
	Civil Engineer	David Sensus		Sanitary Sewer	John Emerson
	Fire Department	Chris Pirone		Inspections	Tammy Munson
	City Arborist	Jeff Tarling		Historic Preservation	Deb Andrews
	Engineering	David Margolis-Pineo		DRC Coordinator	Phil DiPierro
				Outside Agency	

comments submitted 4-1-13

Zone Change
R-6 to R-7

#2013-078

45-B-23-2A

Marge Schmuckal - Re: 91 State Street

From: Marge Schmuckal
To: Caitlin Cameron; Marge Schmuckal
Date: 4/1/2013 9:52 AM
Subject: Re: 91 State Street

$$5397 \div 435 = 12.406$$

Hi Caitlin,

I did the math concerning the number of dwelling units that this property could sustain according to the Assessor's information. It will change when we get a survey, it usually does. However, using the current Assessor's data and the R-7 435 square foot per dwelling unit allowance, the property could sustain 12 dwelling units. The applicant at this time is proposing 10 dwelling units, which is approvable under the R-7 zoning dimensional requirements.

The R-7 zone also requires a minimum apartment size of 400 square feet. No new floor plans have been submitted with the application for a zone change. However, the applicant submitted information with their application showing the minimum apartment size of 53 square foot. Those numbers meet the R-7 minimum apartment size requirements. In the future with the site/subdivision plan application, when I get the actual floor plans for this project, I will confirm the numbers.

Marge Schmuckal
Zoning Administrator

>>> Marge Schmuckal 3/28/2013 10:29 AM >>>

Sorry, I just got back into the office. I will try to check that today. It won't be completely accurate because the applicant is not giving us a survey or floor plans. The floor plans I received previously were from 1980 something. They said it would be similar. I will have to depend upon the Assessor's information.

Marge

>>> Caitlin Cameron 3/25/2013 4:30 PM >>>

Hi Marge,

Barb asked me to check in with you about the 91 State Street map amendment. We just want to make sure the density that the applicant is going to ask for works in R-7. Any other issues you have noticed? I am working on the workshop memo today and tomorrow so let me know if you have anything you want to add to that.

Thanks,

Caitlin

Caitlin Cameron, LEED AP, Associate AIA
Urban Designer
Planning & Urban Development Department
City of Portland, Maine
City Hall
389 Congress Street, 4th Floor
Portland, ME 04101
phone: (207) 874-8901
email: ccameron@portlandmaine.gov

Proposed Use of Property: Please describe the proposed use of the subject property. If construction or development is proposed, please describe any changes to the physical condition of the property.

The applicant proposes to renovate the subject property into 10 apartments. Floor plans for the existing McAuley Residence transitional housing program are attached. The applicant has not yet developed floor plans for the proposed renovation into 10 apartments. However, the applicant anticipates keeping the second and third floor apartment floor plans by and large intact, while the renovated first floor is likely to be reconfigured into four apartments with floor plans mimicking those on the second floor.

The first and second floors have an approximate *interior* gross floor area of 3,240 sf, while the third floor has an approximate *interior* gross floor area of 1,776 sf. Estimated unit sizes are as follows:

1st floor - northeast unit = +/- 725 sf
1st floor - northwest unit = +/- 535 sf
1st floor - southeast unit = +/- 550 sf
1st floor - southwest unit = +/- 535 sf
2nd floor - northeast unit = +/- 725 sf
2nd floor - northwest unit = +/- 535 sf
2nd floor - southeast unit = +/- 600 sf
2nd floor - southwest unit = +/- 535 sf
3rd floor - north unit = +/- 725 sf
3rd floor - south unit = +/- 600 sf

Notwithstanding the foregoing, the applicant understands that the R-7 zoning requires a minimum of 400 square feet per unit. If this zone change application is successful, complete floor plans for the 10 unit renovation will be submitted as part of a site plan / subdivision review application.

No changes to the exterior are contemplated at this point.

Site Plan: On a separate sheet, please provide a site plan of the property showing existing and proposed improvements, including such features as buildings, parking, driveways, walkways, landscape and property boundaries. This may be a professionally drawn plan, or a carefully drawn plan, to scale, by the applicant. (Scale to suit, range from 1" = 10' to 1" = 50'.) Contract and conditional rezoning applications may require additional site plans and written material that address physical development and operation of the property to ensure that the rezoning and subsequent development are consistent with the comprehensive plan, meet applicable land use regulations, and compatible with the surrounding neighborhood.

The use proposed following the zone change contemplates no additions to the existing building. The existing building itself is a legally nonconforming structure. Existing conditions site plan attached. The lot measures approximately 5,490 sf while the building has a footprint of approximately 3,355 sf. The approximate gross square footage of the building (including basement and attic) is 13,470 sf, while the approximate gross square footage of the contemplated residential portion of the building (i.e., floors 1 - 3) is 8,548 sf.

PROJECT ADDRESS: 91-93 State Street

CHART/BLOCK/LOT: 045 B-023/024-001

DESCRIPTION OF PROPOSED ZONE CHANGE AND PROJECT:

Applicant requests change of zone for the parcel from R-6 to R-7. The property is located on the peninsula and currently houses seven residential units plus modest office and program space. The zone change would allow the office space to be converted to residential space, resulting in ten residential units. Mercy's McAuley Residence transitional housing program had been the long-standing occupant of the building until its recent move to 68 High Street.

The applicant believes the proposed change of zone is consistent with both the comprehensive plan and the purpose of the R-7 zone.

Consistency with Comprehensive Plan:

Applicant believes that the change of zone is consistent with the Housing Component of the Comprehensive Plan, in particular Policies #1 and #2.

Policy #1 of the Housing Component of the Comprehensive Plan states:

"Ensure that an adequate supply of housing is available to meet the needs, preferences, and financial capabilities of all Portland households, now and in the future."

The proposed zone change will allow the applicant to add three new apartments to the city's housing stock.

Policy #2 of the Housing Component of the Comprehensive Plan states:

"Maintain, rehabilitate, and restore the existing housing stock as a safe and important physical, economic and architectural resource for the community."

The proposed zone change will allow the applicant to rehabilitate the existing apartments into code- and zoning-compliant units. The proposed zone change facilitates significant capital investment in this historic building. Purchase of the building by the applicant restores the property to the city's property tax rolls.

Consistency with purpose of the R-7 zone:

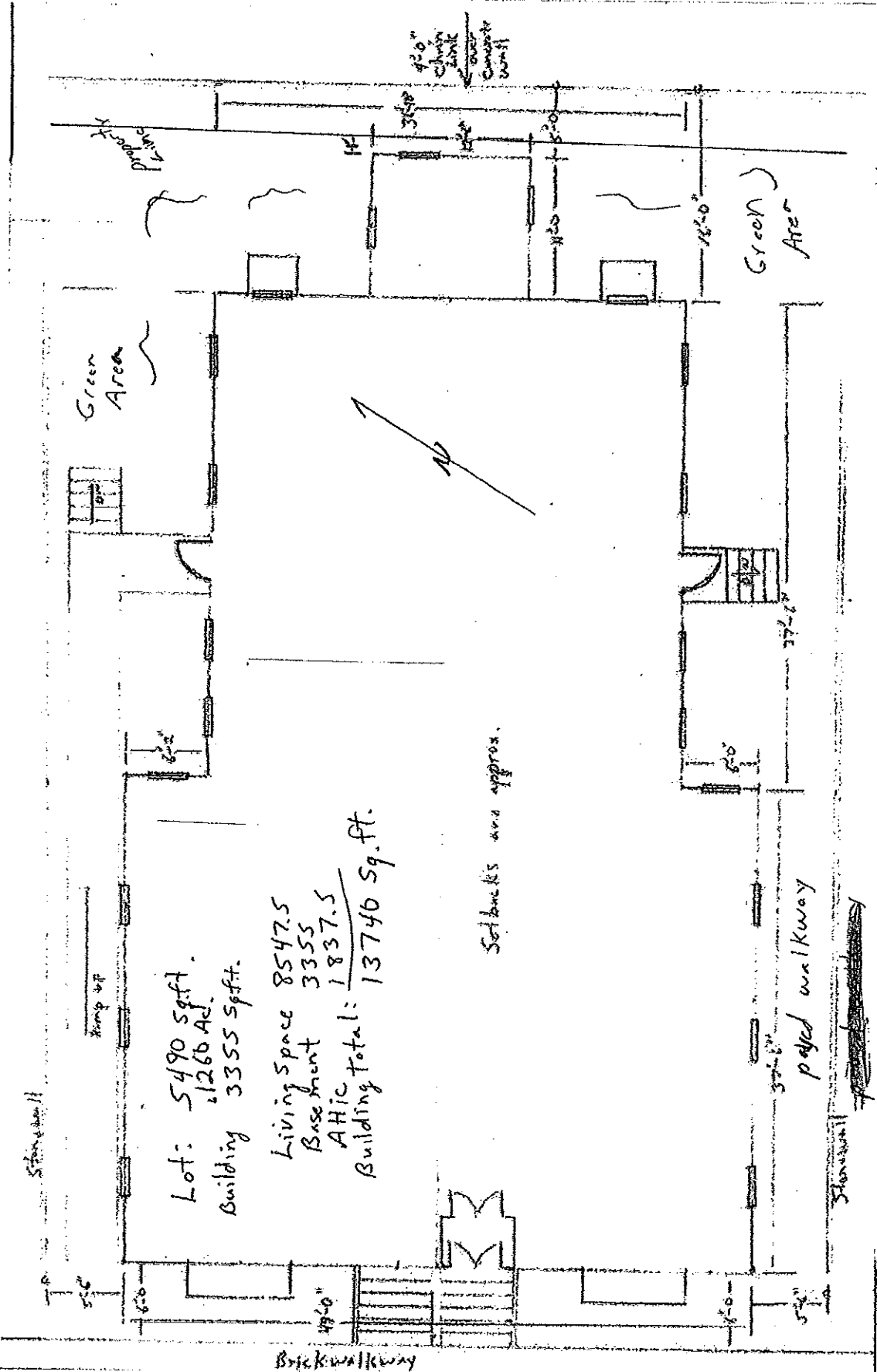
The purpose of the R-7 Compact Urban Residential Overlay Zone is:

"To encourage and accommodate compact residential development on appropriate locations on the Portland peninsula, pursuant to the [...] housing plans of the City of Portland. Sites suitable for in-city living should be within walking distance of downtown or other work places, shopping and community facilities and have access to public or private off-site parking or transit service. The intent of this zone is to foster increased opportunities for compact in-city living for owners and renters representing a variety of income levels and household types."

Locations for siting the R-7 zone are intended to be located on the peninsula of Portland, [...] peninsula R-6 locations characterized by moderate to high density multi-family housing in a form and density exceeding that allowed in the R-6 Zone and where infill development opportunities exist; and areas on the peninsula with mixed business and residential zoning and uses which can accommodate higher density infill residential development without negatively impacting the existing neighborhood or adjacent properties.[...]"

Typically, the R-7 zone is used for infill development on the peninsula. In this instance, the R-7 zone is proposed to a) preserve 7 existing but non-zoning compliant apartments and b) create 3 new apartments.

