

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

## BUILDING INSPECTION PERMIT

Permit Number: 080936

This is to certify that GALLISON ANDREW & EMELIA HUGHSON/Papi & Romano

has permission to Unit #6 Residential Condo Interior Renovation, kitchen, bath, relocating of non bearing wall

AT 88 PARK ST BL 045 B011006

PERMIT ISSUED  
AUG 12 2008  
CITY OF PORTLAND

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or otherwise closed-in. **HEAVY NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. Craig Cass  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

*[Signature]*  
8/12/08  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

*[Handwritten notes]*  
671-6205  
Wayne  
toward Gray St  
- End -

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0936	Issue Date:	CBL: 045 B011006
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Location of Construction: 88 PARK ST	Owner Name: GALLISON ANDREW & PAMEL	Owner Address: 88 PARK ST # 6	Phone:
Business Name:	Contractor Name: Papi & Romano Builders, Inc	Contractor Address: PO Box 1079 Portland	Phone 2077973381
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: R-2

Past Use: Unit #6 Residential Condo	Proposed Use: Unit #6 Multi unit condo's Unit #6 Residential Condo kitchen, bath, relocating of non bearing wall	Permit Fee: \$30.00	Cost of Work: \$1,000.00	CEO District: 2
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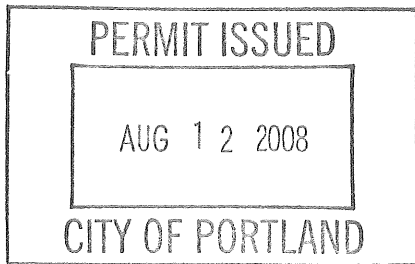
Proposed Project Description: Unit #6 Residential Condo - interior Renovations kitchen, bath, relocating of non bearing wall	FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-2 Type: EB
	Signature: <i>Craig Cross</i>	Signature: <i>[Handwritten Signature]</i>

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature: _____ Date: _____

Permit Taken By: Idobson	Date Applied For: 07/25/2008	<b>Zoning Approval</b>
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Wetland	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
Date: <i>8/5/08</i>	Date: _____	Date: <i>Any exterior work requires a separate Review &amp; Approval</i>



**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT \_\_\_\_\_ ADDRESS \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

12-18-08 OK - rough-in electrical (Note need out fault breakers); plum. OK  
air test. by E M

**BUILDING PERMIT INSPECTION PROCEDURES**

**Please call 874-8703 or 874-8693 (ONLY )**

**to schedule your inspections as agreed upon**

**Permits expire in 6 months, if the project is not started or ceases for 6 months.**

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

**By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.**

**A Pre-construction Meeting will take place upon receipt of your building permit.**

  X   Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

  X   Final inspection required at completion of work.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

**If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.**

\_\_\_\_\_  
Signature of Applicant/Designee

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature of Inspections Official

\_\_\_\_\_  
Date



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>88 Park St #6</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# <u>45</u> Block# <u>B</u> Lot# <u>011</u>	Applicant * <b>must be owner, Lessee or Buyer*</b> Name Address City, State & Zip	Telephone:
<div style="border: 1px solid black; padding: 5px; text-align: center;"> DEPT. OF BUILDINGS INSPECTION CITY OF PORTLAND, ME   JUL 25 2008   RECEIVED </div>	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>1,000 -</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>Residential Condo</u> Number of Residential Units _____ If vacant, what was the previous user? _____ Proposed Specific use: <u>SAME</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>RENOVATE EXISTING KITCHEN/BATH. REMOVE SMALL SECTION OF NON-LOAD BEARING WALL. REPLACE FIXTURES BUT KEEP SAME LOCATION.</u>		
Contractor's name: <u>PAPI &amp; ROMANO BUILDERS, INC.</u> Address: <u>P.O. Box 1079</u> City, State & Zip <u>PORTLAND, ME 04104</u> Telephone: <u>797-3381</u> Who should we contact when the permit is ready: <u>RICK ROMANO</u> Telephone: <u>797-3381</u> Mailing address: <u>P.O. Box 1079 PORTLAND, ME 04104</u>		

**Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: By: Rick Romano Date: \_\_\_\_\_

**This is not a permit; you may not commence ANY work until the permit is issue**

88 PARK ST.

#25

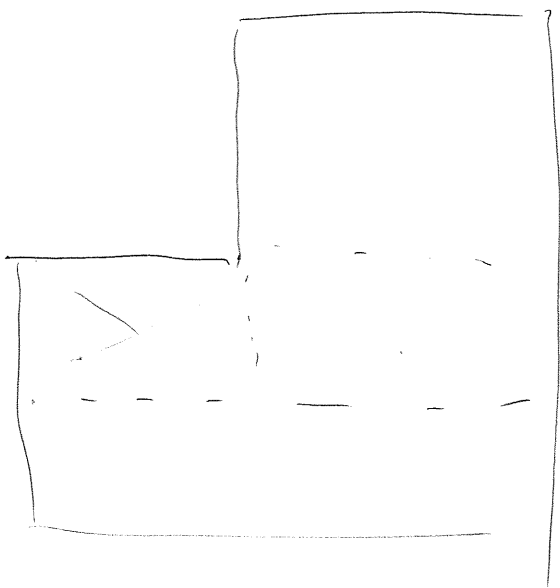
SLOPE OF WORK

PLANS INCLUDE A RENOVATED KITCHEN & BATHRM. WITH REMOVAL OF SMALL SECTION OF NON-LOAD BEARING WALL.

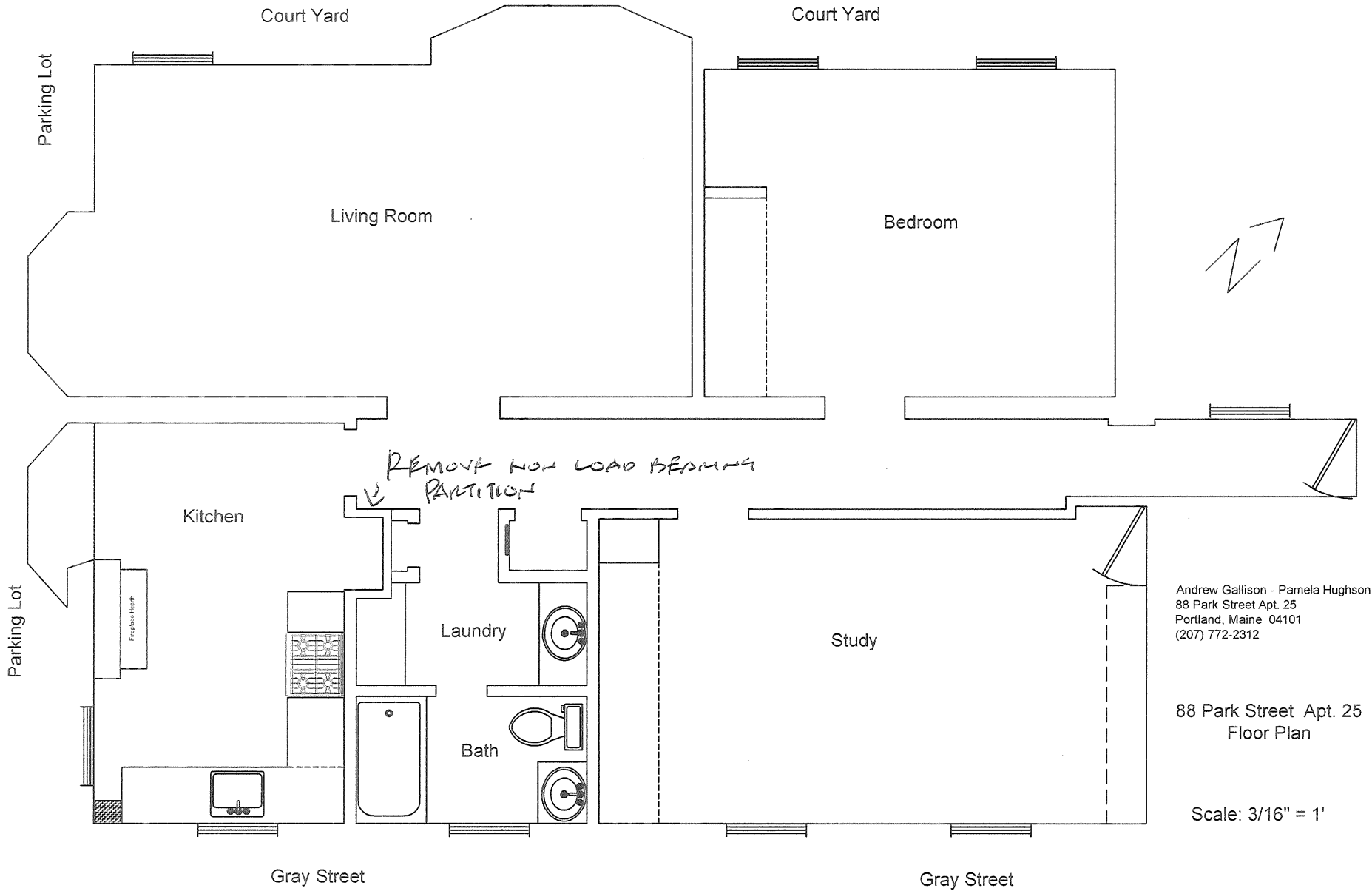
OTHER PLANS INCLUDE INSTALLATION OF STACKABLE WASHER/DRYER, VENT TO EXTERIOR. REPLACE ELECTRICAL ENTRANCE PANEL WITH NEW PANEL. REPLACE SOME LIGHTING.

