

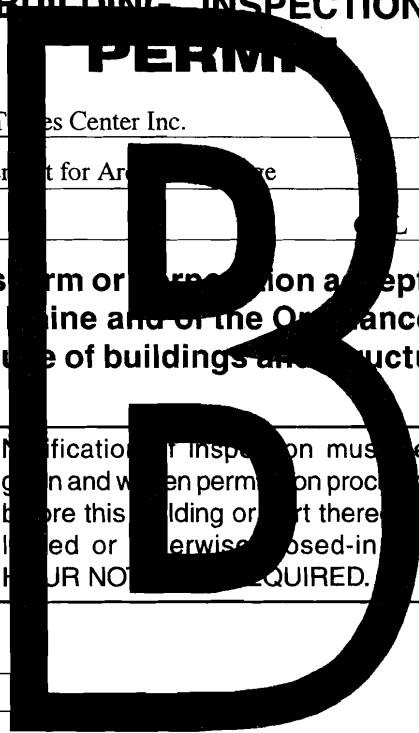
DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 040187

Please Read
Application And
Notes, If Any,
Attached



This is to certify that St Lukes Parish- Wardens/Times Center Inc.
has permission to Renovation of Church Basement for Art Studio
AT 143 State St Portland, OR 97201 045 A037001

provided that the person or persons who apply for or accept this permit shall comply with all of the provisions of the Statutes of Oregon and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or otherwise closed-in. 4 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. [Signature]
Health Dept. _____
Appeal Board _____
Other _____

Department Name

[Signature] 3/16/04
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED

Permit No: 04-0187	Issue Date: MAR 17 2004	CBL: 045 A037001
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Location of Construction: 143 State St	Owner Name: St Lukes Parish- Wardens	Owner Address: 149 State St	Phone: CITY OF PORTLAND
Business Name:	Contractor Name: Trades Center Inc.	Contractor Address: Alfred Road Business Park Biddeford	Phone: 2072824166
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: R6

Past Use: Commercial Church/ Basement	Proposed Use: Church/ Renovation of Church Basement for Archival Storage	Permit Fee: \$606.00	Cost of Work: \$64,752.00	CEO District: 2
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: A4 Type: 3B 3/16/04	

Proposed Project Description: Renovation of Church Basement for Archival Storage	Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: ldobson	Date Applied For: 03/03/2004	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM Date: <i>3/17/04</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Any exterior work requires a sep. review Date:
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

3/31/04 Framing done in okay: will go back for stair framing
and bulkhead - Me will go in for electrical

City of Portland, Maine - Building or Use Permit

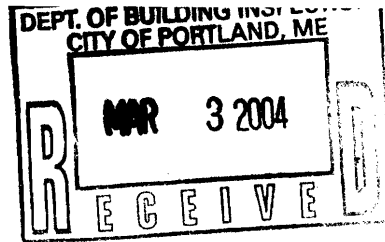
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0187	Date Applied For: 03/03/2004	CBL: 045 A037001
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Location of Construction: 143 State St	Owner Name: St Lukes Parish- Wardens	Owner Address: 149 State St	Phone:
Business Name:	Contractor Name: Trades Center Inc.	Contractor Address: Alfred Road Business Park Biddeford	Phone (207) 282-4166
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Church/ Renovation of Church Basement for Archival Storage	Proposed Project Description: Renovation of Church Basement for Archival Storage
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Dept: Zoning	Status: Approved	Reviewer: Marge Schmuckal	Approval Date: 03/12/2004
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
Dept: Building	Status: Approved with Conditions	Reviewer: Mike Nugent	Approval Date: 03/15/2004
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
1) "bulkhead" service stairway is ok w/7 1/2 " risers and 10" net tread to preserve headroom.			
Dept: Fire	Status: Approved with Conditions	Reviewer: Lt. MacDougal	Approval Date: 03/15/2004
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
1) fire extinguishers shall be installed in accordance with NFPA 10 standards			



All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>143 State St.</u>		
Total Square Footage of Proposed Structure		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>045</u> Block# <u>A 037</u> Lot# <u>001</u>		Owner: <u>EPISCOPAL DIOCESE OF MAINE</u> Telephone: <u>772-1953</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>REV. DAVID GLENDINWINE</u> <u>108 MARQUIS RD</u> <u>FREEMANT, ME 04032 (865-3379)</u>	Cost Of Work: \$ <u>64,752⁰⁰</u> Fee: \$ <u>606⁰⁰ / 100</u>
Current use: <u>DIOCESAN OFFICE HEADQUARTERS</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>ARCHIVAL SPACE</u>		
Project description: <u>RENOVATION OF VESTIBULE FOR ARCHIVAL STORAGE</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>REV. DAVID GLENDINWINE</u>		
Mailing address: <u>AS ABOVE</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>865-3375</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Rev David Glendinwine</u>	Date: <u>3-1-04</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

~~NA~~ **Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before **any** site work begins on any project other than single family additions or alterations.