The site is within walking distance of downtown and all its amenities and is located on the #8 Metro bus. The density of the building is consistent with the density of neighboring buildings. No change is proposed to the existing historic building which is well integrated into the existing neighborhood and adjacent properties.



Lot: 5490 sqft.
 1260 Ad.
 Building 3355 sqft.

Living Space 8547.5
 Basement 3355
 Attic 1837.5
 Building Total: 13740 Sq. ft.

Setbacks are approx.

patio walkway

Brick Walkway

Green Area

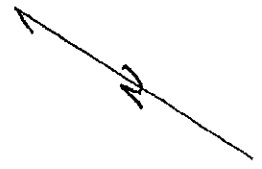
Green Area

Stairwell

Stairwell

9'-0" Chain Link Concrete Wall

5'-0" Wood



5'-0"

6'-0"

4'-0"

4'-0"

5'-0"

Ramp up

3'-0"

3'-0"

16'-0"

3'-0"

3'-0"

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PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Jeff Levine, AICP, Director
Marge Schmuckal, Zoning Administrator

zoning MAP Amendment

Meeting = 2013-078

45-B-23-2A

Meeting Information

DATE: 2/15/13 ZONE: R-6

LOCATION: 91 State St & 50-52 Winter → in Historic

PEOPLE PRESENT: John Anton - Kevin Butterfield

Barbara - Marge

DISCUSSION: Convalencant Center is current legal use

91 State St - 10 Apts New-proposed Bldg 12,000 sq ft
rental not code

50-52 Winter St - parking - was approved 1996 by planning
Barb under site plan

R-70 overlay? 5,397 sq ft per my odd-zing sheet 435 sq/du.
min size of Apts → 400 sq ft Reg. 5397 ÷ 435 = 12,406 max units

level III subdivision - & MAP Amendment
ultimately the Planning Authority can review the parking Reg -
There currently is no parking on site - there is an exemption
for adding parking in Historic

- Discussed Comprehensive Plan meeting for MAP Amendment
- Will need a survey
- Suggest speaking to Fire Prevention about sprinklers
- Engineering would review sidewalk

Please note: this meeting is not an pre-approval of any ordinances. No project can be approved without going thru the appropriate reviews. This meeting is only to outline the City processes to go through based on the information given at this meeting. Any changes to that information may change the process requirements. Please check ordinances that are on-line for further information at www.portlandmaine.gov.

1 Street trees per unit \$200 fee per tree in Street tree fund
need right title interest - want over zoning change application
Needs neighborhood meeting - March 12th? - April 22nd Council meeting

Marge Schmuckal - Re: 91 State and 50-52 Winter

From: Barbara Barhydt
To: Anton, John; Butterfield, Kevin; Schmuckal, Marge
Date: 2/15/2013 12:55 PM
Subject: Re: 91 State and 50-52 Winter
Attachments: PBR6-03.doc

Hello:

I found this attached Planning Board report for 99 State Street. I haven't pulled the file yet, so I don't know what was submitted in the application. It was proposed in order to put one unit in the carriage house on that site.

Thanks.

Barbara

Barbara Barhydt
Acting Planning Division Director
Planning Division
389 Congress Street 4th Floor
Portland, ME 04101
(207) 874-8699
Fax: (207) 756-8256

bab@portlandmaine.gov>>> John Anton <antonatlarge@gmail.com> Thursday, February 14, 2013 5:03 PM
>>>

Kevin just confirmed. We will see you at 10. Thanks!

John Anton
(207) 650-8979

From: Barbara Barhydt <BAB@portlandmaine.gov>
Sent: Thu Feb 14 16:53:56 EST 2013
To: Kevin Butterfield <kevin@crunchbtp.com>, John Anton <antonatlarge@gmail.com>, Marge Schmuckal <MES@portlandmaine.gov>
Subject: Re: 91 State and 50-52 Winter

Hi John:

PLANNING REPORT #06-03

**99 STATE STREET
ZONE CHANGE REQUEST
R-6 TO R-7
CRANDALL TOOTHAKER, APPLICANT**

**Submitted to:
Portland Planning Board
Portland, Maine**

January 28, 2003

**Submitted by:
Kandice Talbot, Planner**

I. INTRODUCTION

Crandall Toothaker is requesting review of a zoning map change proposal for the property located at 99 State Street. The proposed change would be from R-6 Residential to R-7 Compact Urban Residential Overlay Zone. Mr. Toothaker is requesting this change in order to be able to convert the brick carriage house at the rear of the property from its current use as a garage to a single-family residential structure.

491 notices were sent to area property owners. Two notices of the public hearing appeared in the Portland Press Herald. The notice was posted in the City Clerk's office 14 days prior to the Public Hearing.

II. FINDINGS

Current Zoning:	R-6 Residential
Proposed Zoning:	R-7 Compact Urban Residential Overlay Zone
Land Area:	.13 acres
Existing Use:	3 unit residential with garage
Proposed Use:	4 unit residential
Land Uses in the Vicinity:	Multi-family residential buildings, Mercy Hospital

III. PROPOSED ZONE CHANGE

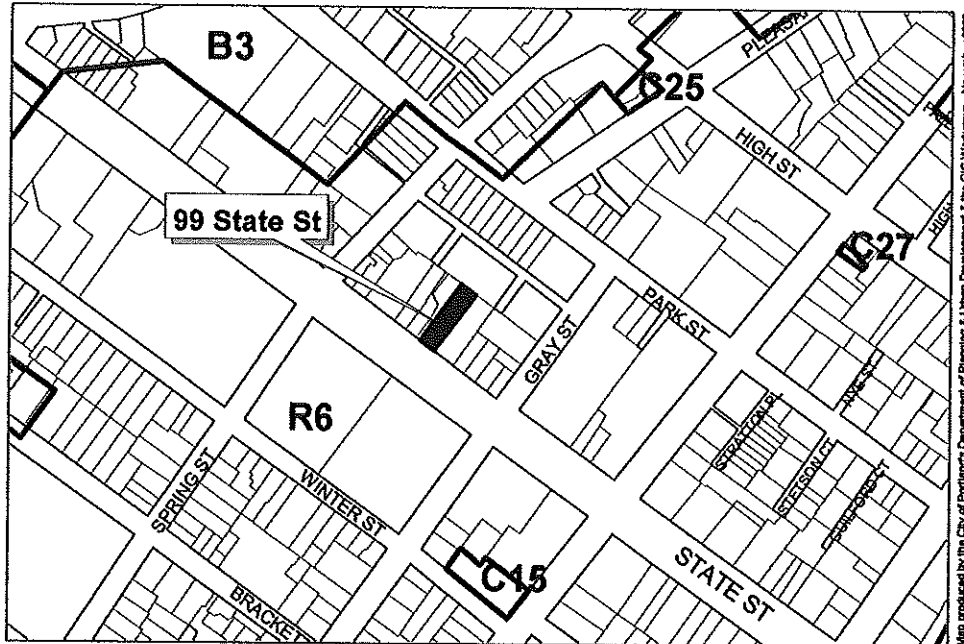
Mr. Toothaker is requesting this zone change in order to be able to convert the brick carriage house at the rear of the property from its current use as a garage to a single-family residential structure.

The applicant recently converted this property to a 3-unit condominium known as Ninety-Nine State Street Condominium. The condominium conversion permit is included as Attachment 1. Within the condominium documents, Mr. Toothaker retained the right to seek a change of zone for the carriage house, permitting him, if approved by the City, to create a residential unit in the carriage house.

The applicant is requesting an R-7 designation because the development does not meet the R-6 setback requirements. The Zoning Administrator has reviewed the proposal for compliance with the R-7 zoning and setback requirements and has found them to be acceptable.

Existing uses within the area are primarily multi-family buildings, with Mercy Hospital buildings located nearby.

Shown on the following page is the proposed zone change map.



**Proposed Zone Change from R6 to R7
for 99 State St.** ■



Map produced by the City of Portland's Department of Planning & Urban Development & the GIS Workgroup November 2002

IV. ZONING POLICY ANALYSIS

The purpose of the R-7 Compact Urban Residential Overlay Zone is:

"To encourage and accommodate compact residential development on appropriate locations on the Portland peninsula, pursuant to the New Vision for Bayside element of the comprehensive plan and housing plans of the City of Portland. Sites suitable for in-city living should be within walking distance of downtown or other work places, shopping and community facilities and have access to public or private off-site parking or transit service. The intent of this zone is to foster increased opportunities for compact in-city living for owners and renters representing a variety of income levels and household types.

Locations for siting the R-7 zone are intended to be located on the peninsula of Portland, in the area encompassed in the Bayside plan, and other peninsula R-6 locations characterized by moderate to high density multi-family housing in a form and density exceeding that allowed in the R-6 Zone and where infill development opportunities exist; and areas on the peninsula with mixed business and residential zoning and uses which can accommodate higher density infill residential development without negatively impacting the existing neighborhood or adjacent properties...It may be appropriate in some cases to rezone to R-7 overlay through conditional or contract zoning to ensure that new development is architecturally appropriate and compatible with the surrounding neighborhood."

The R-7 Zone concept was developed to address the need for infill housing opportunities in Bayside and other areas of the peninsula. As A New Vision for Bayside states:

"A true urban district has a healthy mix of residences, and Bayside needs more housing to be a stable and vital neighborhood. Portland will have to revise zoning, provide infrastructure improvements, and create financial incentives to spur development of appropriate and compatible housing construction of the quantities, density, types, and design quality needed to meet the ambitious targets of the plan."

In the Housing Component of the Land Use Code, Policy #1 states:

"Ensure that an adequate supply of housing is available to meet the needs, preferences, and financial capabilities of all Portland households, now and in the future."

Objective 1.c of Policy #1 states:

"Encourage higher density housing for both rental and home ownership opportunities, particularly located near services, such as schools, businesses, institutions, employers, and public transportation."

Also in the Housing Component, Policy #2 states:

"Maintain, rehabilitate, and restore the existing housing stock as a safe and important physical, economic and architectural resource for the community."

And Objective 2.c of Policy #2 states:

"Target vacant buildings for maintenance, rehabilitation and reuse."

The site is located on the peninsula and currently houses three residential units. The zone change would allow the carriage house to be utilized and converted to an additional unit on the site. The property could accommodate the required number of parking spaces for the four (4) residential units.

V. STAFF ANALYSIS AND RECOMMENDATION

Staff believes that this zone change is consistent with the City's comprehensive plan. Typically, the R-7 zone is used for infill development on the peninsula. As the Housing Component of the Comprehensive Plan states, vacant buildings should be targeted for reuse as residential uses. Although it is an increase in density, because the building currently exists, it would appear to have little or no impact on the neighborhood or adjacent properties.

VI. MOTIONS FOR THE BOARD TO CONSIDER

On the basis of plans and materials submitted by Crandall Toothaker, the policies of the R-7 Compact Urban Residential Overlay Zone, Comprehensive Plan, the information provided in Planning Board Report #6-03, and/or other findings as follows:

1. The Board finds that the proposed rezoning [is or is not] consistent with the policies of the R-7 Compact Urban Residential Overlay Zone and Comprehensive Plan of the City of Portland. The Planning Board therefore [recommends or does not recommend] to the City Council approval of the proposed R-7 rezoning for the property located at 99 State Street.

