

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 102 Park Street 04102		Owner: Michael Caughlin		Phone: 774-1243		Permit No: 990796
Owner Address: SAA		Lessee/Buyer's Name:		Phone:		
Contractor Name: Papi & Romano Bid,		Address: P.O. Box 1079 Portland Me		Phone:		CITY OF PORTLAND Zone: CBL: 043-B-007
Past Use: single family		Proposed Use: same		COST OF WORK: \$ 12,000.00		
Proposed Project Description: Structural repairs		Signature:		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: A-3 Type: 513
				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		Signature: <i>[Signature]</i>
Permit Taken By: K.		Date Applied For: July 13, 1999 K.		Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/>		Zoning Approval: Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT	ADDRESS:	DATE: July 13, 1999	PHONE:
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE			PHONE:

Zoning Appeal

Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation

Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:
 Approved
 Approved with Conditions
 Denied

Date: _____

CEO DISTRICT

2

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Building or Use Permit Pre-Application
Additions/Alterations/Accessory Structures
To Detached Single Family Dwelling**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: 102 PARK ST.

Tax Assessor's Chart, Block & Lot Number Chart# <u>045</u> Block# <u>B</u> Lot# <u>007</u>	Owner: <u>MICHAEL & SARA COUGHLIN</u>	Telephone#: <u>774-1243</u>
Owner's Address: <u>102 PARK ST.</u>	Lessee Buyer's Name (If Applicable)	Cost Of Work: <u>\$ 12,000.⁰⁰</u> Fee: <u>\$ 96.⁰⁰</u>
Proposed Project Description:(Please be as specific as possible) <u>STRUCTURAL REPAIRS</u>		<u>(K)</u>
Contractor's Name: Address & Telephone <u>PAPI & ROMANO BLDG., INC. PORTLAND ME 07104</u>		Rec'd By: <u>SIF</u>

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC(Heating, Ventilation and Air Conditioning) installation must comply with the 1993 B.O.C.A. Mechanical Code.

You must Include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan (Sample Attached)

If there is expansion to the structure, a complete plot plan (Site Plan) must include:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and required zoning district setbacks



4) Building Plans (Sample Attached)

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment. HVAC equipment (air handling) or other types of work that may require special review must be included.

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Rick Romano Date: 7/14/99

Building Permit Fee: \$25.00 for the 1st \$1000.cost plus \$5.00 per \$1,000.00 construction cost thereafter.

O:\INSP\CORRESP\MNUAGENT\APADSF\WPD

30-

6-

ADDRESS: 102 Paulk Street
 PERMIT APPLICATION FOR: Structural repairs
 BUILDING OWNER: MICHAEL CAUGHILL
 PERMIT APPLICANT: Tom & Leanne Blaks
 REVIEWER: D. Anderson
 DATE OF DECISION: 7/27/99

HISTORIC PRESERVATION REVIEW

Note: Your property is an individually designated landmark structure or is located within a designated historic district. As such, alterations to the building exterior or site which are visible from a public way are subject to review and approval under Article IX (Historic Preservation) of the Land Use Code. Your building or sign permit application has been reviewed to determine whether the nature or scope of the project requires review, and if so, whether it meets the standards of the historic preservation ordinance.

ACTION

Does not Require Review (e.g. Interior work only / alteration is not readily visible from a public way)

Note: this finding is based on the understanding that the application entails interior work only or that the proposed exterior alteration(s) will not be readily visible from a public way. If your project entails exterior or site alterations (including the installation of sign(s), awnings, or exterior lighting for such) these alterations must be reviewed and approved prior to commencing with the work. Contact 874-8726 for more information.

Handwritten initials/signature

Denied Reason for Denial: _____

Approved as submitted

Approved with conditions (see below) *Structural repairs only - understood*

Conditions of Approval:

Contact Historic Preservation Staff (874-8726 or 874-8728) prior to installation of sign(s) to confirm approved location.

Your sign permit includes no reference to exterior lighting; if lighting is included, please submit information on fixtures and specifications on installation.

are proposed w/ this application

Other conditions:

1. _____
2. _____
3. _____

RESIDENCE LOCATED AT

102 PARK STREET
PORTLAND, MAINE

RENOVATIONS
STRUCTURAL FRAMING DRAWINGS
&
GENERAL NOTES

Prepared for: Papi & Romano Builders
P.O. Box 1079
Portland, Maine 04104

Submission Date: July 2, 1999



1

WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS

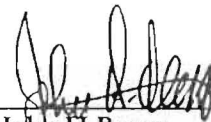
THAT, *John H Reeve and Mary Morse Reeve* of 102 Park Street, Portland, County of Cumberland, State of Maine for consideration paid, grants to *D. Michael Coughlin and Sarah J. Scribner Coughlin* of 253 Musketaquid Road, Concord, County of *Middlesex*, Commonwealth of Massachusetts, with WARRANTY COVENANTS as joint tenants, the land in Portland, County of Cumberland, State of Maine, described as follows:

See Exhibit A attached hereto and made a part hereof

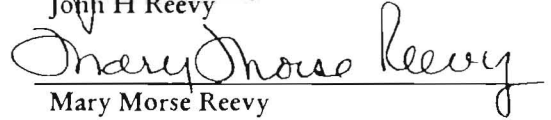
IN WITNESS WHEREOF, I have hereunto set my hand this 23rd day of April, 1999 .