INITIAL PERIOD OF DISCOVERY WILL DETERMINE TYPE OF WALL & CEILING FINISHES. WE WILL REPORT CONDITIONS DISCOVERED AFTER DEMOLITION.

RATED WALL & CEILING FINISHES MAY BE NEEDED AS WELL AS MECHANICALLY FINE RATED LIGHTS & FAN HOUSINGS.



FIXTURES TO REMAIN IN SAME LOCATIONS.

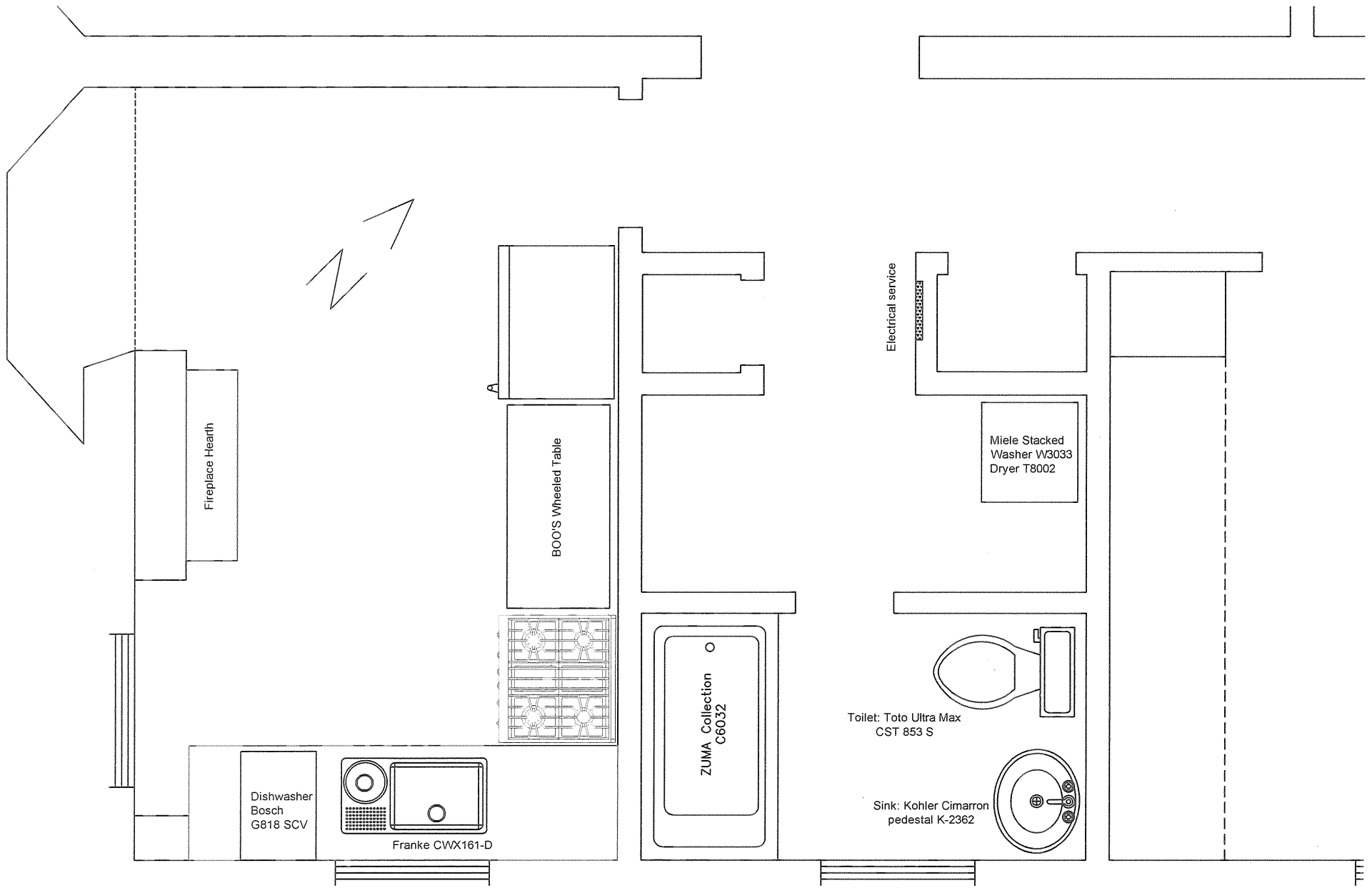


Andrew Gallison - Pamela Hughson  
 88 Park Street Apt. 25  
 Portland, Maine 04101  
 (207) 772-2312

88 Park Street Apt. 25  
 Floor Plan

Scale: 3/16" = 1'

EXISTING



Kitchen , Bath & Laundry  
Final

Scale: 3/8" = 1'

Andrew Gallison - Pamela Hughson  
88 Park Street Apt. 25  
Portland, Maine 04101  
(207) 772-2312

PROPOSED



# City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0936	Date Applied For: 07/25/2008	CBL: 045 B011006
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Business Name:	Contractor Name: Papi & Romano Builders, Inc	Contractor Address: PO Box 1079 Portland	Phone (207) 797-3381
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: Unit #6 Multi unit condo's Unit #6 Residential Condo kitchen, bath, relocating of non bearing wall	Proposed Project Description: Unit #6 Residential Condo - interior Renovations kitchen, bath, relocating of non bearing wall
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 08/05/2008

**Note:** **Ok to Issue:**

- 1) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 3) This entire property shall remain a 27 residential condominium building. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tammy Munson      **Approval Date:** 08/12/2008

**Note:** **Ok to Issue:**

- 1) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 2) All penetrations between dwelling units and dwelling units and common areas shall be protected with approved firestop materials, and recessed lighting/vent fixtures shall not reduce the (1 hour) required rating.