Attachments:

1. Condo Conversion Permit w/Condo Declaration
2. Zoning Application
3. Plan

Marge Schmuckal - Re: 91 state street hostel

From: Barbara Barhydt
To: Peter, Dan St.
Date: 2/6/2013 1:03 PM
Subject: Re: 91 state street hostel
CC: Schmuckal, Marge

*R of the
91 State St. Historic*

Hi Dan:

45-B-23 & 24

I said that Marge Schmuckal, Zoning Administrator, was going to do more research on the past permitted uses of the site. I am adding Marge to this e-mail.

Thanks.

Barbara

Barbara Barhydt
Acting Planning Division Director
Planning Division
389 Congress Street 4th Floor
Portland, ME 04101
(207) 874-8699
Fax: (207) 756-8256

bab@portlandmaine.gov>>> "Dan St. Peter" <maineiceman@gmail.com> Wednesday, February 06, 2013 10:19 AM >>>

Good morning Barbra!

In our last correspondence you mentioned the Director was to do more research and have a final decision. Has that happened? Also, I hope this finds you and the department closer to full staff.

Thank you Dan!

Sent from my iPad

91-93 State St.

December 12, 1980

Seventy-five State Street
c/o Anthony J. Wedge, Jr.
75 State St.
Portland, Maine

c.o. E. Stephen Murray
c/o Murray, Plumb & Murray
30 Exchange St.
Portland, Me.
c.o. Dr. Bruce Nelson
103 State St.

Following is the decision of the Board of Appeals regarding your petition to give approval to reducing the lot area at 91-93 State Street to 5,580 sq. ft. and a rear yard of 5 ft.

Please note your appeal was granted.

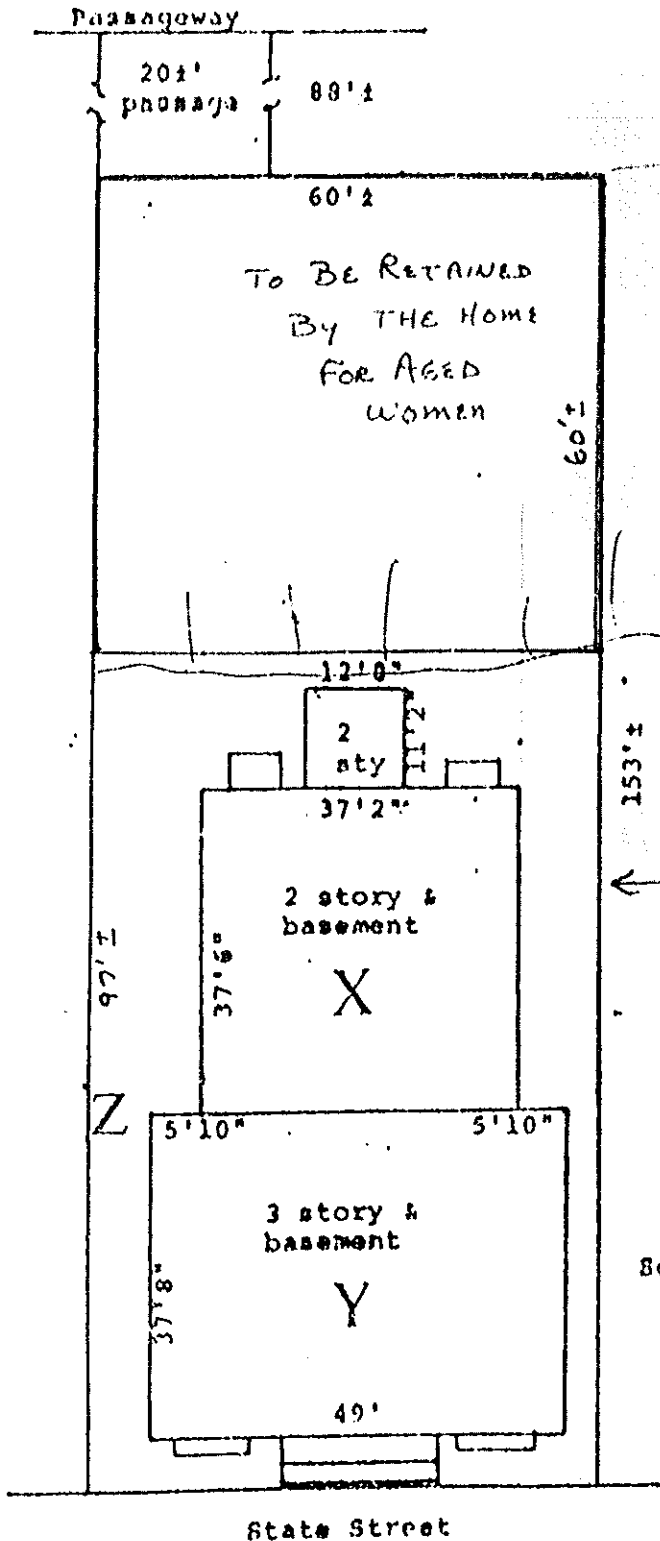
Yours truly,

Malcolm G. Ward
Building Inspection Supervisor

SITE GUIDE

91-93 State Street

F



Site guide (F) shows the building at 91-93 State Street and the lot proposed to provide additional parking for the Seventy Five State Street expansion.

As noted the building is divided into 2 basic areas; the front (Y) and a 2-story rear section (X).

The wall shown at (Z) is a common wall that extends through all floors. By tearing down the rear section, the wall at (Z) could act as an outside wall with minor modifications for the front section of the building (Y).

In order to comply with local parking codes, it would be necessary to demolish the entire building.

Scale: 1" = 20'

with 1980 Appeal

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP 00414

B.O.C.A. TYPE OF CONSTRUCTION

JUN 11 1982

ZONING LOCATION R-6 PORTLAND, MAINE June 16, 1982

CITY OF PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 91-93 State Street Fire District #1 #2

1. Owner's name and address Landmark Realty Trust, C/O. 8th Floor Telephone

2. Lessee's name and address 1 Monument Square Telephone

3. Contractor's name and address future owner Telephone

Proposed use of building Mercy Hospital - 144 State St. No. of sheets

Last use 9 unit - condominiums No. families

Material No. stories Heat Style of roof Roofing

Other buildings on same lot

Estimated contractual cost \$.....

FIELD INSPECTOR - Mr. Appeal Fees \$

@ 775-5451

Base fee of use 25.00

Late Fee

TOTAL \$ 25.00

Change of use from 9 unit condominiums to convalescent center with sanitarium, no alterations.

Stamp of Special Conditions

send permit to attached card C/O Bruce E Parmley

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers. 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY:
BUILDING INSPECTION—PLAN EXAMINER
ZONING: A.K. ... M.G.D. ... 6/11/82
BUILDING CODE: ... J. ...
Fire Dept.:
Health Dept.:
Others:

MISCELLANEOUS
Will work require disturbing of any tree on a public street?
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Signature of Applicant Bruce E. Parmley Phone # .773-6411.....
Type Name of above Bruce E. Parmley for 1 2 3 4

Pierce, Atwood Other

PERMIT ISSUED

OCT 1 1982

CITY of PORTLAND

APPLICATION FOR PERMIT

B.O.C.A. USE GROUP ... B.O.C.A. TYPE OF CONSTRUCTION ... 00853 ZONING LOCATION ... A-6 PORTLAND, MAINE ... Sept. 24, 1982

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION ... 91-93 State St. ... Fire District #1 [] #2 []

1. Owner's name and address ... Mercy Hospital ... 144 State St. ... Telephone ... 774-1461

2. Lessee's name and address ... Contractor's name and address ... Woodward-Thomsen Co. - 2 Danforth St. ... Telephone ... 774-9298

No. of sheets ... No. of families ...

Use of building ... alcoholic Treatment Center ... same ... No. of families ...

Roofing ... Style of roof ... buildings on same lot ...

Estimated contractual cost \$... 18,000 ... Appeal Fees \$...

Base Fee ... 85.00 ... Late Fee ... TOTAL \$... 85.00

PLD INSPECTOR Mr. ... @ 775-5451 To make alterations and minor structural changes as per plans. 3 sheets of plans.

send permit to # 3 04101 Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? ... Is any electrical work involved in this work? ... Has septic tank notice been sent? ... Form notice sent? ... Height average grade to top of plate ... Height average grade to highest point of roof ... Size, front ... depth ... No. stories ... solid or filled land? ... earth or rock? ... Material of foundation ... Thickness, top ... bottom ... cellar ... Kind of roof ... Rise per foot ... Roof covering ... No. of chimneys ... Material of chimneys ... of lining ... Kind of heat ... fuel ... Framing Lumber - Kind ... Dressed or full size? ... Corner posts ... Sills ... Size Girder ... Columns under girders ... Size ... Max. on centers ... Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet. Joists and ratters: 1st floor ... 2nd ... 3rd ... roof ... On centers: 1st floor ... 2nd ... 3rd ... roof ... Maximum span: 1st floor ... 2nd ... 3rd ... roof ... If one story building with masonry walls, thickness of walls? ... height?

IF A GARAGE

No. cars now accommodated on same lot ... to be accommodated ... number commercial cars to be accommodated ... Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: BUILDING INSPECTION - PLAN EXAMINER ... DATE ... MISCELLANEOUS Will work require disturbing of any tree on a public street? ... Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? ... Signature of Applicant Tom Thomsen Phone # ... same

Thomas Thomsen for [] 2 [] 3 [X] 4 []

APPLICATION FOR PERMIT

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION ... PORTLAND, MAINE ... Nov. 9, 1982

PERMIT ISSUED

NOV 10 1982

CITY of PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION ... 91-93, State Street ... Fire District #1 , #2 Telephone ... 774-1461

1. Owner's name and address ... Mercy Hospital - 144, State St. Telephone ... 772-2230

2. Lessee's name and address ... Telephone ...

3. Contractor's name and address ... Apollo Iron Works - 75 Commercial St. Telephone ... 772-2230

Proposed use of building ... treatment center for alcoholics No. of sheets ...

Use ... No. families ...

Material ... No. stories ... Heat ... Style of roof ... Roofing ...

Other buildings on same lot ...

Estimated contractual cost \$ 2,500

FIELD INSPECTOR - Mr. @ 775-5451

Table with 2 columns: Fee Type, Amount. Includes Appeal Fees, Base Fee (\$25.00), Late Fee (\$25.00), and TOTAL.

To construct fire escape to be used 3rd floor to ground level as per plans. 1 sheet of plans

Stamp of Special Conditions

send permit to # 3 04101

PERMIT ISSUED WITH LETTER

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

- Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber--Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot ... to be accommodated ... number commercial cars to be accommodated ...
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY:

BUILDING INSPECTION--PLAN EXAMINER

ZONING: BUILDING CODE: [Signature]

MISCELLANEOUS

Will work require disturbing of any tree on a public street?