Witness



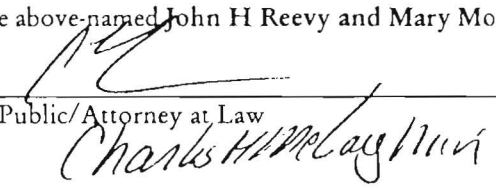
John H Reeve



Mary Morse Reeve

STATE OF Maine
COUNTY OF Cumberland

On this 23rd day of April, 1999, personally appeared before me the above-named John H Reeve and Mary Morse Reeve, and acknowledged the foregoing to be his/her free act and deed.



Notary Public/Attorney at Law

My Commission Expires:

GENERAL NOTES:

1. The notes on the drawings are not intended to replace specifications. See specifications for requirements in addition to general notes.
2. Structural drawings shall be used in conjunction with job specifications and architectural, mechanical, electrical, plumbing, and site drawings. Consult these drawings for locations and dimensions of openings, chases, inserts, reglets, sleeves, depressions, and other details not shown on structural drawings.
3. All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work. Do not scale plans.
4. The structure is designed to be self supporting and stable after the Building is complete. It is the contractor's sole responsibility to determine erection procedures and sequencing to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, sheeting temporary bracing, guys or tiedowns. Such material shall remain the property of the contractor after completion of the project.
5. Sections and details shown on any structural drawings shall be considered typical for similar conditions.
6. All applicable federal, state, and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

DESIGN LOADS:

1. Building code: BOCA Basic Building Code (1996)
2. Design Live Loads:
Roof.....42 PSF + Drift
Floor.....40 PSF

\$

designed by: JHL	RESIDENCE LOCATED AT 102 PARK STREET PORTLAND, MAINE	L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX Q STREET SOUTH PORTLAND, MAINE 04106
drawn by: JHL		
checked by: MFL		
scale: NOTED		
date: JULY 2, 1999		
GENERAL NOTES		PHONE: (207) 787-4830 FAX: (207) 799-5432 EMAIL: LLENG@AOL.COM
		S1

FOUNDATION NOTES:

1. Foundations have been designed with a presumptive soil bearing capacity of 2000 PSF to be verified in the field.
2. Interior spread footings shall be founded on undisturbed soil or compacted structural fill.
3. Slabs on grade shall bear on a minimum of 12" of compacted structural fill. If loose or undesirable fills are encountered at the slab subgrade level, they shall be over excavated to the surface of the natural soil and replaced with structural fill. Refer to drawings and specifications for vapor barrier requirements.
4. Structural fill shall be used at all locations below footings and slabs and adjacent to the foundation walls. Prior to placement of structural fill, remove all topsoil and other unsuitable material. Compacted structural fill shall consist of clean granular material free of organics, loam, trash, snow, ice, frozen soil or any other objectionable material. It shall be well graded within the following units:

SCREEN OR SIEVE SIZE	PERCENT FINER BY WEIGHT
4 INCH	100
3 INCH	90-100
NO.4	35-70
40	5-35
200	0-5

5. Structural fill beneath slabs shall be placed in layers not exceeding 6" in loose measure and compacted by selfpropelled compaction equipment at approximate optimum moisture content to a dry density of at least 95% of the maximum in place dry density as determined by the modified proctor test (ATSM d-1557).
6. Underdrains shall be placed as shown on the site drawings. Underdrains shall be installed to positively drain to a suitable discharge point away from the structure. Refer to the site drawings for additional information.
7. Exterior concrete slabs on grade, shall be underlain by at least 4 feet of structural fill meeting gradation and compaction requirements noted above. Reinforce slabs with 6x6 - W1.4xW1.4 WWF.
8. Open excavations shall be adequately braced or properly benched.
9. Backfill both sides of foundation walls and grade walls simultaneously.

CONCRETE NOTES:

1. All concrete work shall conform to ACI 318-89.
2. Concrete strength at 28 days shall be 4000 PSI for all slabs on grade.
3. All concrete shall be air entrained 4% to 6%.
4. Concrete shall not be placed in water or on frozen ground.
5. Provide PVC sleeves where pipes pass through concrete walls or slabs.
6. Reinforcing bars shall conform to ASTM A615 Grade 60 deformed bars, and shall be detailed, fabricated and erected in accordance with ACI 315-Latest edition.
7. Welded wire fabric shall be provided in flat sheets.
8. Fiber reinforced concrete shall conform to ATSM C-1116.
9. Splices of reinforcing bars shall be in accordance with ACI 318-89. Splices of WWF shall be 6" minimum.
10. Concrete finishes: See specifications and Architectural drawings for additional information.
11. Anchor bolts shall conform to ASTM A307 unless noted otherwise on plan.
12. The general contractor shall be responsible for coordination of:
 - a. Door bondout locations and slab depression & bondout locations with Architectural, Mechanical & Plumbing drawings, and kitchen equipment vendors as necessary to properly install each specific item.
 - b. The plan location of masonry shelves shown on plan are approximate. These locations shall be coordinated with both Architectural and site grading plans prior to placement of concrete.

designed by:	JHL	RESIDENCE LOCATED AT 102 PARK STREET PORTLAND, MAINE	L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX Q STREET SOUTH PORTLAND, MAINE 04106 PHONE: (207) 767-4830 FAX: (207) 789-5432 EMAIL: LLENG@AOL.COM
drawn by:	JHL		
checked by:	MFL		
scale:	NOTED		
date:	JULY 2, 1999	GENERAL NOTES	

STRUCTURAL STEEL NOTES:


1. Structural steel fabrication, erection, and connection design shall conform to AISC "Specification for the design, fabrication, and erection of structural steel"—Ninth edition.
2. Structural steel:
 - a. Structural steel shall conform to ASTM A-36.
 - b. Structural tubing shall conform to ASTM A-500 GR.B.
 - c. Structural pipe shall conform to ASTM A-53, TYPE E or S.
3. All welding shall conform to AWS D1.1—Latest edition. Welding electrodes shall be E70XX.