~~NA~~ **Footing/Building Location Inspection:** Prior to pouring concrete

~~NA~~ **Re-Bar Schedule Inspection:** Prior to pouring concrete

~~NA~~ **Foundation Inspection:** Prior to placing ANY backfill

~~NA~~ **Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling

~~NA~~ **Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

~~NA~~ If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

~~NA~~ **CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

David Henderson
Signature of Applicant/Designee

3-22-04
Date

[Signature]
Signature of Inspections Official

3/22/04
Date

CBL: 045 A037

Building Permit #: 040187



CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Room 315
Portland, Maine 04101

ACCESSIBILITY CERTIFICATE

Designer: Nancy Barba

Address of Project: 143 State Street

Nature of Project: Intension renovation

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.

Signature: *Nancy Barba*

Title: Architect

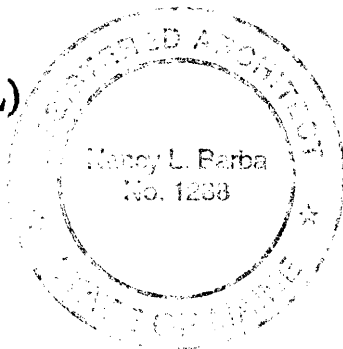
Firm: Barba + Wheelock Architects

Address: 500 Congress St

Portland ME 04101

Phone: 772-2722

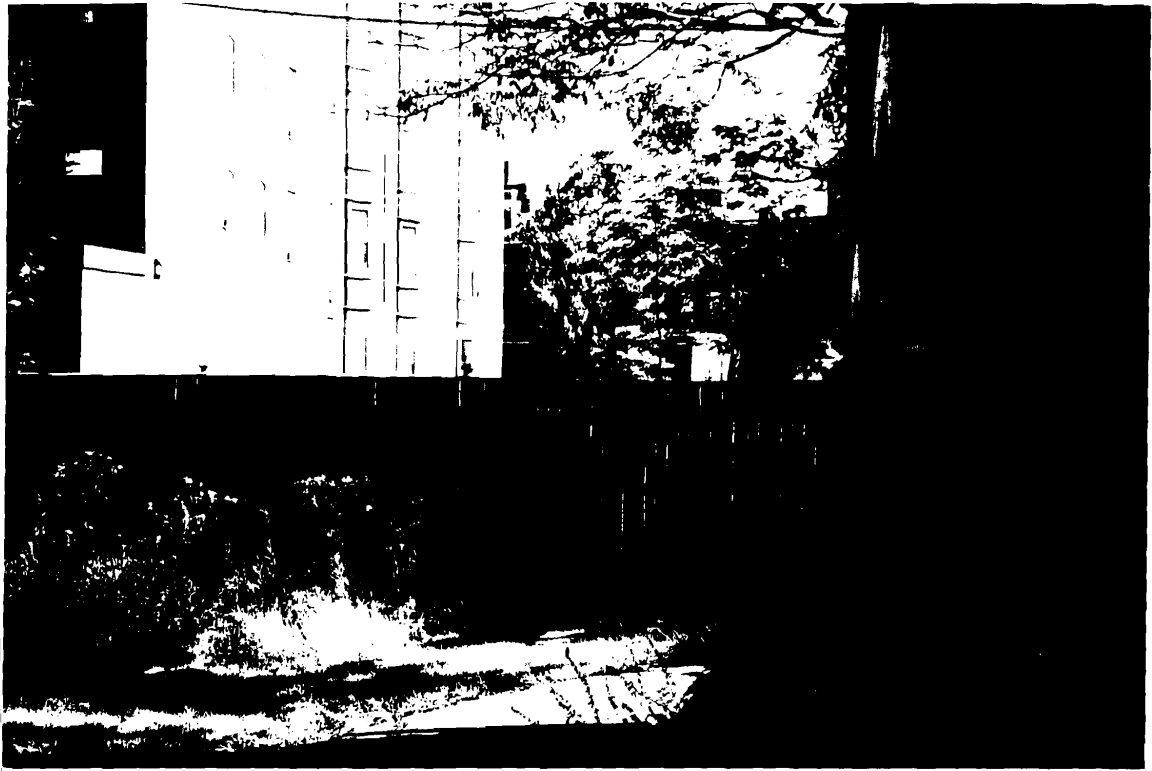
(SEAL)













Barbā

Architecture & Preservation

500 Congress Street

Portland, Maine 04101

tel: 207-772-2722

fax: 207-772-3667

M E M O R A N D U M

TO: City of Portland

FROM: Nancy Barba

DATE: April 5, 2004

RE: Loring House Accessibility Permit

COMMENTS:

The Loring House is solely owned and operated by the Episcopal Diocese of Maine, a religious organization. All programs and activities operating in the Loring House are controlled by the Diocese, and none of the spaces are leased to outside organizations. Therefore it is our interpretation that the compliance with the Americans with Disabilities act is not mandated, and renovations at the Loring House are not subject to an Accessibility Certificate.

Trades Center Inc

GENERAL CONTRACTOR ■ DESIGN/BUILD ■ COMMERCIAL ■ INDUSTRIAL ■ RESIDENTIAL

Loring House

FOR EPISCOPAL DIOCESE OF MAINE - PREP BY TRADES CENTER INC.

DATE: 5 November, 2003

The following breakdown is for your use. This budget estimate has room to move either way. Assumptions have been made to fill in the blanks.

As discussed this is a preliminary design and pricing has been done with the Architects plans in mind. There is usually a lot of fill in the gap work done to support the other sub-contractors. I have allowed for some.