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 91-93 State Street

Date of Issue February 16, 1983

Issued to Parcy Hospital

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. 82-853, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Convalescent Center with
Sanitarium

Entire

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

(Date)

[Signature]
Inspector

[Signature]
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

PERMIT # 1407 CITY OF PORTLAND BUILDING PERMIT APPLICATION MAP # LOT #
 Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Mercy Hospital - Mark Remy
 Address: 144 State Street, 04101 879-3574
 LOCATION OF CONSTRUCTION: 91-93 State Street
 CONTRACTOR: Owner SUBCONTRACTOR
 ADDRESS:

Est. Construction Cost: 20,000 Type of Use: residential
 Building Dimensions: L: _____ W: _____ Sq. Ft.: _____ / Stories: 1 1/2
 is Proposed Use: Apartment

Conversion: Existing MAXIMUM INTERIOR RENOVATIONS
 COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE
 Residential Buildings Only
 # of Dwelling Units: 100 New Dwelling Units

Foundations:
 1. Type of Soil: _____
 2. Footings: _____
 3. Footings Size: _____
 4. Foundation Size: _____
 5. Other: _____

Floors:
 1. Sills: _____
 2. Girder Size: _____
 3. Lally Column Spacing: _____
 4. Joist Size: _____
 5. Bridging Type: _____
 6. Floor Sheathing Type: _____
 7. Other Material: _____

Exterior Walls:
 1. Studding Size: _____ Spacing: _____
 2. No. windows: _____
 3. No. Doors: _____
 4. Header Size: _____ Yes _____ No _____ Span(s): _____
 5. Bracing: _____
 6. Corner Posts Size: _____
 7. Insulation Type: _____
 8. Sheathing Type: _____
 9. Siding Type: _____
 10. Masonry Materials: _____
 11. Metal Materials: _____
 Interior Walls:
 1. Studding Size: _____ Spacing: _____
 2. Header Size: _____ Span(s): _____
 3. Wall Covering Type: _____
 4. Fire Wall if required: _____
 5. Other Materials: _____

Roof:
 1. Truss or Rafter Size: _____ Span: _____
 2. Sheathing Type: _____ Size: _____
 3. Roof Covering Type: _____
 4. Other: _____
 Chimneys:
 Type: _____ Number of Fire Places: _____
 Heating:
 Type of Heat: _____
 Electrical:
 Service Entrances Size: _____ Smoke Detector Required: Yes _____ No _____
 Plumbing:
 1. Approval of soil test if required: Yes _____ No _____
 2. No. of Tubs or Showers: _____
 3. No. of Fixtures: _____
 4. No. of Lavatories: _____
 5. No. of Other Fixtures: _____
 Swimming Pools:
 1. Type: _____
 2. Pool Size: _____ Square Footage: _____
 3. Must conform to National Electrical Code and State Law.

Zoning: _____ District: _____ Street Frontage Req: _____ Provided: _____
 Review Required: _____
 Review Exempt: _____
 Zoning Board Approval: Yes _____ No _____
 Planning Board Approval: Yes _____ No _____
 Conditional Use: _____ Variance: _____ Site Plan: _____
 Shore and Floodplain Mgmt: _____
 Other (Explain): _____
 Date Approved: _____
 Permit Received By: Kandi Cote
 Signature of Applicant: _____ Date: 10/27/87
 Signature of CEO: _____ Date: _____
 Inspection Dates: _____
 White-Tax Assessor: Yellow-GPCOG White Tag -CEO © Copyright GPCOG 1987

5-LEALEY

1987

PERMIT ISSUED

NOV 10 1987

CITY OF PORTLAND

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 11-93 State St		Owner: Trey Washburn		Phone:		Permit No: 960172	
Owner Address: 100 State St - 2111 20 1111		Lease/Buyer's Name:		Phone:		Business Name:	
Contractor Name: R. Provider Network Inc		Address: 5 GORHAM TR. PORTLAND ME 04103		Phone:		<div style="border: 1px solid black; padding: 5px; text-align: center;"> PERMIT ISSUED Permit Issued: MAR 15 1996 CITY OF PORTLAND </div>	
Past Use:		Proposed Use: OFFICE BUILDING		COST OF WORK: \$ 25,000		PERMIT FEE: \$ 125	
Proposed Project Description: changes of use - a interior renovations		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied Signature:		INSPECTION: Use Group <i>R</i> Type: <i>5</i> Signature:		Zone: CBL	
Permit Taken By: <i>L. P. 1996</i>		Date Applied For: <i>2/23/96</i>		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied Signature:		Zoning Approval: Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED WITH REQUIREMENTS
 PERMIT ISSUED WITH REQUIREMENTS
 PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT _____ ADDRESS: _____ DATE: _____ PHONE: _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ PHONE: _____

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

Zoning Appeal

Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation

Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:

Approved
 Approved with Conditions
 Denied

Date: _____

CEO DISTRICT

City of Portland, Maine - Building or Use Permit Application 289 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 11-23 State St		Owner: Mercy Hospital	Phone:	Permit No: 960172
Owner Address: 111 State St. 04101	Lease/Buyer's Name:	Phone:	Business Name:	PERMIT ISSUED Permit Issued: MAR 15 1996 CITY OF PORTLAND
Contractor Name: Provider Network Inc	Address: 5 Canal St. Portland ME 04102	Phone:		
Past Use: office	Proposed Use: Office	COST OF WORK: \$ 25,000	PERMIT FEE: \$ 125	Zone: CBL-15-R Zoning Approval: Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Welland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> major <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>
Proposed Project Description: Change of use + interior renovations		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied Signature:	INSPECTION: Use Group/Type: 52 Signature:	
Permit Taken By: L. EASE	Date Applied For: 2/20/96	PEDESTRIAN ACTIVITIES DISTRICT (P.V.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied Signature: Date:		Zoning Appeal: <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied

- This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT ADDRESS: DATE: PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

CEO DISTRICT

Applicant: LARRY E. DAVIS
Address: 91-93 State Street
Assessors No.: 42B-23

Date: 2/22/96

CHECK LIST AGAINST ZONING ORDINANCE

Date -

Zone Location - R-6

Interior or corner lot -

Use - This is a continued use from the old Col O for South House - The 1st floor unit is being deleted from plans so that it is a continued use and not an increase

Sewage Disposal -

Rear Yards -

Side Yards -

Front Yards -

Projections -

Height -

Lot Area -

5,397 sq ft

Building Area -

Area per Family -

Width of Lot -

Lot Frontage -

Off-street Parking -

Loading Bays -

Site Plan -

Shoreland Zoning -

Flood Plains -

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction:		Owner:	Phone:	Permit No: 960172
Owner Address:	Leasee/Buyer's Name:	Phone:	Business Name:	PERMIT ISSUED Permit Issued: MAR 15 1996 CITY OF PORTLAND
Contractor Name:	Address:	Phone:		
Past Use:	Proposed Use:	COST OF WORK: \$	PERMIT FEE: \$	Zone: CBL: Zoning Approval: Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Welland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>
Proposed Project Description:		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied Signature:	INSPECTION: Use Group/Type: Signature:	
Permit Taken By:		Date Applied For:	PEDESTRIAN ACTIVITIES DISTRICT (P.V.3.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied Signature: Date:	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Historic Preservation <input type="checkbox"/> Not In District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied Date:

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT ADDRESS: DATE: PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

GEO DISTRICT

City of Portland, Maine - Building or Use Permit Application 289 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 11-25 State St		Owner: Barry Kesseler		Phone:	Permit No: 960172
Owner Address: 11-25 State St, Portland ME 04101		Leasee/Buyer's Name:		Phone:	PERMIT ISSUED Permit Issued: MAR 15 1995 CITY OF PORTLAND
Contractor Name: Provision Network Inc		Address: 5-20th St, Portland ME 04101		Business Name:	
Past Use:		Proposed Use:		COST OF WORK: \$ 25,000	PERMIT FEE: \$ 100
Proposed Project Description: Changes of use - interior renovations		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group/Type: 5/2 Signature: [Signature]	
Permit Taken By: L. KESSER		Date Applied For: 2/20/95		PEDESTRIAN ACTIVITIES DISTRICT (P.V.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____	
1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..		Zoning Approval: Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Welland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>		Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT _____ ADDRESS: _____ DATE: _____ PHONE: _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ PHONE: _____

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

CEO DISTRICT

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 17-31 31111 11		Owner: 11111 11111		Phone:		Permit No: 960172	
Owner Address: 111 1111 11- 1111 11 1111		Leasee/Buyer's Name:		Phone:		Business Name:	
Contractor Name: 111 11111 11111 1111		Address: 111 1111 11- 11111111 11 11111		Phone:		Permit Issued: MAR 15 1996	
Past Use: 11111 11111		Proposed Use: 1111 1111 1111		COST OF WORK: \$ 75,000		PERMIT FEE: \$ 105	
Proposed Project Description: 11111 1111 1111 1111111111		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group/Type: 1111		Zone: GBL-16-R 11/11	
		Signature: 1111		Signature: 1111		Zoning Approval:	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> major <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
Permit Taken By: 11111		Date Applied For: 11/11/11		Signature:		Date:	

- This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT _____ ADDRESS: _____ DATE: _____ PHONE: _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ PHONE: _____

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

PERMIT ISSUED
MAR 15 1996
CITY OF PORTLAND

Zoning Appeal
 Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation
 Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:
 Approved
 Approved with Conditions
 Denied

Date: _____

CEO DISTRICT



CITY OF PORTLAND, MAINE
Department of Building Inspection

Smith House

Certificate of Occupancy

LOCATION 91-93 State Street

Issued to **Mercy Hospital**

Date of Issue **February 16, 1983**

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. 82-853, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

Convalescent Center with
Sanitarium

Limiting Conditions:

This certificate supersedes
certificate issued

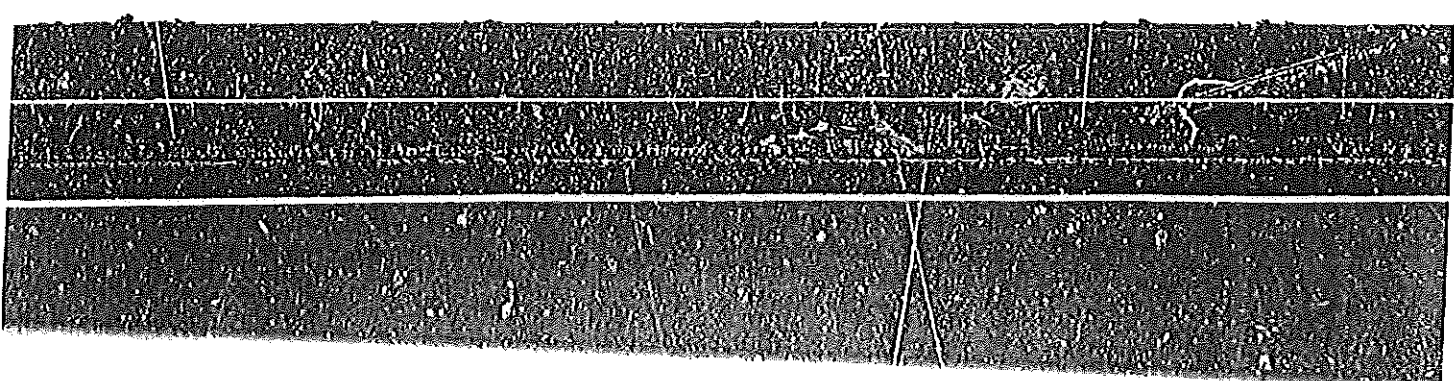
Approved:

(Date)

2/16/83
[Signature]
Inspector

[Signature]
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



B.O.C.A. USE GROUP
 B.O.C.A. TYPE OF CONSTRUCTION 00414
 ZONING LOCATION A-6 PORTLAND, MAINE June 10, 1982

1 PERMIT ISSUED
 JUN 11 1982
 CITY OF PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 91-93 State Street Fire District #1 #2
 1. Owner's name and address ... Landmark Realty Trust - C/O 8th Floor Telephone
 2. Lessee's name and address 1 Monument Square Telephone
 3. Contractor's name and address Telephone
 Proposed use of building convalescent center with sanitarium No. of sheets
 Last use 9 unit - condominiums No. families
 Material No. stories Heat Style of roof Roofing
 Other buildings on same lot
 Estimated contractual cost \$ Appeal Fees \$
 FIELD INSPECTOR: Mr. @ 775-5451 Base Fee use 25.00
 Late Fee
 TOTAL \$ 25.00

Change of use from 9 unit condominiums to convalescent center with sanitarium, no alterations.