LINTEL SCHEDULE	
MASONRY OPENING	LINTEL SIZE
UP TO 3'-0"	L3 1/2x3 1/2x5/16
3'-1"-4'-6"	L4x3 1/2x5/16 (4" LEG VERT.)
4'-7"-8'-0"	L5x3 1/2x5/16 (5" LEG VERT.)
6'-1"-8'-0"	L8x3 1/2x5/16 (6" LEG VERT.)

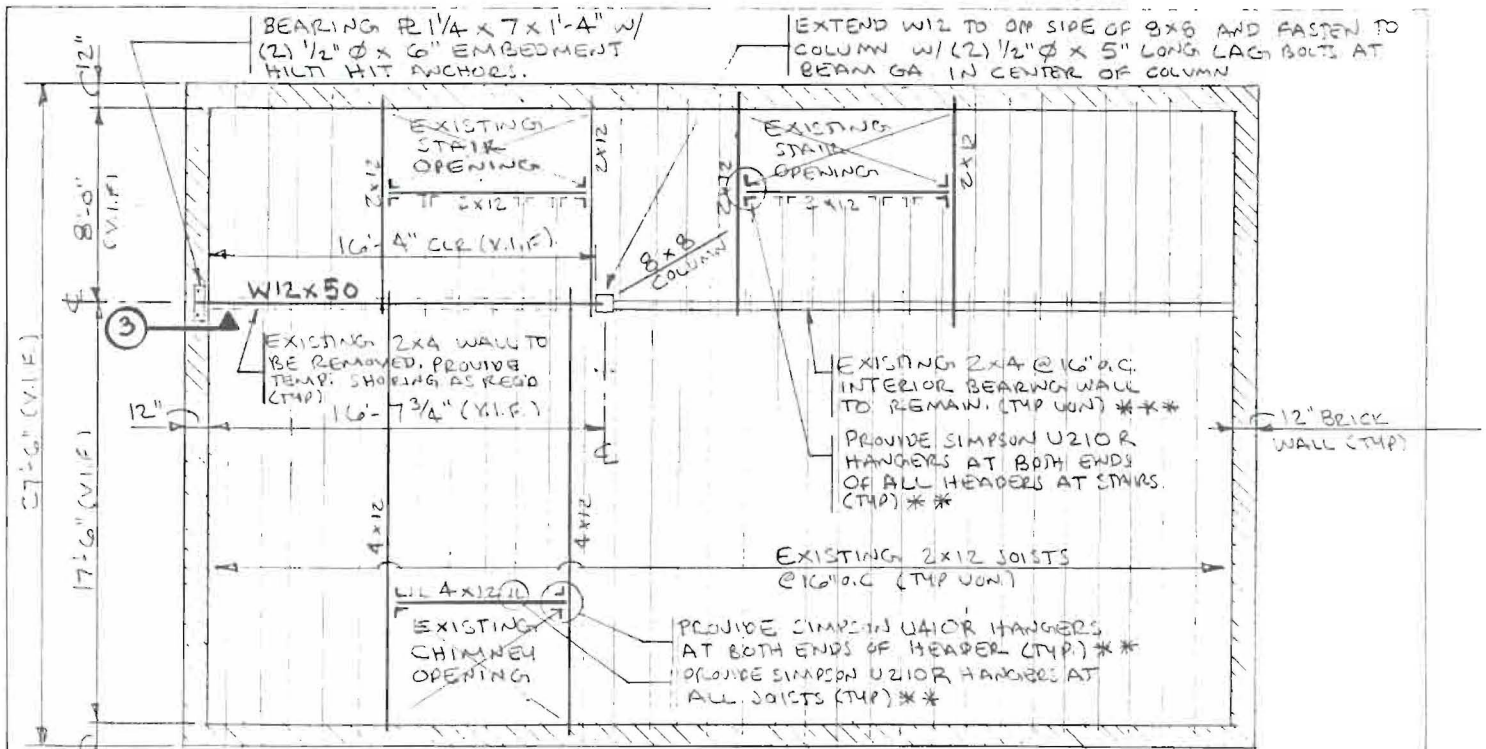
NOTES:

1. PROVIDE LINTELS OVER ALL OPENINGS EXCEPT WHERE LINTEL BLOCKS ARE PROVIDED.
2. PROVIDE ONE ANGLE FOR EACH 4" OF WALL THICKNESS. FOR 8" WALLS, PROVIDE WT OR BUILT-UP SECTION WITH PROPERTIES EQUAL TO OR GREATER THAN 1 1/2 TIMES THE ANGLE PROPERTIES FOR A 4" WALL THICKNESS.
3. PROVIDE 8" OF BEARING @ EACH END OF ALL LINTELS.
4. ALL EXTERIOR LINTELS SHALL BE HOT-DIPPED GALVANIZED.