The following is a breakdown by AJA divisions for your easy review.

Division		Division Cost
DIV. 1===	GEN. CONDITIONS	\$7,205.00
	Supervision, Clean-up, & Dumpster	\$5,910.00
	Demolition	\$1,295.00
	Final Professional Clean-up	By Owner
DIV. 2===	SITWORK	By Owner
DIV. 3===	CONCRETE	By Owner
DIV. 4===	MASONRY	By Owner
DIV. 6===	CARPENTRY	\$18,861.60
	Rough Carpentry	\$9,463.50
	Finish Carpentry	\$7,596.10
	Miscellaneous	\$1,752.00
DIV. 7===	MOISTURE/THERMAL	\$4,201.76
	Insulation including rigid	\$2,468.80
	EPDM/Siding/Flashing	\$1,732.96
DIV. 8===	DOORS/WINDOWS	\$7,928.00
	Doors & Hardware	\$6,232.00
	Window repair & UV film	\$1,696.00
DIV. 9===	FINISHES	\$19,618.00
	Ceilings	\$4,975.00
	Drywall	\$3,668.00
	Painting	\$10,975.00
DIV. 10===	SPECIALTIES (Bathroom accessories)	By Owner
DIV. 15===	MECHANICAL	By Owner
DIV. 16===	ELECTRICAL	By Owner
	CONSTR. COSTS (NO TAX)	\$57,814.36
	OVERHEAD & PROFIT	\$6,937.72
	BUDGET AMOUNT	\$64,752.08

Once you have reviewed this information, please give me a call 282-4166

Kindest Regards



David Wade
V.P. / Owner

ACCEPTED FOR THE DIOCESE
OF MAINE

+ Chelsea Kneudsen
DATE 12/10/03

Project Manual for

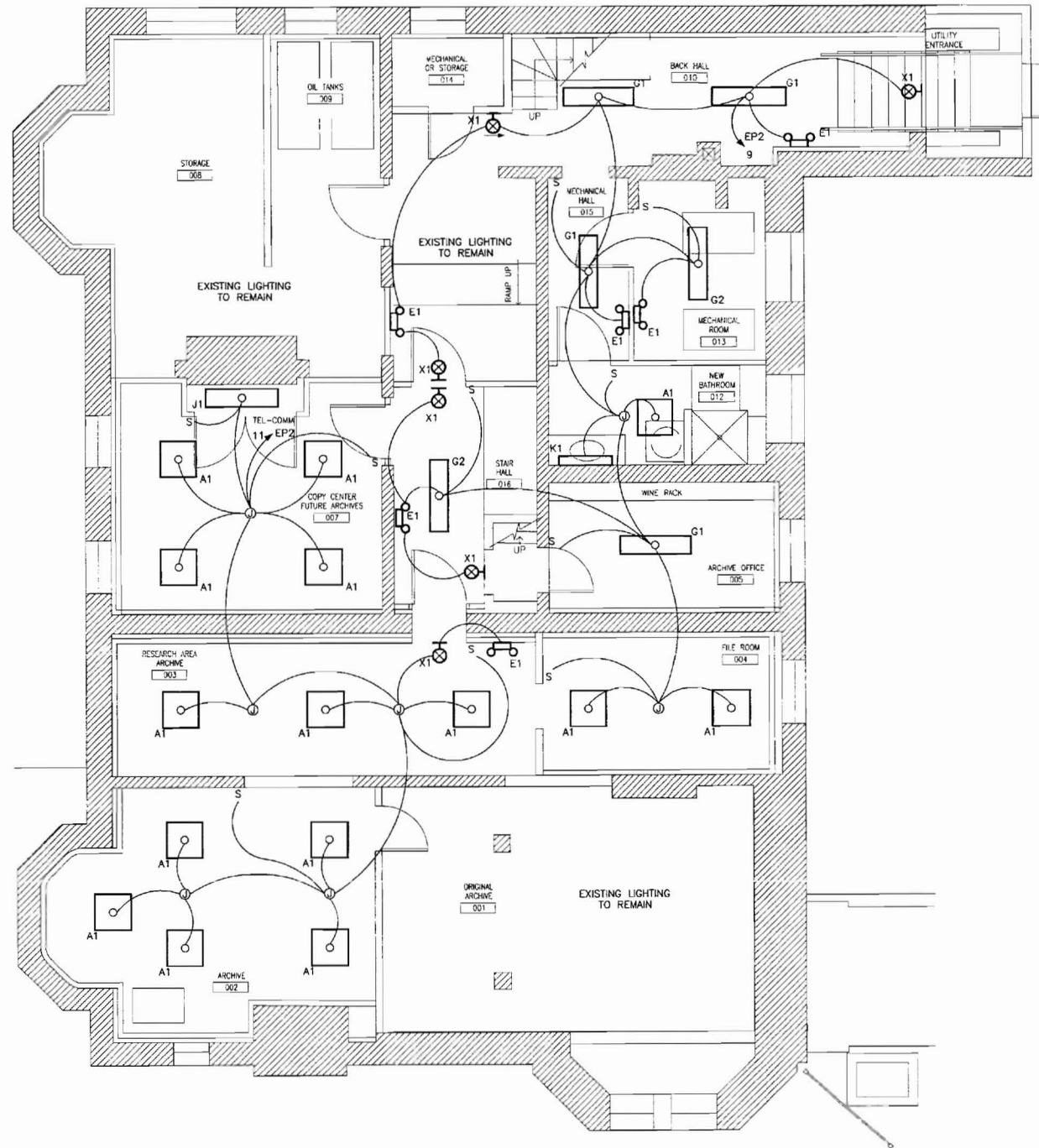
Episcopal Diocese Archives - Loring House Renovations