Stamp of Special Conditions

send permit to attached card C/O Bruce E Pamley

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
 Is connection to be made to public sewer? If not, what is proposed for sewage?
 Has septic tank notice been sent? Form notice sent?
 Height average grade to top of plate Height average grade to highest point of roof
 Size, front depth No. stories solid or filled land? earth or rock?
 Material of foundation Thickness, top bottom cellar
 Kind of roof Rise per foot Roof covering
 No. of chimneys Material of chimneys of lining Kind of heat fuel
 Framing Lumber— Kind Dressed or full size? Corner posts Sills
 Size Girder Columns under girders Size Max. on centers
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor 2nd 3rd roof
 On centers: 1st floor 2nd 3rd roof
 Maximum span: 1st floor 2nd 3rd roof
 If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE
 BUILDING INSPECTION—PLAN EXAMINER
 ZONING: A.K. M.L. W. 6/10/82
 BUILDING CODE: J. R. 3/1/82
 Fire Dept.:
 Health Dept.:
 Others:

MISCELLANEOUS
 Will work require disturbing of any tree on a public street?
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Signature of Applicant Bruce E. Pamley Phone # 773-6411
 Type Name of above Bruce E. Pamley for 1 2 3 4
 Pierce, Atwood
 Other
 and Address



Mercy Hospital

144 STATE STREET, PORTLAND, MAINE 04101

ATTACHMENT TO APPLICATION FOR
CHANGE OF USE PERMIT

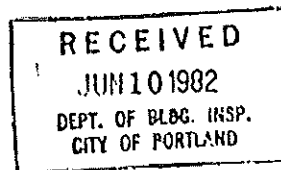
Mercy Hospital proposes to establish an Alcoholism Rehabilitation Program at 91-93 State Street, Portland, Maine.

PROGRAM DESCRIPTION

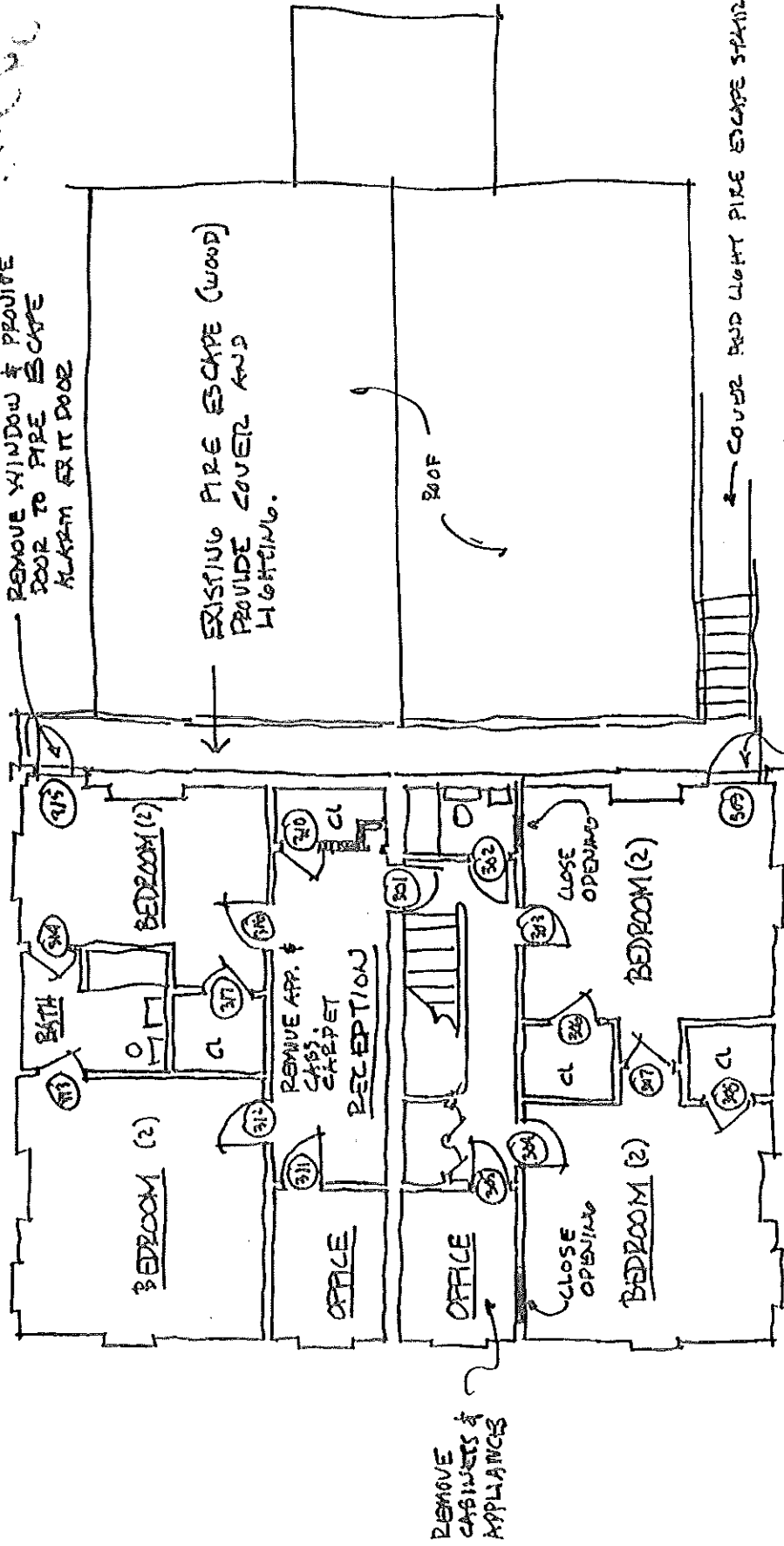
Detoxification services will be provided by the Mercy Hospital at its 144 State Street location, other hospitals, and free-standing detoxification facilities in southern Maine. The patients are considered ready to leave the detoxification phase after they are physically and emotionally stable enough to make a decision about whether or not they want to continue treatment. It is at this point in the program that patients would begin their rehabilitation at 91-93 State Street.

The facility at 91-93 State Street will offer the detoxified patient an opportunity to continue sobriety and initiate rehabilitation directed towards complete recovery. The inpatient program is designed to care for persons who require 24-hour supervision in a hospital or equivalent setting. The term of stay is expected to be 21 days per patient during which time they will be provided nursing care, counseling service, vocational/occupational/recreational therapy, peer support and empathy, pastoral care and acute medical care as necessary.

This program will emphasize acceptance of the early and middle-stage alcoholics.



2500 A-100



THIRD FLOOR
1800 A
1/8" = 1'-0"

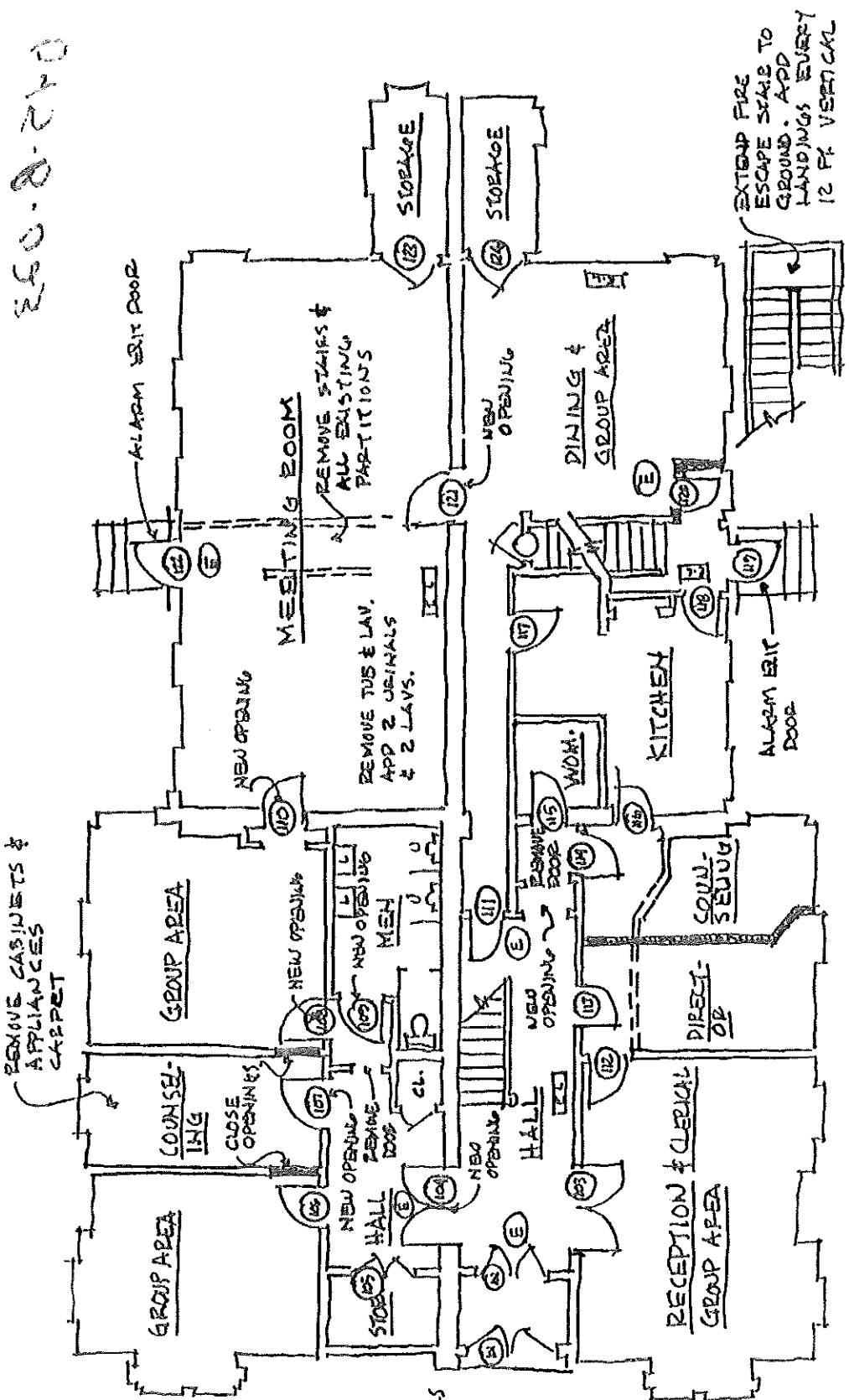
3

91-93 STATE STREET
MERCY HOSPITAL

JUNE 21, 1982

PAUL S. STEVENS AIA

042-R-053



EXTEND FIRE ESCAPE STAIR TO ESCAPE STAIR TO GROUND. ADD HANDINGS EVERY 12 FT. VERTICAL

FIRST FLOOR - 1/8" = 1'-0"
3200 sq

1

JUNE 21, 1982

91-93 STATE STREET
MERCY HOSPITAL
PAULI. S. STEVENS AIA

10/21/85

DOORS 103 & 104 ON HOLD OPEN DEVICE ACTIVATED BY SMOKE DETECTORS EITHER SIDE & ALARM SYSTEM

REMOVE CABINETS & APPLIANCES CARPET

ALARM BELL DOOR

MEETING ROOM

REMOVE STAIRS & ALL EXISTING PARTITIONS

STORAGE

STORAGE

DINING & GROUP AREA

KITCHEN

ALARM BELL DOOR

RECEPTION & CLERICAL GROUP AREA

DIRECTOR

COUNSELOR

WOM.