TIMBER FRAMING:

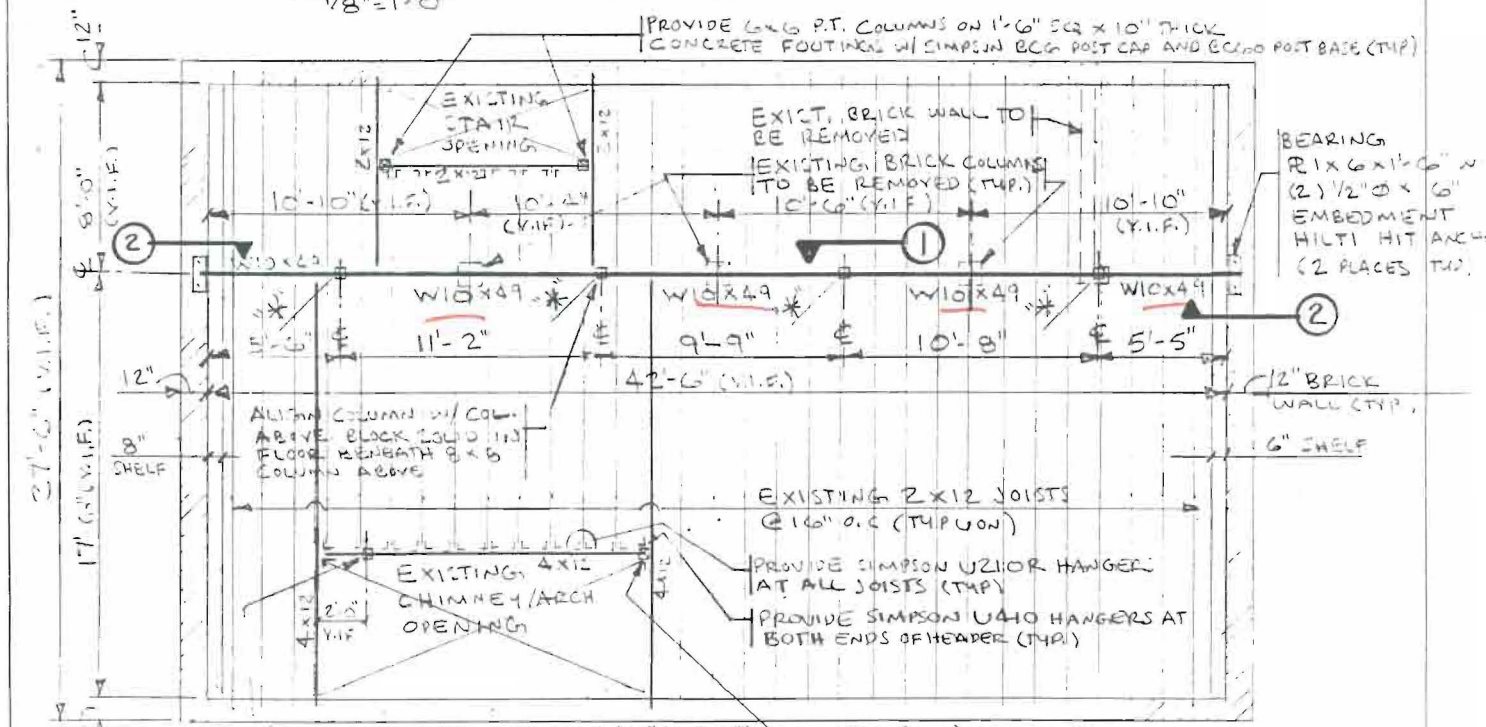
1. All timber framing shall be in accordance with the AITC Timber Construction Manual or the National Design Specification (NDS)—Latest editions.
 2. Individual timber framing members shall be visually graded, minimum grade #2 Spruce-Pine-Fir (SPF), kiln dried 19% maximum moisture content.
 3. Pressure treated lumber shall be used where wood is in contact with ground or concrete. Timber shall be southern yellow pine treated with CCA to 0.4 #/CF in accordance with AWPA C-18.
 4. Provide 1x3 lumber bridging, double nailed at each end, at 8 feet maximum spacing for all dimensional lumber floor framing.
 5. Standard metal connectors shall be used at all timber to timber connections or as noted on the design drawings.
 6. Provide Simpson H1 Hurricane anchors at each end of timber trusses and rafters.
 7. Nailing not specified shall conform with BOCA appendix C.
 8. Provide 19/32" thick APA rated sheathing on roof framing.
 9. Provide 15/32" thick APA rated sheathing on exterior wall framing.
 10. Provide 23/32" thick APA rated sheathing on floor framing.
- 

designed by: JHL	RESIDENCE LOCATED AT 102 PARK STREET PORTLAND, MAINE	L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX Q STREET SOUTH PORTLAND, MAINE 04106	PHONE: (207) 767-4630 FAX: (207) 799-5432 EMAIL: LLENG@AOL.COM	
drawn by: JHL				
checked by: MFL				
scale: NOTED				
date: JULY 2, 1999				
GENERAL NOTES				



SECOND FLOOR FRAMING PLAN

1/8"=1'-0"



FIRST FLOOR FRAMING PLAN

1/8"=1'-0"

- NOTES:
- 1) PROVIDE TEMP. SHORING AS REQ'D.
 - 2) SEE GENERAL NOTES ON SKS-1, 2, 3
 - 3) "*" INDICATES TO EXISTING COLUMN (SEE SECTION 1 / 10'-5")
 - 4) "***" INDICATES: PROVIDE HANGERS AT ALL FLOOR LEVELS (TYP)
 - 5) "****" INDICATES: TO PROVIDE 2x4 JACK SET AT BOTH ENDS OF ALL DOOR HEADERS AT ALL FL (TYP)