**143 State Street
Portland, Maine**

10 October 2003

Issued for Construction

Barba Architecture & Preservation
500 Congress Street
Portland, Maine 04101
Tel: 207-772-2722
Fax: 207-772-3667



LIGHTING FIXTURE SCHEDULE

NO.	MANUFACTURER	CAT. NO.	NO.	LAMP TYPE	DESCRIPTION
A1	METALUX	2CP-2U6T8A-120V-EBB1	2	F32T8/SPX35	2 X 2 RECESSED FLUORESCENT WITH ACRYLIC LENS.
E1	SURE-LITES	CC-7-WH		BY MANUFACTURER	12 VOLT, SELF-CONTAINED EMERGENCY LIGHT RATED TO OPERATE 90 MINUTES UPON LOSS OF NORMAL POWER.
G1	METALUX	WS-232A-120V-EBB1	2	F32T8/SPX35	1 X 4 SURFACE FLUORESCENT SURFACE WRAP.
G2					EXISTING 1 X 4 SURFACE FLUORESCENT RELOCATED.
J1	METALUX	SS-232-120V-EBB1	2	F32T8/SPX35	4' LONG, 2 LAMP COMMERCIAL SURFACE MOUNTED STRIP LIGHT.
K1	METALUX	BC-232-120V-EBB1	2	F32T8/SPX35	WALL MOUNTED CUT-OFF FIXTURE. UL LISTED FOR WET LOCATIONS.
X1	SURE-LITES	LPX-7-0-R-WH		BY MANUFACTURER	SINGLE FACE DIE CAST EXIT SIGN WITH RED LETTERS RATED TO OPERATE FOR 90 MINUTES UPON LOSS OF NORMAL POWER.

1. ALL LIGHT FIXTURES ARE 120 VOLT EXCEPT AS SPECIFICALLY NOTED OTHERWISE IN SCHEDULE.
2. LAMP DESIGNATIONS REFER TO GENERAL ELECTRIC ORDERING CODES. ALSO APPROVED ARE EQUIVALENT LAMPS BY OSRAM-SYLVANIA AND PHILIPS-WESTINGHOUSE.
3. EQUIVALENT LIGHT FIXTURES BY ALTERNATE MANUFACTURERS WILL BE CONSIDERED FOR APPROVAL.

LORING HOUSE
143 STATE STREET
PORTLAND, MAINE

Title:
LIGHTING PLAN

Project No:
Date: OCTOBER 10, 2003
Revisions:

Issued For: CONSTRUCTION

Drawing No:
E2

Outline Specifications for

Archives for the Episcopal Diocese of Maine Repairs and Renovations to Loring House

143 State Street
Portland, ME 04101

PROJECT #200019

Elizabeth Maule, Diocesan Archivist
David Glendenning, Owner's Project Representative
Laurie Kazilionis, Diocesan Financial Officer

DIVISION 1 — GENERAL INFORMATION (TBS denotes "to be selected")

General Scope of Work.

- A. The Contractor shall furnish all labor, materials, equipment, and services necessary for the completion of the project. The Contractor shall construct, in good faith and the best manner, a complete building; and do everything properly incidental thereto, as shown on plans, stated in specifications, required by all applicable codes, recommended by product manufacturers, and in accordance with Contract Documents.
- B. Premises of the entire job and site will be maintained in a neat and orderly condition during the entire construction period. All debris will be immediately removed (or contained within a dumpster) from around the site before the end of each workday. Upon completion of the work, the site will be left broom clean and the area of work will be cleaned thoroughly inside and out with all windows washed.
- C. No smoking or open fires are permitted in or around Loring House at anytime.
- D. No heat or flame producing equipment shall be used in the project without direct supervision by the general contractor. Fire safety shall be of the utmost concern on this project. All preventative measures shall be taken to assure complete safety to the occupants, workers and the building. This includes, but is not limited to having water on hand as well as having adjacent fire extinguishing equipment for the potential types of fires.
- E. Prior to final payment, the Contractor shall give the Owner a labeled binder containing a list of all suppliers, subcontractors, and manuals of all equipment.
- F. The project generally consists of:

Renovation of the basement level of Loring House, The Episcopal Diocese of Maine, for the purpose of an expansion of the present use of the Diocesan Archives.

The new space will be climatically controlled to achieve the best environmental conditions possible for the storage of paper files and memorabilia. To that end, the installation of "a room within a room," with a proper vapor barrier and moisture mitigation are extremely important.

The project consists of a new cast iron boiler that serves the entire house, new hot water heater, and mechanical equipment specifically for the archives.

Electrical wiring, fixtures, and devices are also included in the scope.

✓ The scope of this work assumes that the masonry foundation walls have previously been repointed and cleaned, the asbestos and hazardous materials have been abated.

- G. All construction is to be in compliance with BOCA and NFPA 101 Life Safety Code, latest approved editions, which in the City of Portland is BOCA 1999 Edition and the NFPA 2000 edition.

