

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

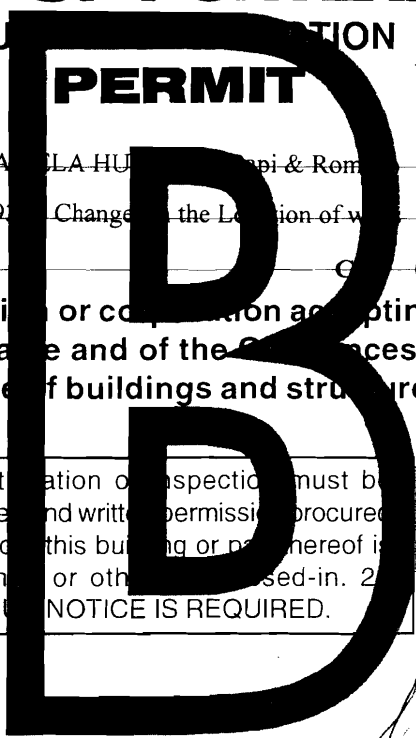
BUILDING PERMITS

Please Read Application And Notes, If Any, Attached

Permit Number: 081494

This is to certify that GALLISON ANDREW & PAULA HUANG api & Rom
has permission to Amendment to Permit #08-092 Change the Location of work
AT 88 PARK ST 045 B011006

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.



Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is used-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept.	
Health Dept.	
Appeal Board	
Other	
Department Name	

Thomas H. Nally 12/3/08
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

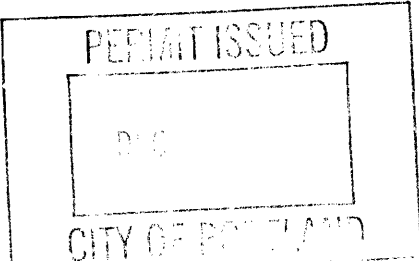
Permit No: 08-1494	Issue Date:	CBL: 045 B011006
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Location of Construction: 88 PARK ST	Owner Name: GALLISON ANDREW & PAMEL	Owner Address: 88 PARK ST # 6	Phone: 207-772-2312
Business Name:	Contractor Name: Papi & Romano Builders, Inc	Contractor Address: PO Box 1079 Portland	Phone 2077973381
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Multifamily	Zone: R-6

Past Use: Residential Condo Unit	Proposed Use: Residential Condo Unit - Amendment to Permit #08-0936 - Changes in the Location of walls	Permit Fee: \$30.00	Cost of Work: \$0.00	CEO District: 2
Proposed Project Description: Amendment to Permit #08-0936 - Changes in the Location of walls <i>legal use of entire property; 27 residential condos</i>		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>R3</i> Type: <i>SB</i> <i>IRC 2003</i>	
		Signature:	Signature: <i>[Signature]</i> 12/3/08	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: lmd	Date Applied For: 11/25/2008	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Date: <i>11/26/08</i>	Date: _____	Date: _____



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

Any exterior work requires a separate review & approval



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>88 Park Street Apt. 25</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories <u>1</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Applicant * must be owner, Lessee or Buyer Name <u>Andrew Callison - Pam Hughson</u> Address <u>88 Park Street</u> City, State & Zip <u>Portland ME 04102</u>	Telephone: <u>772-2312</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ _____ C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>Single family</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>part of a condoized Bldg</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Kitchen and Bath Remodel Amendment to permit 08-09-36</u>		
Contractor's name: <u>Papir Romano Builders</u> Address: <u>1079 Box Number</u> City, State & Zip <u>Portland ME 04102</u> Telephone: <u>747-3381</u> Who should we contact when the permit is ready: <u>Rick Romano</u> Telephone: <u>747-3381</u> Mailing address: _____		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Wayne Long Date: _____

This is not a permit; you may not commence ANY work until the permit is issue

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1494	Date Applied For: 11/25/2008	CBL: 045 B011006
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Location of Construction: 88 PARK ST	Owner Name: GALLISON ANDREW & PAMEL	Owner Address: 88 PARK ST # 6	Phone: 207-772-2312
Business Name:	Contractor Name: Papi & Romano Builders, Inc	Contractor Address: PO Box 1079 Portland	Phone: (207) 797-3381
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Multifamily	

Proposed Use: Residential Condo Unit - Amendment to Permit #08-0936 - Changes in the Location of walls	Proposed Project Description: Amendment to Permit #08-0936 - Changes in the Location of walls
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 11/26/2008