designed by:	JHL
drawn by:	JHL
checked by:	MFL
scale:	AS INDICATED
date:	7/1/22

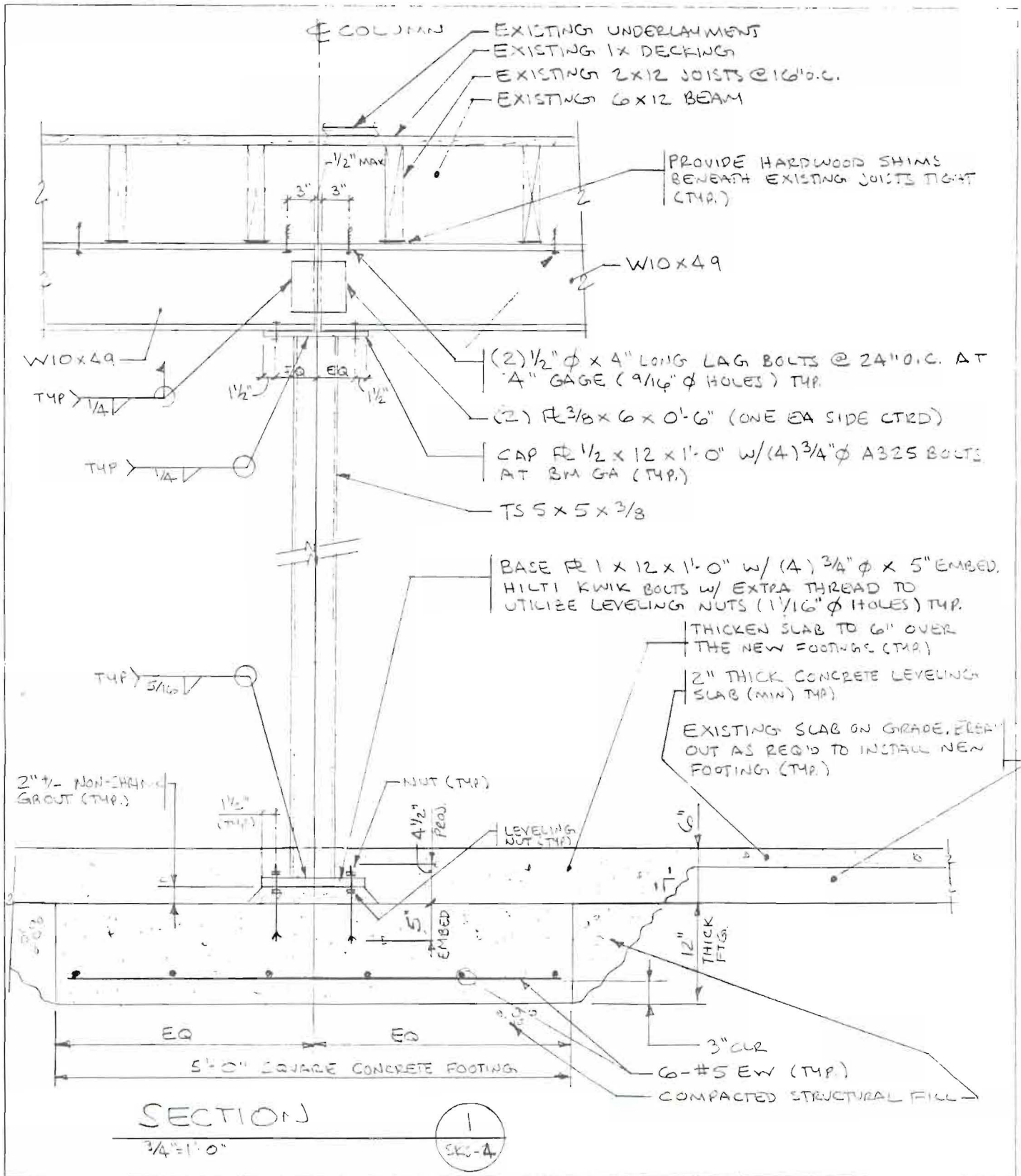
RESIDENCE LOCATED AT
 102 PARK STREET
 PORTLAND, MAINE

1ST & 2ND FLOOR FRAMING PLANS

L & L STRUCTURAL ENGINEERING SERVICES, INC.
 60 Street
 South Portland, Maine 04106