The project has been reviewed on paper by Mike Nugent, Portland Codes Enforcement Officer. Mr. Nugent and Lt. McDougal of the Portland Fire Department will visit the existing facility on the week of October 13 for further review and comment. It is generally agreed that the archive use is an expansion of an existing use. The archivist works one day a week. Anyone using the archives is accompanied by the archivist. Those using the copy room are regular occupants of the building and/or supervised visitors. The existing main stair of this historic building is technically infeasible to change without destroying historic material, so the egress will be improved at the rear entry with new stairs and increased headroom.

As the area of the renovation project is less than 3,000 sf the State Fire Marshall does not need to be involved in reviewing this project.

Loring House falls within a National Register Historic District. Any alterations visible from the public way will require review by the Historic Preservation Committee.

General Contractor and subcontractors by trade to apply for and obtain Building Permits as required.

Refer to the following measurements for construction criteria. Please contact the Architect if there are questions on these issues. The following is excerpted from the 1999 BOCA Code:

<u>Habitable Rooms</u>	Ceiling Height	7'-0" minimum
	Width	7'-0" minimum
	Floor Area	70 sf minimum

Stairways

(based on the residential standard because of the limited use and the limitations imposed by existing conditions in an historic building)

Maximum Riser	7-3/4"
Minimum Tread	10"
Minimum Width	36"

<u>Guardrails (Decks and Stairs)</u>	Height	42"
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<u>Handrails</u>	Height	34" – 38" above nosing
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- G. Hours of operation are limited from 7:00 am to 4:00 pm Mon to Friday, with pre-arrangement these hours can be extended to 5:00 pm. The first and second floors of Loring House function as office space during these hours and the third floor is a residence that is occupied 24/7. Noise shall be controlled to a reasonable level in consideration of the functions above.

- H. Access to the project site is through the rear entrance only.

- I. There is no offsite parking. The Owner will assist to the extent that they can, however this project is located in the downtown area of Portland with limited off street parking. There is on-street metered parking directly in front of the house on State Street. The Contractor can apply for a permit, if required to use parking spaces from the City of Portland for an extended time.
- J. The Contractor and the Owner will discuss other parking options prior to the start of construction. The Owner *may* be able to provide one (1) parking space in the rear of the building (behind or East of St. Luke's Cathedral and to the West of Rosa True). One space on the north side of Loring House can be prearranged for occasional use, with 24-hour notice to the Owner. Fridays are the best day for the prearranged use of this space.
- K. Contractor to give the Owner 48 hours notice for any utility shut down and make alternative provisions to allow the Owner to continue operation.
- L. Any on site material storage shall be located inside the basement.
- M. Owner will supply power to the extent that the electrical service can adequately accommodate the contractor's equipment, otherwise the contractor shall provide their own generator.
- N. Owner will supply water to the project.
- O. The contractors may use the bathroom on the first floor of Loring House during the office working hours (8:00 am to 4:00 pm).

Work by Owner or Separate Contract.

- ✓ A. Masonry cleaning and repointing at the interior of the basement walls.
- B. Fire alarm system. See attached Agreement from Cunningham Security Systems for scope of work.

Schedule

- A. The project can begin immediately and shall be Substantially Complete by January 31, 2004.
- B. The installation of the new boiler shall happen as expeditiously as possible, if not immediately upon award of contract.

DIVISION 2 — SITE WORK AND DEMOLITION

Sitework includes the following:

Excavate at area for concrete pad. Dispose of any excess dirt on site as directed by Owner.

Regrade earth around the pad.

Landscaping – restore disturbed garden area to condition before installing the pad.

DIVISION 3 — CONCRETE

Provide 3000 psi concrete pad for the exterior mechanical equipment. Slope surface 1/8 inch per foot to allow for water runoff.

DIVISION 4 — MASONRY

Cleaning, vacuuming, and repointing interior masonry walls (stone and brick) will be by others prior to work of this contract.

The contractor, as part of this work, shall patch holes in the masonry where hose bibs, water entrance and any other utility removal occurs. The general contractor shall also be responsible for cutting holes in masonry for new utility lines. The Architect shall be consulted about any potential visible utility lines on the exterior of the building.

DIVISION 5 — METALS

No work

DIVISION 6 — WOOD: Rough Carpentry and Finish Carpentry

Standards. General carpentry workmanship shall be as described by "Wood Frame House Construction," published by the National Association of Home Builders, latest edition (phone: 800-368-5242, ext. 463).

Bracing. See structural drawings.

Headers. See structural drawings.

Structural Beams See structural drawings.

Nailing. Power nailing is allowed, however, all framing nails throughout shall be hot dipped galvanized only, ASTM A153-73.

Fasteners. All exterior hardware (screws, nails, bolts, etc.) shall be stainless steel because of the proximity to the water environment.

Framing Materials.

Exterior wall framing at rear entry to be 2 x 6 studs at 16" o.c.

Interior wall framing in basement to be 2 x 4 studs at 16" o.c.

All framing lumber shall be seasoned to a moisture content of 19% or less and stamped S-DRY or MC-15 kiln dried and rain protected on site. Grade and species shown below may be substituted with Architect's written approval.