- 3) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.

**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Capt Greg Cass      **Approval Date:** 08/06/2008

**Note:** **Ok to Issue:**

- 1) The entire structure shall comply with NFPA 101 "Existing Apartments" Compliance shall be insured prior to the issuance of a Certificate of Occupancy.
- 2) All construction shall comply with NFPA 101



**CITY OF PORTLAND, MAINE**  
**Department of Building Inspections**

July 25 20 08

Received from Pape & Pominio Builders, Inc.

Location of Work 88 Park # 25 - ANDREW GALLISON

Cost of Construction \$ 100000

Permit Fee \$ 3000

Building (IL)  Plumbing (IS)  Electrical (I2)  Site Plan (U2)

Other

CBL: 045-B-011

Check #: 5246

**Total Collected \$** 3000

# THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.



CITY OF PORTLAND, MAINE
Department of Building Inspections

Original Receipt

12/16 20 08

Received from [Handwritten Name]

Location of Work [Handwritten Address]

Cost of Construction \$ [Blank] Building Fee: [Blank]

Permit Fee \$ [Handwritten] Site Fee: [Blank]

Certificate of Occupancy Fee: [Blank]

Total: [Handwritten]

Building (IL) [Blank] Plumbing (I5) [Blank] Electrical (I2) [Checked] Site Plan (U2) [Blank]

Other [Blank]

CBL: [Handwritten]

Check #: [Handwritten] Total Collected \$ [Handwritten]

No work is to be started until permit issued.

If permit is Withdrawn or Denied, amount of the Refund is based on \$20.00 or 20% of the fee, (whichever is greater)

In order to receive a refund, you MUST present the Original Receipt.