PHONE: (207) 883-8243
 FAX: (207) 883-8243

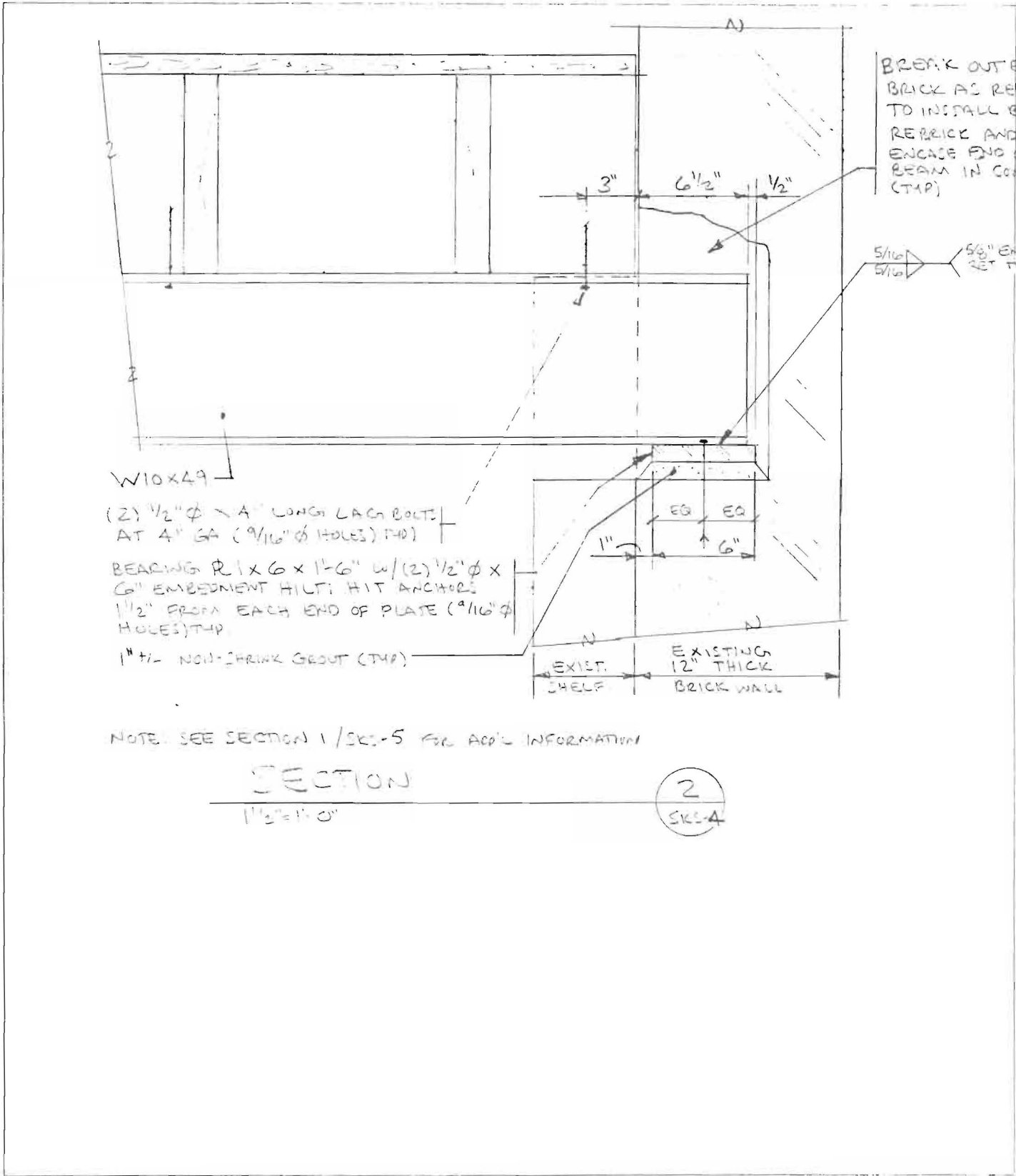
SKS-4



designed by:	JAL
drawn by:	JAL
checked by:	MFL
scale:	AS INDICATED
date:	7/11/00

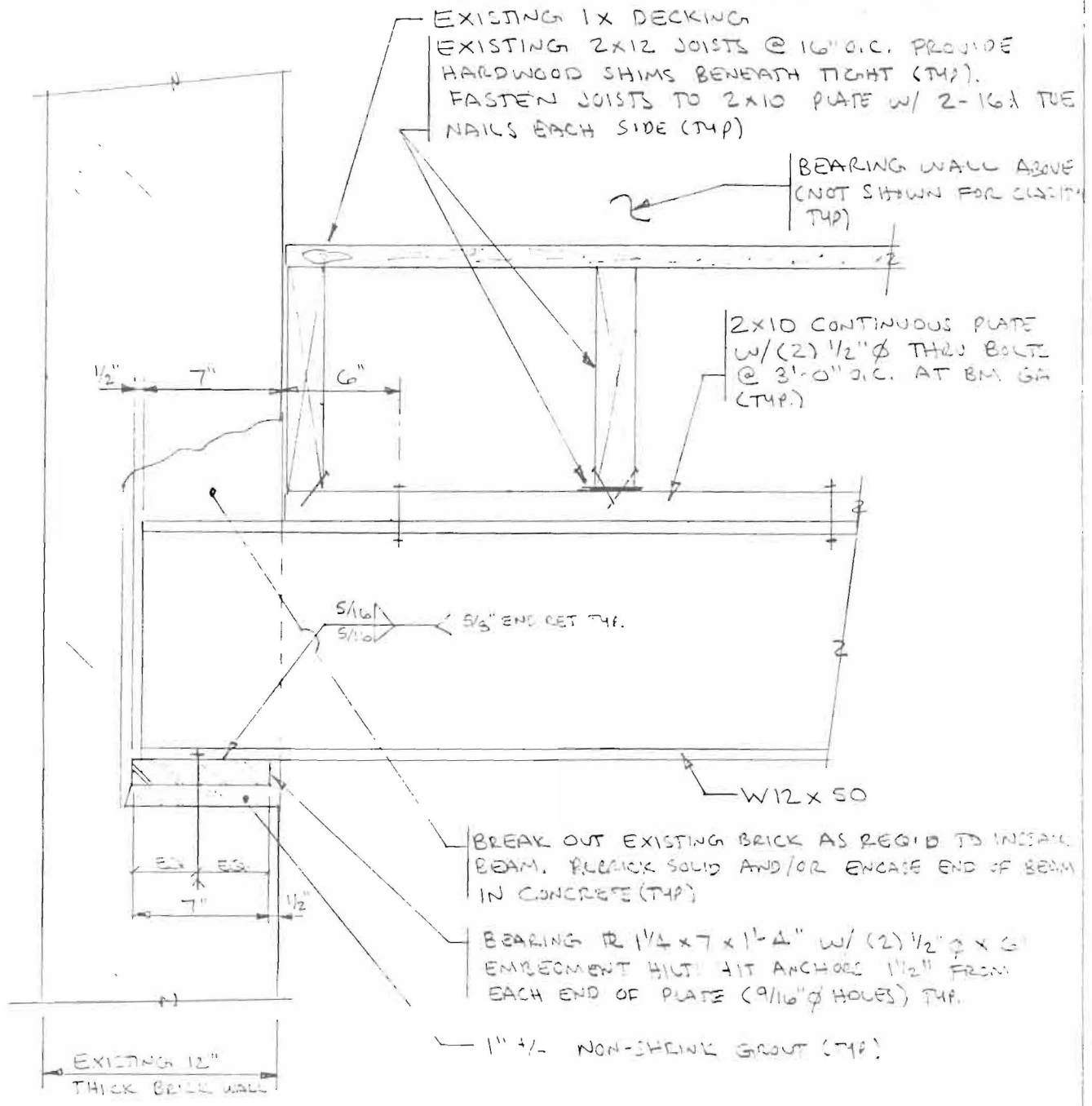
RESIDENCE LOCATED AT
 102 PARK STREET
 PORTLAND, MAINE
 SECTION 1 OF 2 DRAWING

**L & L STRUCTURAL
 ENGINEERING SERVICES, INC.**
 6 O Street
 South Portland, Maine 04106
 PHONE: (207) 883-8243
 FAX: (207) 883-8243
SKS-5