Header at stair when wall is removed to make stair more open: Shore wall above adequately and consult with architect once demolition is complete.

Floor sleepers. 2 x 4 p.t. sleepers. Use pressure-treated where members are in direct contact with concrete, ledge, or earth.

Roof joists at rear entry: 2 x 8 joists at 24 inches o.c..

Sheathing and Subflooring.

Roof Sheathing. 5/8" sq. edge cdx plywood roof sheathing. Use ring-shank nails

Wall Sheathing. 5/8" sq. edge cdx plywood wall sheathing or OSB. Use ring-shank nails.

Floor Sheathing. 1 x 6 t+g wood floors, hard pine for clear finish, no. 1 or better.

Millwork, Finish Carpentry

Wood railing with ballusters and cap at stair.

DIVISION 7 — ROOFING, INSULATION, AND CAULKING

Roofing

At the reconstructed rear entry. EPDM. 6 mil

Insulation

Exterior wood walls. R•19 foil faced batts with 6-mil poly vapor barrier (see below) in new 2 x 6 walls.
R•11 foil faced batts with 6 mil poly vapor barrier in existing walls of less dimension than 5 ½ ".

Potential damp locations. Polyisocyanurate rigid insulation by "Georgia Pacific".

Exterior foundation walls with wood furring. Polyisocyanate, rigid insulation, in thickness as shown on the drawings.

Interior basement walls to preserve thermal envelop.. Polyisocyanate, rigid insulation, in thickness as shown on the drawings.

Roof. R•38 minimum foil faced batts with 6-mil poly vapor barrier.

Caulking

Dow Corning "Performance Plus" at all exterior wall openings to insure air tightness.
Fire rated caulks at fire rated partition penetrations

Vapor Retarders

Polyethylene Vapor Retarder: ASTM D 4397, 6 mils (0.15 mm) thick.

Vapor-Retarder Tape: Pressure-sensitive tape of type recommended by vapor-retarder manufacturer for sealing joints and penetrations in vapor retarder.

DIVISION 8 — DOORS, WINDOWS, AND HARDWARE

Exterior and Interior Doors

Exterior doors to be insulated metal door.

Exterior door thresholds to be metal by door manufacturer.

Interior Doors: New doors are hollow metal in hollow metal knock down frames.

Locksets: Provided by HCI Craftsman from their standard commercial line. Manufacturer, style and locking to be determined by Owner.

Windows

Rehabilitate wood cellar sash to restored condition: replace broken glass, reglaze all sash, scrape, prime and paint (2 coats). Provide sash locks.

Add interior storm sash where indicated on the drawings. Provide and install model MOL as manufactured by Allied with laminate glass for highest uv filtration. Contact: Mark Bagala, Bagala Window Works 207-878-6306.

DIVISION 9 — FINISHES

Drywall

Provide and install the following products:

Sheetrock gypsum panels, 5/8" thick, by U.S. Gypsum Co. Humitek Gypsum Panels, moisture and mildew resistant gypsum board. Use Type x of the same material at fire rated partitions.

MR sheetrock panels, 5/8" thick at Bathroom walls. Use Type x of the same material at fire rated partitions.

Screws. As required by mfg.

Tape and Spackle. As required by mfg.

Painting

All products to be from one manufacturer. Acceptable manufacturers include Sherwin-Williams, Pratt and Lambert, Muralo, Benjamin Moore, or Martin Seymour. Use low voc water based products where possible based on manufacturer's recommendation.

Interior Painting

New Gypsum wallboard: Prime and 2 coats latex paint eggshell finish.

Existing Plaster: Prime with Universal Trouble Shooter, paint two coats latex paint eggshell finish.

Metal door frames and doors: Prime with rust inhibitor paint, paint two coats latex paint semigloss finish.

Brick (not stone) walls in rear hall: Prime, paint one coat oil based paint.

Wood floor: Water based polyurethane finish on the floor. Provide 2 coats of a 2-part system urethane.

Acoustical Tile Ceiling

Acoustical Tile Ceiling: Suspended, tegular edge 2' x 4' panels. USG Millenium ClimaPlus no. 78705

DIVISION 10 — SPECIALTIES

Toilet Accessories.

TBS by Owner.

Contractor to provide blocking in wall behind all accessories.

DIVISION 11 — EQUIPMENT

DIVISION 12 — FURNISHINGS (Not Used)

DIVISION 13 — SPECIAL CONSTRUCTION (Not Used)

DIVISION 14 — CONVEYING SYSTEMS (Not Used)

DIVISION 15 — MECHANICAL

Plumbing

General.

It is the intent of project drawings to give the plumbing contractor a general layout of the plumbing fixtures required for this project. It is the responsibility of the plumbing contractor to provide all indicated equipment fixtures and required materials, piping, tools, and related appurtenances for a complete safe plumbing system.

Plumbing demolition is by the Plumbing Contractor. Remove and properly dispose of all exposed defunct pipes and fixtures.

Plumbing contractor shall coordinate electrical requirements for plumbing equipment requirements for plumbing equipment with electrical contractor.

Plumbing contractor shall provide Owner with one complete maintenance and equipment manual including equipment product data, and service and operational instructions.

The entire system shall be installed to facilitate total winter drainage, with valves clearly marked.