Taken by: [Handwritten Signature]

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy



**CITY OF PORTLAND, MAINE**  
**Department of Building Inspections**

Aug 1 20 06

Received from James T. H. & H. G.

Location of Work 588 Mark St.

Cost of Construction \$ 410,000.

Permit Fee \$ 420.00

Building (IL)  Plumbing (I5)  Electrical (I2)  Site Plan (U2)

Other HVAC

CBL: 415 K. C. 11

Check #: 155

Total Collected \$ 4120.00

**THIS IS NOT A PERMIT**

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

1 copy  
WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy

# ELECTRICAL PERMIT

## City of Portland, Me.



To the Chief Electrical Inspector, Portland Maine:  
 The undersigned hereby applies for a permit to make electrical installations  
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,  
 National Electrical Code and the following specifications:

Date 12-16-08  
 Permit # 2008-4912  
 CBL# 45-B-11

LOCATION: 88 Park St unit 27 METER MAKE & # \_\_\_\_\_  
 CMP ACCOUNT # \_\_\_\_\_ OWNER Andrew Gallison  
 TENANT \_\_\_\_\_ PHONE # \_\_\_\_\_

							TOTAL EACH FEE	
OUTLETS	10	Receptacles	8	Switches		Smoke Detector		.20
FIXTURES	10	Incandescent		Fluorescent		Strips		.20
SERVICES		Overhead		Underground		TTL AMPS <800		15.00
		Overhead		Underground		>800		25.00
Temporary Service		Overhead		Underground		TTL AMPS		25.00
								25.00
METERS		(number of)						1.00
MOTORS		(number of)						2.00
RESID/COM		Electric units						1.00
HEATING		oil/gas units		Interior		Exterior		5.00
APPLIANCES	1	Ranges		Cook Tops		Wall Ovens		2.00
		Insta-Hot		Water heaters		Fans		2.00
	1	Dryers		Disposals	1	Dishwasher		2.00
		Compactors		Spa	1	Washing Machine		2.00
		Others (denote)						2.00
MISC. (number of)		Air Cond/win						3.00
		Air Cond/cent				Pools		10.00
		HVAC		EMS		Thermostat		5.00
		Signs						10.00
		Alarms/res						5.00
		Alarms/com						15.00
		Heavy Duty(CRKT)						2.00
		Circus/Carnv						25.00
		Alterations						5.00
		Fire Repairs						15.00
		E Lights						1.00
		E Generators						20.00
PANELS		Service		Remote		Main		4.00
TRANSFORMER		0-25 Kva						5.00
		25-200 Kva						8.00
		Over 200 Kva						10.00
							TOTAL AMOUNT DUE	
							MINIMUM FEE/COMMERCIAL 55.00	MINIMUM FEE 45.00

CONTRACTORS NAME Hannan's Electric Inc MASTER LIC. # 16842  
 ADDRESS 897 Broadway S.P LIMITED LIC. # \_\_\_\_\_  
 TELEPHONE 7672471

SIGNATURE OF CONTRACTOR Larry Hannan Ready 12-18-08  
 White Copy - Office Yellow Copy - Applicant

# ELECTRICAL PERMIT

## City of Portland, Me.



*BP upgrade md*

To the Chief Electrical Inspector, Portland Maine:  
 The undersigned hereby applies for a permit to make electrical installations  
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,  
 National Electrical Code and the following specifications:

Date 2-13-03  
 Permit # 8008 4117  
 CBL# 045 3004  
045 B0110208

LOCATION: 88-90 Park ST METER MAKE & # \_\_\_\_\_  
 CMP ACCOUNT # \_\_\_\_\_ OWNER Brian Rollins  
 TENANT Multicom PHONE # \_\_\_\_\_