NOTE: SEE SECTION 1/SKS-5 FOR ADD'L INFORMATION

designed by: JHL	RESIDENCE LOCATED AT 102 PARK STREET PORTLAND, MAINE	L & L STRUCTURAL ENGINEERING SERVICES, INC. 6 O Street South Portland, Maine 04106
drawn by: JHL		
checked by: MFL		
scale: AS INDICATED		
date: 7/1/99	SECTIONS AND DETAILS	PHONE: (207) 883-8243 FAX: (207) 883-8243
		SKS-6



SECTION

1 1/2" ±

3
 SKS-4

designed by: JHL
 drawn by: JHL
 checked by: MFL
 scale: AS INDICATED
 date: 1. 02

RESIDENCE LOCATED AT
 102 PARK STREET
 PORTLAND, MAINE

SECTIONS AND DETAILS

L & L STRUCTURAL
 ENGINEERING SERVICES, INC.
 60 Street
 South Portland, Maine 04106

PHONE: (207) 883-8243
 FAX: (207) 883-8243

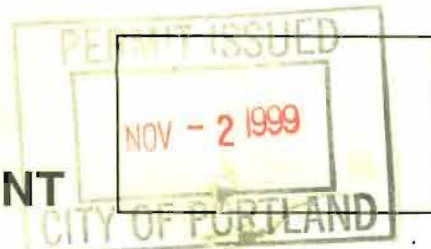
SKS-7

Single



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT HEATING OR POWER EQUIPMENT



045 B 007 991205

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 102 Park st. Use of Building Res Date 11-1-1999

Name and address of owner of appliance Mike Coughlin

Installer's name and address Jim Godbout PH 183 Granite St. Biddeford Me 04005 Telephone 283-1200

Location of appliance:

- Basement
- Floor
- Attic
- Roof

Type of Fuel:

- Gas
- Oil
- Solid

Appliance Name:

U.L. Approved Yes No

Will appliance be installed in accordance with the manufacture's installation instructions? Yes No

IF NO Explain: _____

The Type of License of Installer:

- Master Plumber # 05993
- Solid Fuel # _____
- Oil # 9547
- Gas # DNT 1440
- Other _____

Type of Chimney:

- Masonry Lined Factory built _____
- Metal
Factory Built U.L. Listing # _____
- Direct Vent
Type _____ UL# _____

Type of Fuel Tank

- Oil
- Gas

Size of Tank _____

Number of Tanks _____

Distance from Tank to Center of Flame _____ feet.

FEE: 84.00

Approx Cost \$ 10,000-

Approved

Approved with Conditions

Fire: WINS

See attached letter or requirement

Ele.: _____

Bldg.: #

Signature of Installer

James M. [Signature]

ELECTRICAL PERMIT

City of Portland, Me.



SF
#2

To the Chief Electrical Inspector, Portland Maine:
 The undersigned hereby applies for a permit to make electrical installations
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,
 National Electrical Code and the following specifications:

Date June 9, 1999
 Permit # 18642
 CBL# 045-E-007

SITE LOCATION: 102 Park St

OWNER Mike Coughlin **TENANT** _____

						TOTAL EACH FEE			
OUTLETS	Receptacles	82	Switches	62	Smoke Detectors	14	58	.20	31.60
FIXTURES	incandescent	30	fluorescent		Strips		80	.20	16.00
SERVICES	Overhead	1	Underground		TTL AMPS	<800		15.00	15.00
	Overhead		Underground			>800	1	25.00	
Temporary Service	Overhead		Underground		TTL AMPS			25.00	
								25.00	
METERS	(number of)	1					1	1.00	1.00
MOTORS	(number of)							2.00	
RESID/COM	Electric units							1.00	
HEATING	oil/gas units		Interior		Exterior			5.00	
APPLIANCES	Ranges	1	Cook Tops		Wall Ovens		1	2.00	2.00
	Insta-Hot		Water heaters		Fans			2.00	
	Dryers	1	Disposals		Dishwasher	1	3	2.00	6.00
	Compactors		Spa	1	Washing Machine			2.00	
	Others (denote)							2.00	
MISC. (number of)	Air Cond/win							3.00	
	Air Cond/cent							10.00	
	HVAC		EMS		Pools			5.00	
	Signs				Thermostat			10.00	
	Alarms/res							5.00	
	Alarms/com							15.00	
	Heavy Duty(CRKT)							2.00	
	Circus/Carnv							25.00	
	Alterations							5.00	
	Fire Repairs							15.00	
	E Lights							1.00	
	E Generators							20.00	
	PANELS	Service		Remote	2	Main		2	4.00
TRANSFORMER	0-25 Kva							5.00	
	25-200 Kva							8.00	
	Over 200 Kva							10.00	
					TOTAL AMOUNT DUE				
					MINIMUM FEE/COMMERCIAL 35.00		MINIMUM FEE 25.00		79.60

INSPECTION: Will be ready _____ or will call _____

CONTRACTORS NAME Hannans Electrcki **MASTER LIC. #** 18642
ADDRESS 897 Braodway S. Ptld **LIMITED LIC. #** _____
TELEPHONE 767-2471

SIGNATURE OF CONTRACTOR Larry Hannan

PLUMBING APPLICATION

045-B-007

Department of Human Sciences
Division of Health Engineering

48

PROPERTY ADDRESS

Town or Plantation: Portland
Street Subdivision Lot #: 102 Park St.