STAIR

HALL

REMOVE TUB & LAV. APP 2 URINALS & 2 LAVS.

NEW OPENING

NEW OPENING

NEW OPENING

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NEW OPENING

City of Portland, Maine -- Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 40-52 Winter St
 Owner: Mercy Hospital
 Phone: 879-3309

Owner Address: 144 KKR State St - Ptld ME
 Leased/Buyer's Name: 04101
 Phone: Business Name:

Contractor Name: Address: Phone:

Past Use: Proposed Use:

PERMIT FEE: \$

FIRE DEPT: Approved Denied
 INSPECTION: Use Group: Type:

Signature: Signature: Signature:

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)
 Action: Approved with Conditions Denied

Signature: Date:

Permit Taken By: Phase: Date Applied For: 1/2/96

Minor Site Plan Review - \$300
 to connect two parking lots (existing)

This permit application shall preclude the Applicant(s) from meeting applicable State and Federal rules
 Building permits do not include plumbing, septic or electrical work.

Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

Signature: *Thomas J. Williams* ADDRESS: 12/2/96
 TITLE: CLASSIC, INC. PHONE: 842-6260

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

PERMIT NO. PERMIT ISSUED: ZONE: CEIL: ZONING APPROVAL: SPECIAL ZONE OR REVIEW: Shoreland Wetland Flood Zone Subdivision Site Plan and minor minor none

ZONING APPEAL: Variance Miscellaneous Conditional Use Interpretation Approved Denied

HISTORIC PRESERVATION: Not in District or Landmark Does Not Require Review Requires Review

ACTION: Approved Approved with Conditions Denied

DATE: CEO DISTRICT



R0 RESIDENCE ZONE

APPLICATION FOR PERMIT

Third Class

Class of Building or Type of Structure

Portland, Maine

March 27 1967

PERMIT ISSUED 00182

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 50-22 Winter St. Within Fire Limits? Diat. No. Owner's name and address Edward F. Gillis, 69 Fifth St., So. Portland Telephone. Lessee's name and address Telephone. Contractor's name and address Santino J. Viola 84 Payson St. Telephone. Architect Specifications Plans No. of sheets Proposed use of building No. families Last use A. L. House No. families 4 Material frame No. stories 2 1/2 Heat Style of roof Roofing Other buildings on same lot Estimated cost \$ Fee \$ 5.00

General Description of New Work

To demolish existing 2 1/2-story frame dwelling.

Do you agree to tightly and permanently close all sewers or drains connecting with public or private sewers from this building or structure to be demolished, under the supervision and to the approval of the Dept. of Public Works of the City of Portland? Yes.

Land will probably used for future construction.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO contractor

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work? Is connection to be made to public sewer? If not, what is proposed for sewage? Has septic tank notice been sent? Form notice sent? Height average grade to top of plate Height average grade to highest point of roof. Size, front depth No. stories solid or filled land? earth or rock? Material of foundation Thickness, top bottom cellar Kind of roof Rise per foot Roof covering No. of chimneys Material of chimneys of lining Kind of heat fuel Framing Lumber-Kind Dressed or full size? Corner posts Sills Size Girder Columns under girders Size Max. on centers Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet. Joists and rafters: 1st floor, 2nd, 3rd, roof On centers: 1st floor, 2nd, 3rd, roof Maximum span: 1st floor, 2nd, 3rd, roof If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no

3

APPLICATION FOR CERTIFICATE OF OCCUPANCY FOR USE OF PREMISES

Portland, Maine 04101

Location 38-42 Winter Street, Portland

Zone R-6

To the INSPECTOR OF BUILDINGS, Portland, Maine

The undersigned hereby applies for a certificate of occupancy to allow the use of the above named premises for Mercy Hospital Parking Lot (22 spaces

as set forth on the attached site plan (made by Blue Rock Industries whose address is 58 Main Street, Westbrook) to show compliance with the Zoning Ordinance according to the intended use and the zone in which the property is located; and in accordance with the following pertinent information:-

Owner (name, address and phone number) Constance Wall (Tele: 799-3977) 23 Daake Street, So. Portland

Lessee (name, address and phone number) Mercy Hospital 144 State St. Portland (774-1461)

Is proposed use to be accessory to a building or other use on this lot?

No. If so, what is use of building or other use 22 spaced parking lot

If off-street parking is sought, what is proposed maximum number of vehicles to be parked - passenger cars? None, commercial vehicles None.

Have you secured on the site plan the written approval of existing and proposed entrances to and exits from the premises for vehicles over public sidewalks by the Traffic Engineer (Dept. of Public Works)?

No And, if access to the premises is available from more than one street, have you secured similar approval by the Planning Board? N/A

Have you shown on the site plan the true location of all trees on the public street along the frontage of the premises (both streets if a corner lot)? Yes

Do you propose to remove or disturb any tree on a public street? No If so, have you secured on the site plan the written approval of the Director of Parks and Recreation?

Signature of Owner Constance Wall
By [Signature]
(duly authorized therefor)

appeal fee
paid 4-25-82

Site plan review fee
pd 5-18-82 35.00

THIS IS NOT A CERTIFICATE OF OCCUPANCY

Parking lot fee \$ 35.00 pd 5-28-82

COMMENCING the above proposes use of the premises would be IN VIOLATION of the Zoning Ordinance unless a Certificate of Occupancy is first procured from the Department of Building Inspection.

However, improvement of the premises according to the site plan and the above application may now proceed without further authorization, but subject to the conditions indicated below - notice of readiness for final inspection to be given to this department when the premises have been placed in compliance with the requirements:-

Minor site plan review fee \$ 35.00 pd 5-18-82
(Date) _____

Inspector of Buildings

(4)

PERMIT ISSUED

JUN 2 1982

The application is preliminary to not raising the question of zoning approval. In the event the applicant is required to pay the cost of a zoning application, estimate of cost is \$100.00.

Assessor's Office | 389 Congress Street | Portland, Maine 04101 | Room 115 | (207) 874-8486

[City](#) [Home](#) [Departments](#) [City Council](#) [E-Services](#) [Calendar](#) [Jobs](#)

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information:

Services

Applications

Doing Business

Maps

Tax Relief

Tax Roll

Q & A

[browse city services a-z](#)

[browse facts and links a-z](#)

CBL	045 F002001
Land Use Type	BENEVOLENT & CHARITABLE
Property Location	50 WINTER ST
Owner Information	MERCY HOSPITAL 144 STATE ST PORTLAND ME 04101
Book and Page	
Legal Description	45-F-2-3 WINTER ST 50-52 5488SF
Acres	0.126

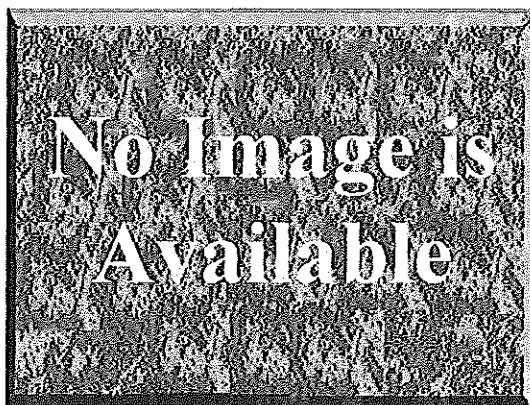
Current Assessed Valuation:

TAX ACCT NO.	7050	OWNER OF RECORD AS OF APRIL 2012
		MERCY HOSPITAL
LAND VALUE	\$77,500.00	144 STATE ST
BUILDING VALUE	\$0.00	PORTLAND ME 04101
HOSPITALS	(\$77,500.00)	
NET TAXABLE - REAL ESTATE	\$0.00	
TAX AMOUNT	\$0.00	

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).



Best viewed at 800x600, with Internet Explorer



[View Map](#)

[New Search!](#)

Planning & Urban Development



Joseph E. Gray Jr.
Director

CITY OF PORTLAND

April 26, 1996

Mr. David Landmann
Therault/Landmann
59 Baxter Boulevard
Portland, ME 04101

Re: Mercy Hospital Parking Lots, Winter Street

Dear Mr. Landmann:

On April 26, 1996 the Portland Planning Authority granted minor site plan approval for certain revisions to existing parking lots owned by Mercy Hospital on Winter Street.

The approved revisions include landscaping and fencing improvements for parking lots at 52 Winter Street and 38 Winter Street. A new exit driveway on Winter Street is also approved for the large Spring Street/Winter Street/State Street parking lot subject to the following condition:

1. That the powerline for the parking gate be underground.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

Please note the following provisions and requirements for all site plan approvals:

1. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. A one year extension may be granted by this department if requested by the applicant in writing prior to the expiration date of the site plan.
2. A performance guarantee in a form acceptable to the City of Portland and an inspection fee equal to 1.7% of the performance guarantee will have to be posted before beginning any site construction or issuance of a building permit.
3. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
4. Prior to construction, a preconstruction meeting shall be held at the project site with the contractor.

0:\PLAN\CORRESPRICK\LETTERS\PPAMRCY.WPD

development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the preconstruction meeting.

5. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Polliskey at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

If there are any questions, please contact the Planning Staff.