Note: **Ok to Issue:**

- 1) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.
- 2) All the requirements and conditions listed for #08-0936 are still in force.
- 3) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 4) This property shall remain twenty-seven residential condominiums. Any change of use shall require a separate permit application for review and approval.
- 5) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 12/03/2008

Note: **Ok to Issue:**

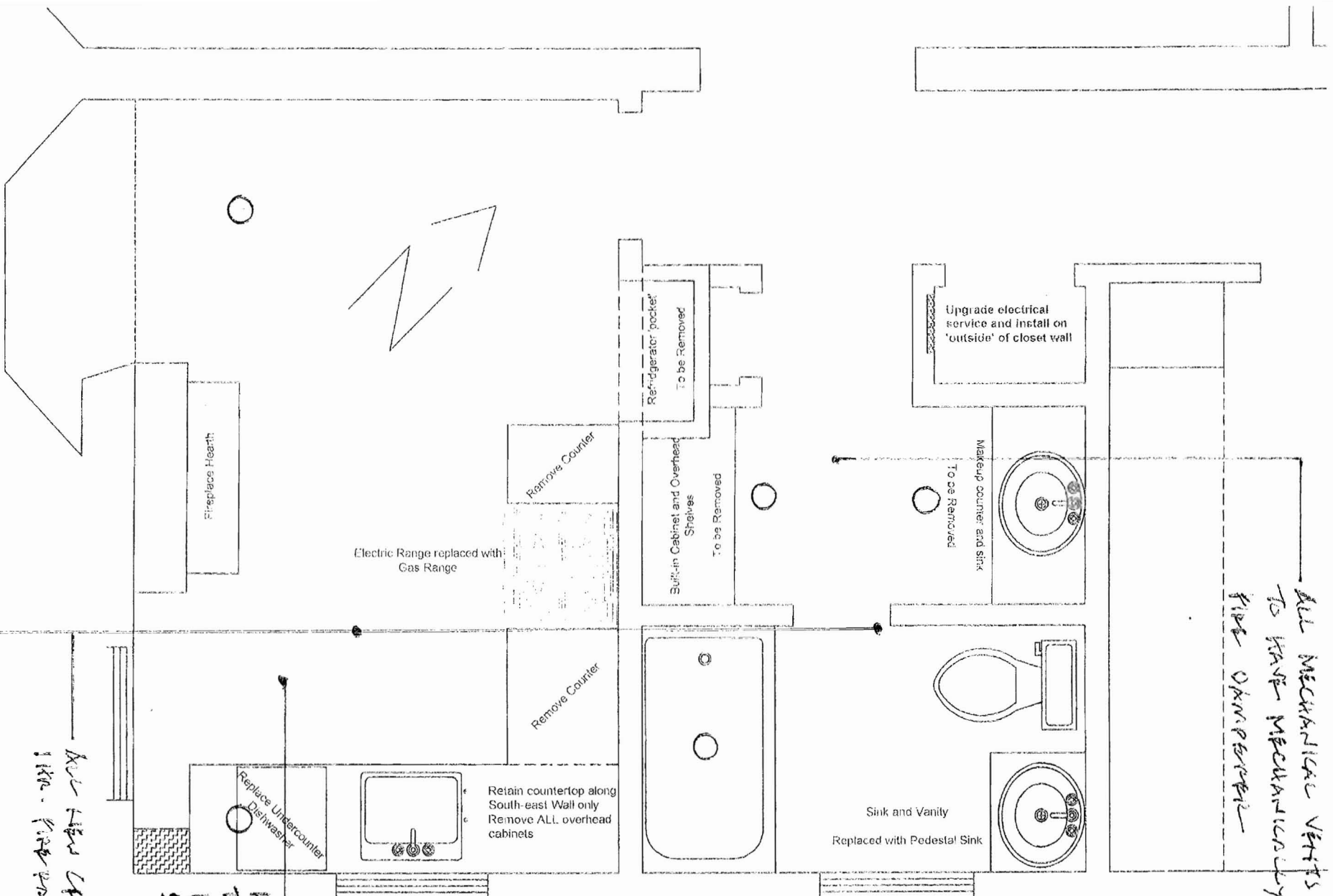
- 1) Separate permits are required for any electrical, plumbing, HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