Provide metal pans under all pipes, sloped to drain spout and inlet

Radon piping. Provide 1-1/2 inch pvc schedule 40 pipe in a grid of 10 feet x 10 feet under the new wood floor. Perforate the pipe by adding 1/4 inch holes every 3 feet. Exit the pipe into Storage 014 ending near or connected to the radon fan as required to exhaust radon.

Plumbing Fixture. TBS by Owner.

Plumbing Fittings. TBS by Owner.

Shower base. TBS by Contractor from the Cascade Shower Floors by Fiat Products (1-800-665-7531) to fit this particular installation.

See Mechanical Notes and Plan attached for detailed requirements for Plumbing and Heating.

Heating

Contractor's Responsibility. The Contractor shall be responsible for properly laying out his own work and for the safety and good condition of all work, material, and equipment included in his contract until the completion of his contract. **Provide layout and equipment specs to Architect before beginning work. If this is not possible due to scheduling of work, architect must be contacted to review layout on site prior to installation. Otherwise, the Contractor is at risk of incurring cost of field changes as directed by Architect.**

Codes and Regulations. All work under this Section shall conform to all state and local codes and ordinances and such other statutory provisions that pertain to this class of work, but not less than the requirements of the following codes and standards: National Electric Code; National Fire Protection Association; American Society of Heating, Refrigeration, and Air Conditioning Engineers; Conditioning Contractors of America; and the BOCA Mechanical Code. The Contractor shall conform to all requirements of OSHA.

Materials. All materials shall be new and be installed in a neat manner, consistent with the best trade practices and in accordance with the manufacturer's recommendations. Trade names used in these specifications or on the drawings are to indicate the minimum acceptable quality and type required. The Architect reserves the right to reject any proposed substitution that, in her opinion, is not equal to the material or equipment specified.

Cleaning, Testing, and Adjusting. Before acceptance of this work, the Contractor must adjust and balance the systems and each piece of equipment to assure the correct operation. Care shall be taken during construction to protect the finished material from damage and undue dirt. At the completion of the work, the Contractor shall clean each piece of equipment and ducts and replace any damaged equipment. A new set of filters (if applicable to furnace) shall be provided for the HVAC equipment after house is painted and cleaned.

Cutting and Patching. The Contractor shall determine the size and location of all openings required for the installation of his work and shall lay out said openings. The Contractor shall be responsible for the proper size and location of all chases and openings. Should failure to accurately lay out openings at the proper time occur, the Contractor at his/her expense shall do all necessary cutting and patching.

DIVISION 16 — ELECTRICAL

See Electrical Specifications, attached, for detailed requirements for Electrical.



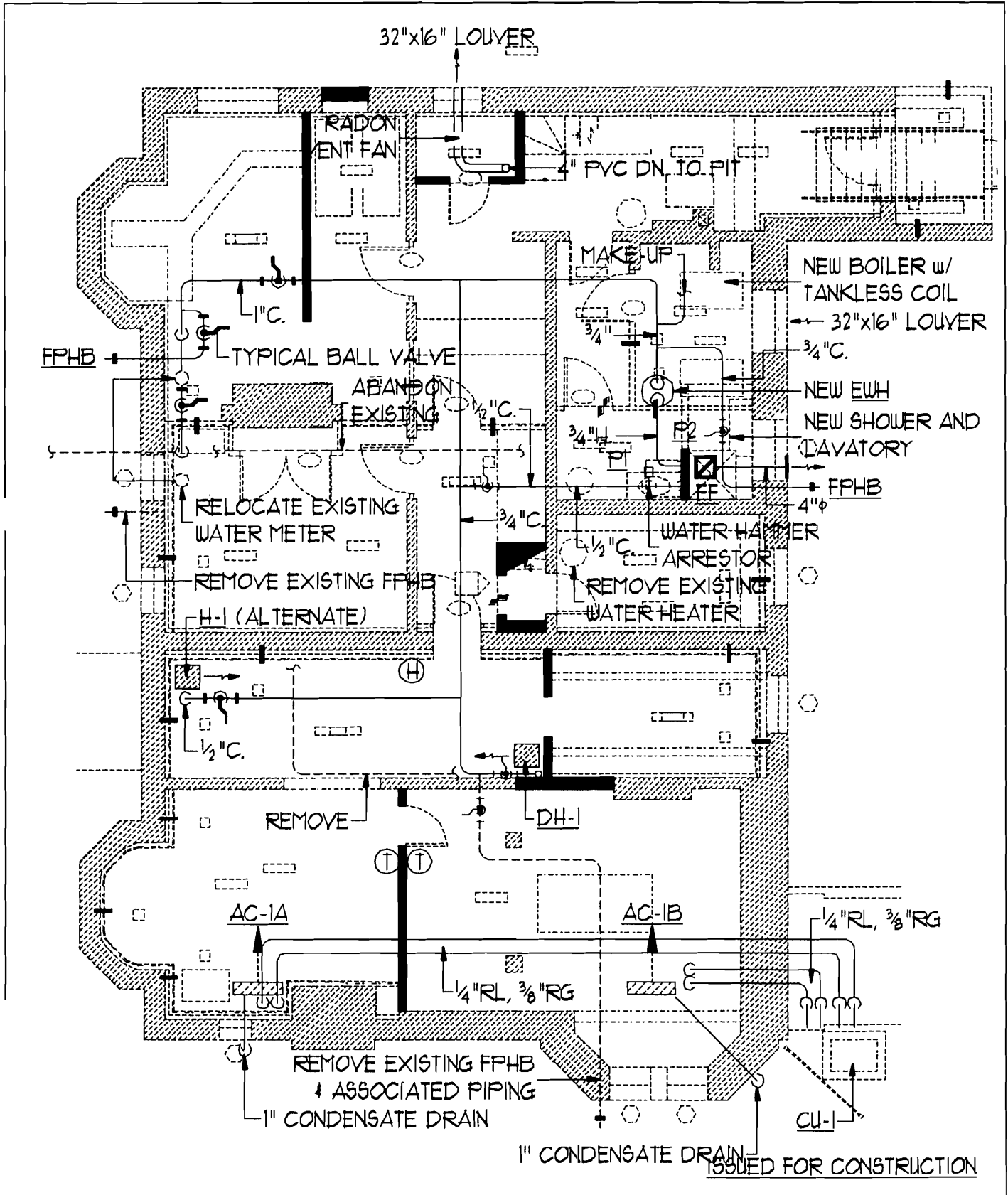
BENNETT ENGINEERING
 CONSULTING ENGINEERS
 BENNETT ROAD P.O. BOX 297
 FREEPORT, MAINE 04032
 (207) 865-9475