							TOTAL EACH FEE			
OUTLETS	28	Receptacles	21	Switches	2	Smoke Detector		.20	10.20	
FIXTURES	28	Incandescent		Fluorescent		Strips		.20	5.00	
SERVICES		Overhead		Underground		TTL AMPS	<800	15.00		
		Overhead		Underground			>800	25.00		
Temporary Service		Overhead		Underground		TTL AMPS		25.00		
								25.00		
METERS		(number of)						1.00		
MOTORS		(number of)						2.00		
RESID/COM		Electric units						1.00		
HEATING		oil/gas units		Interior		Exterior		5.00		
APPLIANCES	1	Ranges		Cook Tops		Wall Ovens		2.00	2.00	
		Insta-Hot		Water heaters		Fans		2.00		
	1	Dryers	1	Disposals	1	Dishwasher		2.00	6.00	
		Compactors		Spa		Washing Machine		2.00		
		Others (denote)						2.00		
MISC. (number of)		Air Cond/win						3.00		
		Air Cond/cent				Pools		10.00		
		HVAC		EMS		Thermostat		5.00		
		Signs						10.00		
		Alarms/res						5.00		
		Alarms/com						15.00		
		Heavy Duty(CRKT)						2.00		
		Circus/Carnv						25.00		
		Alterations						5.00		
		Fire Repairs						15.00		
		E Lights						1.00		
		E Generators						20.00		
	PANELS		Service	1	Remote		Main		4.00	4.00
TRANSFORMER		0-25 Kva						5.00		
		25-200 Kva						8.00		
		Over 200 Kva						10.00		
TOTAL AMOUNT DUE										
MINIMUM FEE/COMMERCIAL 45.00							MINIMUM FEE	35.00		35.00

CONTRACTORS NAME Hannan Electric Inc MASTER LIC. # 16842  
 ADDRESS 897 Broadway S.P LIMITED LIC. # \_\_\_\_\_  
 TELEPHONE 767-2471

SIGNATURE OF CONTRACTOR Larry Hannan

# ELECTRICAL PERMIT

## City of Portland, Me.

*Multi Unit*

*Common Areas*



*[Handwritten initials]*

To the Chief Electrical Inspector, Portland Maine:  
 The undersigned hereby applies for a permit to make electrical installations  
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,  
 National Electrical Code and the following specifications:

Date 4/12/00  
 Permit # 324  
 CBL# 045-B-011

SITE LOCATION: 88 PARK ST

OWNER PARK ST. Townhouses TENANT Multi

**TOTAL EACH FEE**

<b>OUTLETS</b>	Receptacles		Switches		Smoke Detectors			.20	
<b>FIXTURES</b>	incandescent		fluorescent		Strips			.20	
<b>SERVICES</b>	Overhead		Underground		TTL AMPS	<800		15.00	
	Overhead		Underground			>800		25.00	
<b>Temporary Service</b>	Overhead		Underground		TTL AMPS			25.00	
								25.00	
<b>METERS</b>	(number of)							1.00	
<b>MOTORS</b>	(number of)							2.00	
<b>RESID/COM</b>	Electric units							1.00	
<b>HEATING</b>	oil/gas units		Interior		Exterior			5.00	
<b>APPLIANCES</b>	Ranges		Cook Tops		Wall Ovens			2.00	
	Insta-Hot		Water heaters		Fans			2.00	
	Dryers		Disposals		Dishwasher			2.00	
	Compactors		Spa		Washing Machine			2.00	
	Others (denote)	<u>20 Exit Lights</u>						2.00	<u>40.00</u>
<b>MISC. (number of)</b>	Air Cond/win							3.00	
	Air Cond/cent				Pools			10.00	
	HVAC		EMS		Thermostat			5.00	
	Signs							10.00	
	Alarms/res							5.00	
	Alarms/com							15.00	
	Heavy Duty(CRKT)							2.00	
	Circus/Carnv							25.00	
	Alterations							5.00	
	Fire Repairs							15.00	
	E Lights	<u>30</u>					<u>30</u>	1.00	<u>30.00</u>
	E Generators							20.00	
	<del>Exit Lights</del>	<u>20</u>					<del>20</del>		
<b>PANELS</b>	Service		Remote		Main			4.00	
<b>TRANSFORMER</b>	0-25 Kva							5.00	
	25-200 Kva							8.00	
	Over 200 Kva							10.00	
						<b>TOTAL AMOUNT DUE</b>			<u>70.00</u>
<b>MINIMUM FEE/COMMERCIAL 35.00</b>						<b>MINIMUM FEE</b>		<b>25.00</b>	

INSPECTION: Will be ready \_\_\_\_\_ or will call X

CONTRACTORS NAME CARON & Waltz  
 ADDRESS 321 LINCOLN ST. J.P.  
 TELEPHONE 799-2228

MASTER LIC. # MC 60016389  
 LIMITED LIC. # \_\_\_\_\_

SIGNATURE OF CONTRACTOR J. P. Caron