Sincerely,


Joseph B. Gray, Jr.
Director of Planning and Urban Development

cc: Alexander Jaegerman, Chief Planner
Richard Knowland, Senior Planner
P. Samuel Hoffses, Chief of Building Inspections
Marge Schmuckel, Zoning Administrator
George Flaherty, Director of Environmental/Intergovernmental Services
Kathi Staples PE, City Engineer
James Seymour, Acting Development Review Coordinator
William Bray, Deputy Director/City Traffic Engineer
Jeff Tarling, City Arborist
Natalie Burns, Associate Corporation Counsel
Lt. Gaylen McDougall, Fire Prevention
Mary Gresik, Building Permit Secretary
Kathleen Brown, Assistant Director of Economic Development
Susan Doughty, Assessor's Office
Approval Letter File



CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM

I. D. Number _____

Applicant Mercy Hospital 879-3309

Application Date 1/2/96

Applicant's Mailing Address 144 State St- Pld NE 04101

Project Name/Description 40-52 Winter St

Consultant/Agent Therfaulth andmann Inc 842-8260

Address of Proposed Site _____

Applicant or Agent Daytime Telephone, Fax 50 Baxter Blvd Pld NE 04101

Assessor's Reference: Chart-Block-Lot _____

Proposed Development (check all that apply):
 Office Retail Manufacturing Warehouse/Distribution Other (specify) _____
 appx 1200 sq ft

Proposed Building Square Feet or # of Units _____ Area of Site _____ Zoning _____

Check Review Required:

<input checked="" type="checkbox"/> Site Plan (M/JR/minor)	<input type="checkbox"/> Subdivision # of lots _____	<input type="checkbox"/> PAD Review	<input type="checkbox"/> 14-403 Streets Review
<input type="checkbox"/> Flood Hazard	<input type="checkbox"/> Shoreland	<input type="checkbox"/> Historic Preservation	<input type="checkbox"/> DEP Local Certification
<input checked="" type="checkbox"/> Zoning Conditional Use (ZBA/PB)	<input type="checkbox"/> Zoning Variance	<input type="checkbox"/> Single-Family Minor	<input type="checkbox"/> Other _____

Fees paid: site plan \$100 subdivision _____

LANDSCAPE IMPROVEMENTS AND ADDITIONAL EXIT DRIVWAY FOR LAND PARKING LOT

Approval Status: Approved Approved w/Conditions listed below Denied

Reviewer R. KNOWLAN

- THAT THE POWER LINE FOR THE PARKING GOES BE UNDERGROUND
- PLAN TO INSTALLING THE CURB OPENING CONTRACTOR SHALL ARRANGE A SITE MEETING WITH THE CITY ARRIVANT.

Approval Date 4/26/96 Approval Expiration 4/26/97 Extension to _____ date _____ date _____

Additional Sheets Attached

Condition Compliance Rubon Gendron 5-30-96 signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

Performance Guarantee Accepted 5-30-96 120,113 8-20-97
 date amount expiration date

Inspection Fee Paid 5-10-96 1,341.92
 date amount

Performance Guarantee Reduced _____ date _____ remaining balance _____ signature _____

Performance Guarantee Released _____ date _____ signature _____

Defect Guarantee Submitted _____ submitted date _____ amount _____ expiration date _____

Defect Guarantee Released _____ date _____ signature _____

Pink - Building Inspections Blue - Development Review Coordinator Green - Fire Yellow - Planning 20/95 16/93 RT DP/ib

Address

Marge Schmuckal - Fwd: proposed submittals for zone change application

From: Barbara Barhydt
To: Schmuckal, Marge
Date: 2/21/2013 10:56 AM
Subject: Fwd: proposed submittals for zone change application
Attachments: 91 state existing floor plans.pdf; 91 State map.pdf

14-54

2/22/13
met with
BARBARA

let's discuss

>>> John Anton <antonatlarge@gmail.com> Thursday, February 21, 2013 10:50 AM >>>

Barbara - As we discussed on the phone, I am planning to submit the following language and attachments regarding site plan and floors. Could you please look at the language and attachments and tell me if you think they will be sufficient to meet the application requirements (given the particular circumstances of this application)? Thanks, John

Parcel Location and Site Plan - The use proposed following the zone change contemplates no additions to the existing building. The existing building itself is a legally nonconforming structure. Based on these conditions, we are submitting an aerial photo of the site taken from the city's online GIS database. The aerial photo shows the existing building as well as approximate property boundaries.

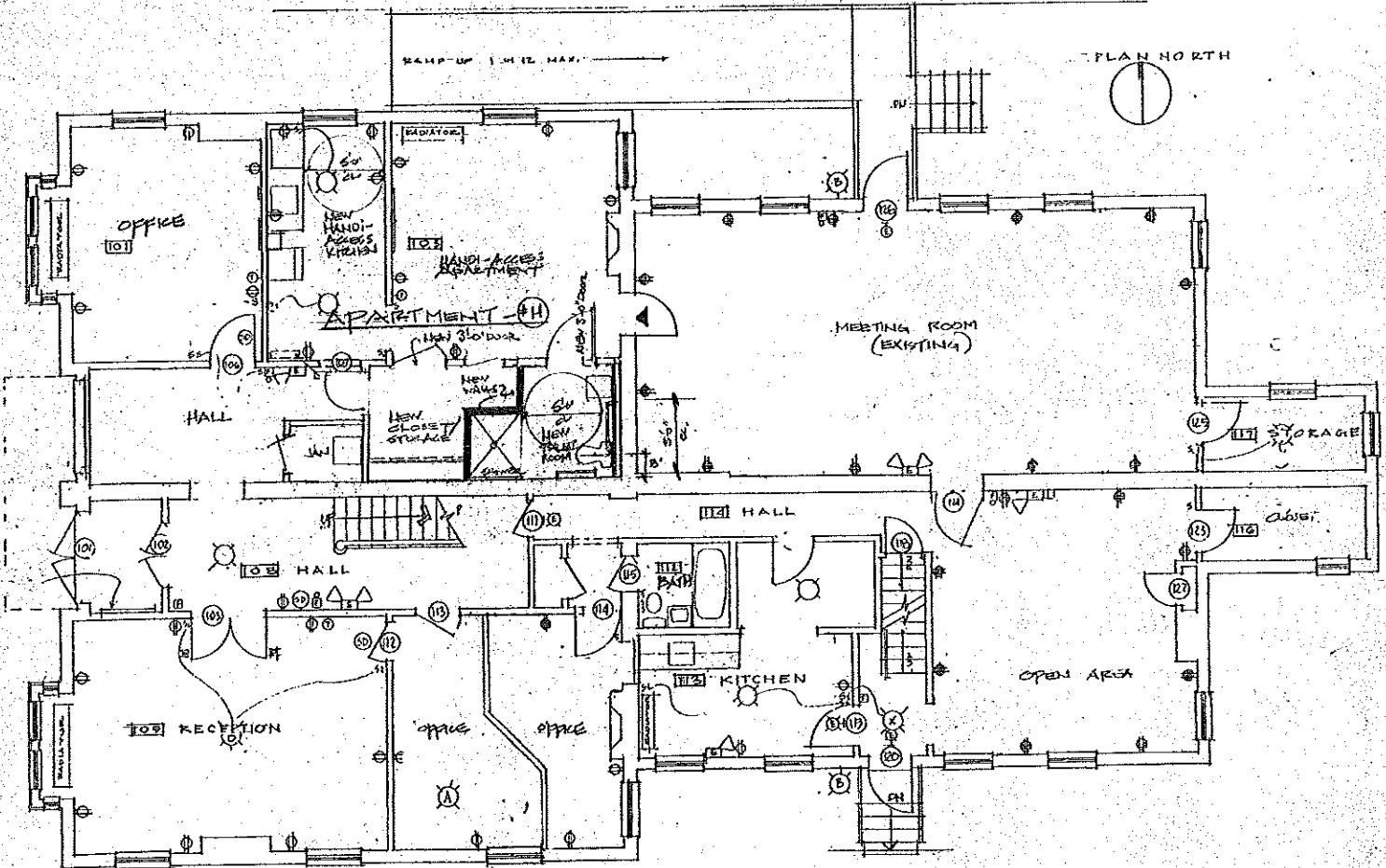
Floor plans - Floor plans for the existing McAuley Residence transitional housing program are attached. The applicant has not yet developed floor plans for the proposed renovation into 10 apartments. However, the applicant anticipates keeping the second and third floor plans by and large intact, while the renovated first floor is likely to remain intact. Notwithstanding the foregoing, the applicant understands that the R-7 zoning requires a minimum of 400 square feet per unit. If this zone change application is successful, complete floor plans for the 10 unit renovation will be submitted as part of a site plan / subdivision review application.