PROPERTY OWNERS NAME

Last: Coughlin First: Mike
Applicant Name: Jim Godbout Piff
Mailing Address of Owner/Applicant (If Different): 183 Granite St. Biddeford, Me

PORTLAND Date Permit issued: 11-13-99 7061 \$ 150 TOWN COPY # Double Fee Charged FEE
Local Plumbing Inspector Signature: [Signature] L.P.I. # 011214

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspectors to deny a Permit.

Signature of Owner/Applicant: [Signature] Date: 11-1-99

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature: [Signature] Date Approved: 8/4/00

PERMIT INFORMATION

This Application is for 1. <input type="checkbox"/> NEW PLUMBING 2. <input checked="" type="checkbox"/> RELOCATED PLUMBING	Type of Structure To Be Served: 1. <input checked="" type="checkbox"/> SINGLE FAMILY DWELLING 2. <input type="checkbox"/> MODULAR OR MOBILE HOME 3. <input type="checkbox"/> MULTIPLE FAMILY DWELLING 4. <input type="checkbox"/> OTHER - SPECIFY _____	Plumbing To Be Installed By: 1. <input checked="" type="checkbox"/> MASTER PLUMBER 2. <input type="checkbox"/> OIL BURNERMAN 3. <input type="checkbox"/> MFG'D. HOUSING DEALER/MECHANIC 4. <input type="checkbox"/> PUBLIC UTILITY EMPLOYEE 5. <input type="checkbox"/> PROPERTY OWNER LICENSE # <u>059931</u>
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Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Column 2		Column 1	
	Number	Type of Fixture	Number	Type of Fixture
HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District. OR HOOK-UP: to an existing subsurface wastewater disposal system. PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures. OR TRANSFER FEE [\$6.00]	1	Hosebibb / Sillcock	2	Bathtub (and Shower)
		Floor Drain	3	Shower (Separate)
		Urinal	2	Sink
		Drinking Fountain	8	Wash Basin
		Indirect Waste	5	Water Closet (Toilet)
		Water Treatment Softener, Filter, etc.	1	Clothes Washer
		Grease / Oil Separator	1	Dish Washer
		Dental Cuspidor	1	Garbage Disposal
		Bidet	1	Laundry Tub
		Other: _____	1	Water Heater
	Fixtures (Subtotal) Column 2	24	Fixtures (Subtotal) Column 1	
		1	Fixtures (Subtotal) Column 2	
		25	Total Fixtures	
		5	Fixture Fee	
			Transfer Fee	
			Hook-Up & Relocation Fee	
		150	Permit Fee (Total)	

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

BUILDING PERMIT REPORT

DATE: 17-July-99 ADDRESS: 102 Park ST. CBL: 045-B-007

REASON FOR PERMIT: To make structural repairs.

BUILDING OWNER: Michael Caughlin

PERMIT APPLICANT: Papi Romano Bldg.

USE GROUP R-3 BOCA 1996 CONSTRUCTION TYPE 5-B

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions are met:

Approved with the following conditions: *1, *2, *3, 4

- X 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- X 2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
4. Foundations anchors shall be a minimum of 1/4" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' o.c. between bolts. (Section 2305.17)
5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete from freezing. Section 1908.0
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1996)
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2, M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 36" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".) Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0) - Handrails shall be on both sides of stairway. (Section 1014.7)
12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1018.6)
16. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.) (Section 710.0)
18. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)
19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be

COMMENTS

10/21/99 - Went to site - work underway. Job is much more extensive than \$12000 as shown on permit have called owner to discuss this for

8/4/00 Work Completed

Inspection Record

Type

Foundation: _____
Framing: _____
Plumbing: _____
Final: _____
Other: _____

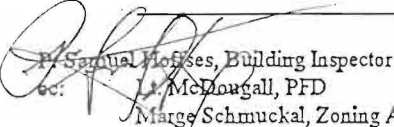
Date

installed and maintained at the following locations):

- In the immediate vicinity of bedrooms
- In all bedrooms
- In each story within a dwelling unit, including basements

In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required) Section 920.3.2.

20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
21. The Fire Alarm System shall maintained to NFPA #72 Standard.
22. The Sprinkler System shall maintained to NFPA #13 Standard.
23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1996)
24. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
26. Ventilation shall meet the requirements of Chapter 12 Sections 1210.0 of the City's Building Code. (Crawl spaces & attics).
27. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
28. All requirements must be met before a final Certificate of Occupancy is issued.
29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (the BOCA National Building Code/1996).
30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993). (Chapter M-16)
31. Please read and implement the attached Land Use Zoning report requirements.
32. Boring, cutting and notching shall be done in accordance with Sections 2305.4.4, 2305.5.1 and 2305.5.3 of the City's Building Code.
33. Glass and glazing shall meet the requirements of Chapter 24 of the building code.
- * 34. This permit is being issued with the understanding that the approved plans drawn by Joseph H. Heasure #6242 PE are followed without charges.
36. _____


P. Samuel Hoopes, Building Inspector

cc: Lt. McDonougall, PFD

Marge Schmuckal, Zoning Administrator

PSH 12-14-91

**On the basis of plans submitted and conditions placed on these plans any deviations shall require a separate approval.