SYNOPSIS REDESIGN WORK WITH

ALL DOORS AND WINDOWS
TURNED 90° CW

ALL NEW CLOSETING TYPE
LIKE FIRE PAPER ONLY WORK

ALL
REDESIGN WORK
TO BE FIRE-
PAPER WORK
LOCATIONS

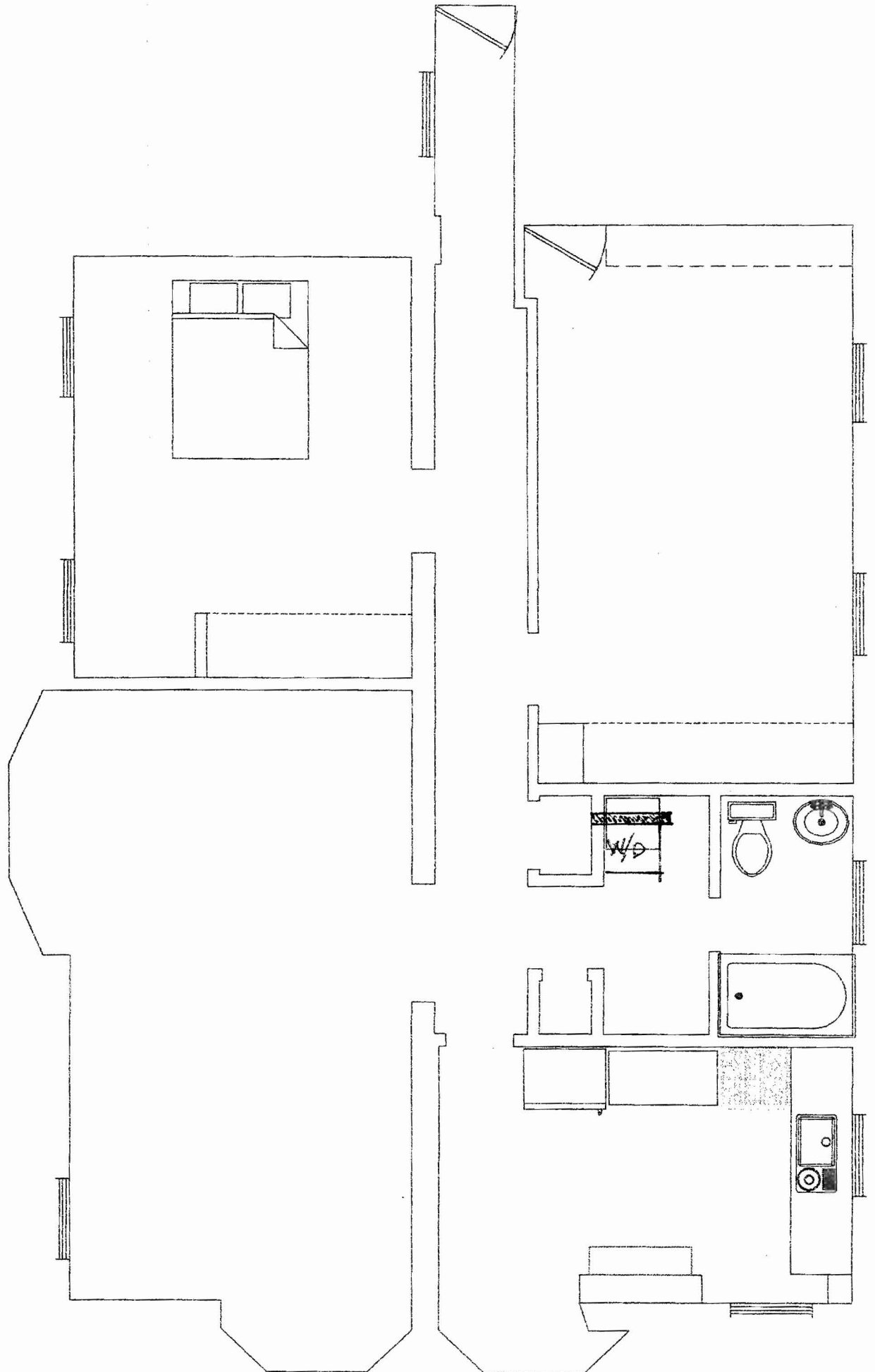


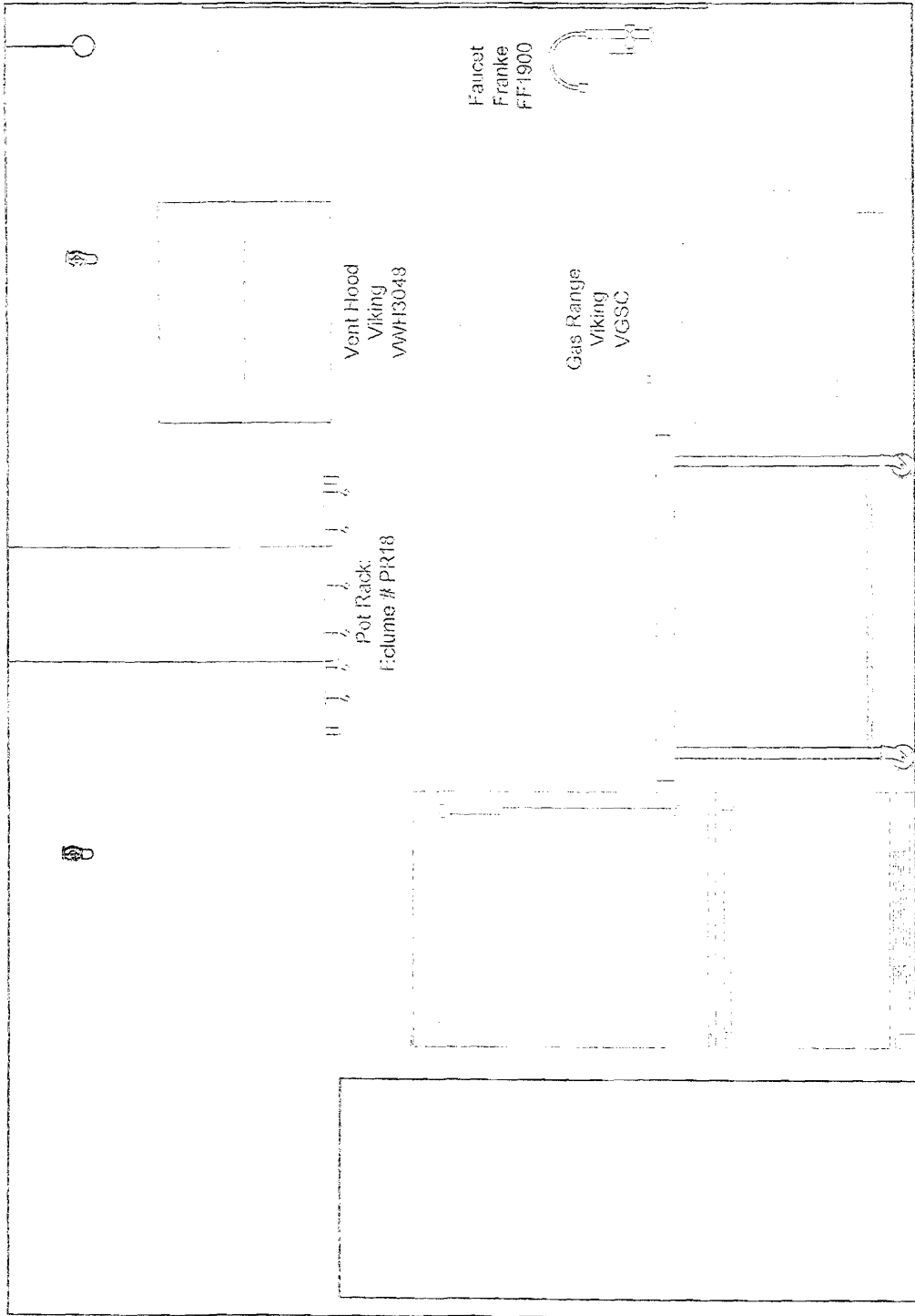
Kitchen, Bath & Laundry
Original Layout

Scale: 3/8" = 1'

Andrew Gailison - Pamela Hughson
88 Park Street Apt. 25
Portland, Maine 04101
(207) 772-2312

ALL MECHANICAL VENTS
TO HAVE MECHANICALITY
FIXED OR REPAIR





Vent Hood
Viking
VWH3048

Pot Rack
Eiclume # PR18

Gas Range
Viking
VGSC

Faucet
Franke
FF1900

Kitchen: north-east elevation

Scale: 1/2"=1'

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