--
John Anton
(207) 650-8979

REFLECTORS

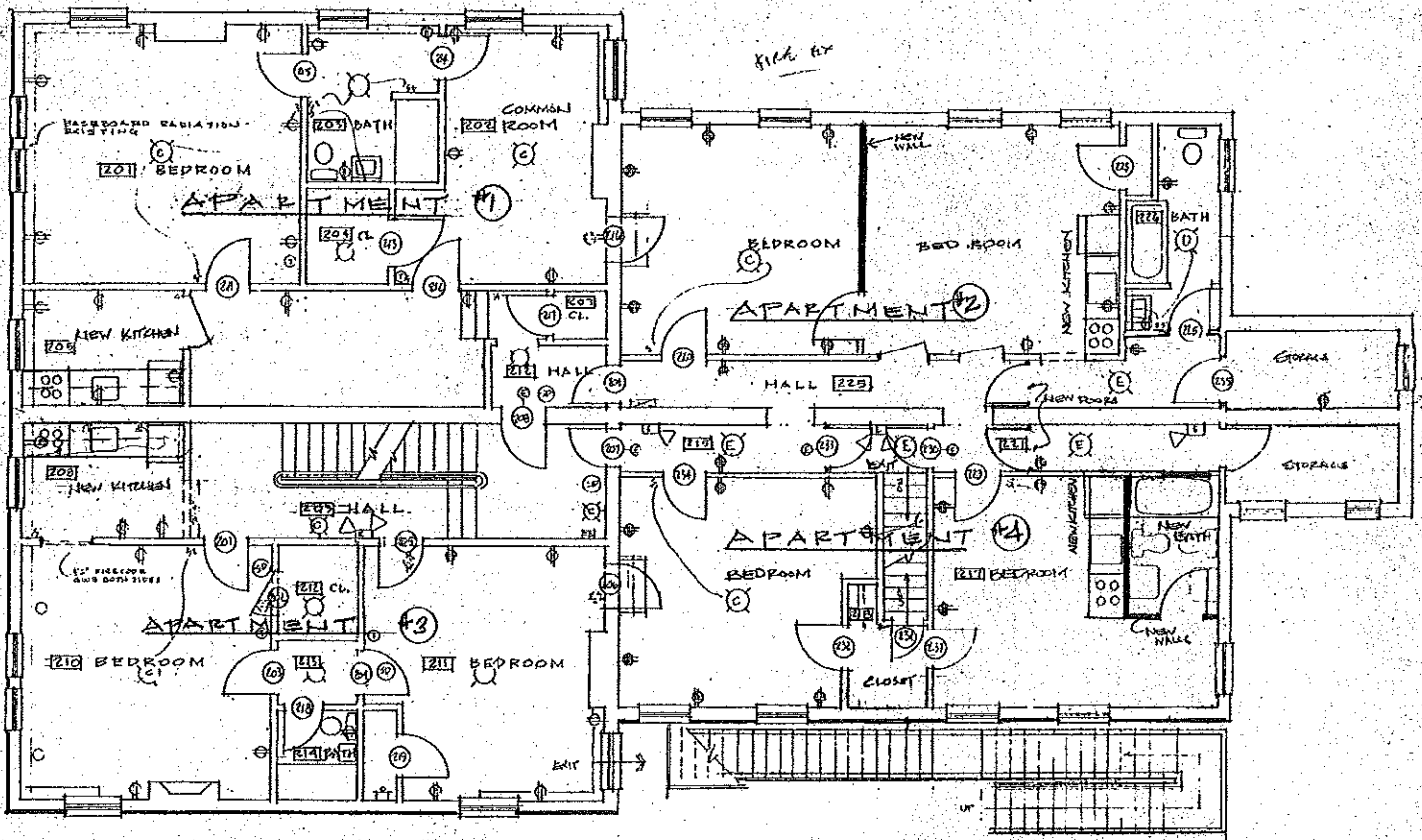
RAMP UP 1.412 MAX

PLAN NORTH

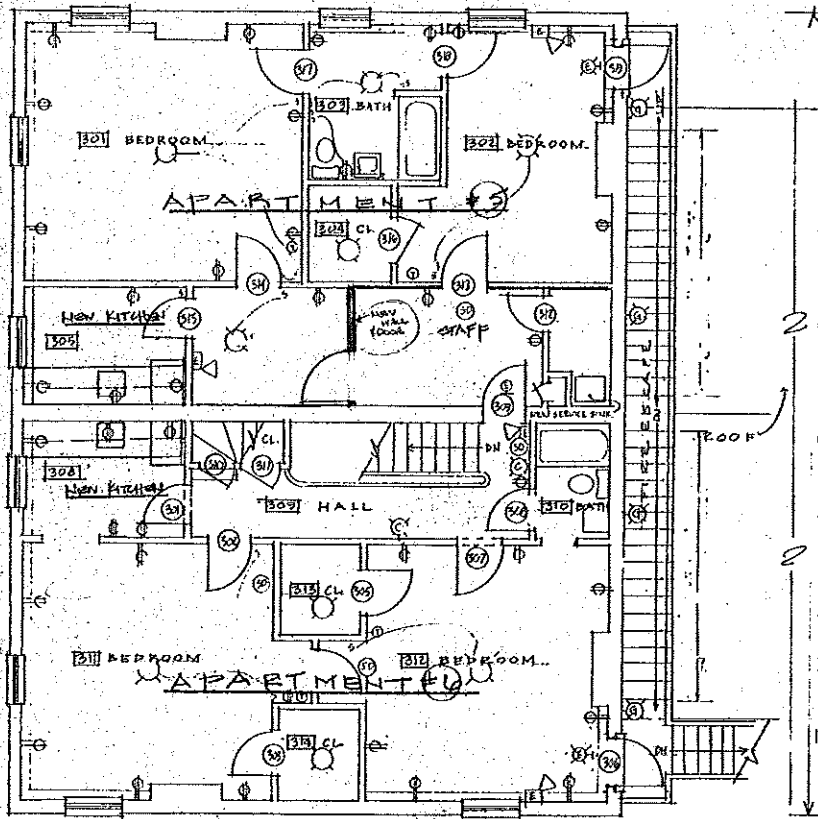


FINAL LAYOUT PLAN FOR PERMITS
McAULEY RESIDENCE
 91 STATE STREET, PORTLAND
FIRST FLOOR PLAN
 FEBRUARY 2, 1996. SCALE 1/4"=1'-0"

PLAN NORTH



FINAL LAYOUT PLAN FOR PERMITS
McAULEY RESIDENCE
 91 STATE STREET - PORTLAND
SECOND FLOOR PLAN
 FEBRUARY 2, 1946 SCALE 1/4" = 1'-0"



FINAL LAYOUT PLAN FOR PERMITS
MACAULEY RESIDENCE
 91 STATE STREET, PORTLAND
THIRD FLOOR PLAN
 FEBRUARY 2, 1996 SCALE 1/4" = 1'-0"

City of Portland
Code of Ordinances
Sec. 14-140

Land Use
Chapter 14
Rev.9-15-11

(Ord. No. 538-84, 5-7-84; Ord. No. 85-88, § 5, 7-19-88; Ord. No. 15-92, § 11, 6-15-92; Ord. No. 37-98, § 1, 5-4-98; formerly §14-145--renumbered per Ord. No. 122, 12-20-99; Ord. No. 78-03/04, 10-20-03; Ord. No. 254-05/06, 6-5-06; Ord. No. 240-09/10, 6-21-10)

*Editor's note--Ord. No. 85-88, § 5, adopted July 19, 1988, amended § 14-145(a) to read as herein set out. See also the editor's note to Art. III of this chapter for additional provisions relative to Ord. No. 85-88.

DIVISION 7.01. R-7 COMPACT URBAN RESIDENTIAL OVERLAY ZONE

Section 14-141. Purpose.

The purpose of the R-7 Compact Urban Residential Overlay Zone is to encourage and accommodate compact residential development on appropriate locations on the Portland peninsula, pursuant to the New Vision for Bayside element of the comprehensive plan and housing plans of the City of Portland. Sites suitable for in-city living should be within walking distance of downtown or other work places, shopping and community facilities and have access to public or private off-site parking or transit service. The intent of this zone is to foster increased opportunities for compact in-city living for owners and renters representing a variety of income levels and household types.

Locations for siting the R-7 Zone are intended to be located on the peninsula of Portland, in the area encompassed in the Bayside plan, and other peninsula R-6 locations characterized by moderate to high density multi-family housing in a form and density exceeding that allowed in the R-6 Zone and where infill development opportunities exist; and areas on the peninsula with mixed business and residential zoning and uses which can accommodate higher density infill residential development without negatively impacting the existing neighborhood or adjacent properties. It may be appropriate in some cases to rezone to R-7 overlay through conditional or contract zoning to ensure that the new development is architecturally appropriate and compatible with the surrounding neighborhood.

(Ord. No. 122, 12-20-99)

Sec. 14-142. Permitted Uses.

Permitted uses in the R-7 Compact Urban Residential Overlay Zone, shall be the uses permitted in the R-6 Zone, except that:

(a) Residential uses shall comply with the following dimensional requirements:

1. Minimum Lot Size: None
2. Minimum Frontage: None
3. Minimum Yard Dimensions:
 - a. Front yard: None
 - b. Rear and side yard: Five (5) feet.
 - c. Side yard on side street: None
4. Maximum Lot Coverage: 100%
5. Maximum Residential Density: Four hundred thirty five (435) square feet of land area per dwelling unit is required.
6. Maximum Building Height: Fifty (50) Feet

(b) Off-street parking is required as provided in division 20 (off-street parking) of this article;

(c) Residential development in the R-7 Zone shall be reviewed by the Planning Board for compliance with Article IV, Subdivisions, and Article V, Site Plan;

(d) Any new dwelling unit constructed in the R-7 Zone shall contain a minimum of 400 square feet of habitable floor area;

(e) All other uses in the R-7 Zone shall observe the requirements of the R-6 Zone.

(Ord. No. 122, 12-20-99; Ord. No. 84-08/09, 10-20-08; Ord. No. 240-09/10, 6-21-10)

Sec. 14-143. Design Standards.

Residential development in the R-7 Zone shall be reviewed by the Planning Board under Article V, Site Plan. Such development shall also comply with the following development standards. The general intent of these development standards is to achieve an attractive

and comfortable city neighborhood environment. Varied and human-scaled building facades are key to making a place "pedestrian-oriented." Building designs should provide a high level of visual interest, without creating a chaotic image. Residences should include design elements that enhance the streetscape and address the street.

- a. Porches and bays should face the street.
 - b. Primary ground floor residential entries to multi-family buildings must orient to street, not to interior blocks or parking lots. Secondary and upper-floor entries from the interior of a block are acceptable. The front door to single-family homes, duplexes, and townhouses must be visible from the street.
 - c. The design approach shall provide an architecture that will be a visible and permanent expression of the character of the neighborhood;
 - d. The facade shall be varied and articulated to provide visual interest to pedestrians;
 - e. Reinforce the public realm of the public open space, sidewalks and streets through appropriately scaled entries, porches, fenestration, landscaping, and architectural details;
 - f. Provide visual and acoustical privacy between units;
 - g. Maximize natural light and ventilation within units.
- (Ord. No. 122, 12-20-99)

Sec. 14-144. Reserved.

Sec. 14-145. Reserved.

(Ord. No. 122, 12-20-99)

DIVISION 7.1. IR-1 ISLAND RESIDENTIAL ZONE

Sec. 14-145.1. Purpose.

The purpose of the IR-1 island residential zone is to provide for low intensity residential, recreational, and rural uses in the less developed areas of the islands in order to preserve the rustic character of the islands, to protect groundwater resources and

Marge Schmuckal - Re: proposed submittals for zone change application

From: John Anton <antonatlarge@gmail.com>
To: Barbara Barhydt <BAB@portlandmaine.gov>
Date: 2/22/2013 10:45 AM
Subject: Re: proposed submittals for zone change application
CC: Marge Schmuckal <MES@portlandmaine.gov>

thanks

On Fri, Feb 22, 2013 at 10:44 AM, Barbara Barhydt <BAB@portlandmaine.gov> wrote:

Hi John:

Marge and I just met to look at your material. Here are my suggestions to strengthen your submission:

1) The aerial works well for the vicinity map, but the site plan needs more definition. Could you get a plot plan from your broker of the site, which shows the building footprint, driveways, walkways, landscaped areas, and property boundaries? The application allows the plan to be drawn to scale by the applicant (it does not require that it be prepared by a professional). The plot plan should provide the square footage of the lot, the footprint of the building, the area of the footprint, and the total square footage of the building. I understand the site does not have parking and I assume there are no driveways or curb cuts.

2) Will you be able to submit scaled floor plans for Marge's review? If you have scalable plans, she suggested you hand draw in the potential layout for the units. She is looking to confirm the 400 sf/unit and she does not include hallways, stairwells etc in her calculations. If you don't have scalable drawings, then could you calculate the square footage within the existing units, provide the total footprint for the first floor and estimate the number and area for each unit.

If you have questions, please let me know.

Thank you.

Barbara

Barbara Barhydt
Acting Planning Division Director
Planning Division
389 Congress Street 4th Floor
Portland, ME 04101
(207) 874-8699
Fax: (207) 756-8256

bab@portlandmaine.gov >> John Anton <antonatlarge@gmail.com> Thursday, February 21, 2013 10:50 AM
>>>

Barbara - As we discussed on the phone, I am planning to submit the following language and attachments regarding site plan and floors. Could you please look at the language and attachments and tell me if you think they will be sufficient to meet the application requirements (given the particular circumstances of this application)? Thanks, John

Parcel Location and Site Plan - The use proposed following the zone change contemplates no additions to the existing building. The existing building itself is a legally nonconforming structure. Based on these conditions, we are submitting an aerial photo of the site taken from the city's online GIS database. The aerial photo shows the existing building as well as approximate property boundaries.

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