JOB Loring House (N. Barba) - 2074

DESIGNED BY SP Joel DATE 10 OCT 03

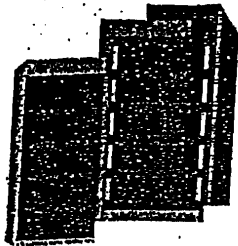
CHECKED BY SP Joel DATE 10 OCT 03

SCALE Not to Scale No. MSK-1



General Mechanical Notes:

1. AC-1A, 1B shall be Mitsubishi Model MS4-09EW, mini-split heat pumps, with a cooling capacity of 8800 Btu/h, 3.4 pints per hour of moisture removal and 1.0 KW electric heat. The indoor units shall be 120V., 20 A. electrical circuit, with 200 CFM. The outdoor unit (CU-1) shall be Mitsubishi Model MXZ30TN, 230V., 15 A. circuit. Refrigerant piping shall be Type ACR tubing with brazed joints, insulated with 1/2" thick Armaflex insulation. Condensate piping shall be Type "L" copper tube, insulated with 1/2" thick Armaflex.
2. The dehumidifier shall be Thermo-Stor "Hi-E Dry" Model 195, 120V., 143 Lbs/day moisture removal with dehumidistat and condensate pump.
3. The humidifier (Alternate) shall be DriSteem "Vapormist", or approved equal, with a minimum capacity of 100 lbs/hr., 230V./1Ph.
4. New and existing domestic hot and cold water piping shall be Type "L" copper tube, insulated with 1/2" thick Armaflex. Unless otherwise indicated, unused piping and equipment shall be removed and capped or valved, as required.
5. Frost-proof sillcocks (FPHB) shall be Woodford Model 25, anti-siphon type with removable tee handle. Ball valves shall be Apollo or Watts, bronze body, stainless steel ball.
6. The shower (F2) shall be Aquarius Model G 32T5 TP, 32"x34"x76"H. two piece gel-coated fiberglass shower unit w/ Symmons "Temprol" pressure-balanced shower valve and head with check-stop inlets. The vanity (PI) shall be Universal-Rundle Model 7615303, 30"Wx18"D. with Symmons single handle mixing faucet, pop-up waste and P-trap, water supplies with key-operated stops.
7. Domestic water piping shall be Type "L" copper with soldered joints and insulated with 1/2" thick Armaflex AP unicellular insulation.
8. The existing low pressure steam boiler shall be removed and replaced with a new HB Smith Model 8-S-6H cast-iron sectional boiler with Carlin or Beckett oil burner. Furnish with 15 psig relief valve, tankless coil for domestic water heating and low water cut-off. Gross output shall be 249.0 MBH firing 2.10 GPH.
9. The electric water heater shall be AO Smith Model FEC-40, 40 gallon, 4500 watt elements, set at 110F., foam insulation, 240V. with pressure and temperature relief valve. The thermostatic mixing valve shall be Symmons or Taco.
10. The radon vent fan shall be Fantech Model FX6, 99 cfm at 1.0" wg external static pressure.
11. The toilet exhaust fan shall be Panasonic or Broan, 75 cfm at .25"wg external static pressure, 120V., controlled from the light switch.



**CITY OF PORTLAND
BUILDING CODE CERTIFICATE**
389 Congress St., Rm 315
Portland, ME 04101

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: EPISCOPAL DIOCESE OF MAINE

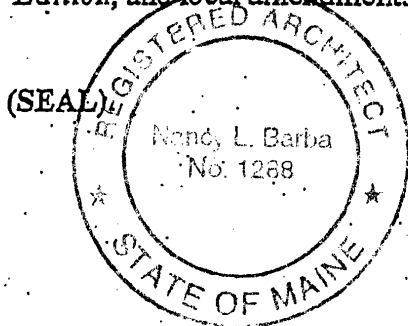
RE: Certificate of Design

DATE: 3-3-04

These plans and/or specifications covering construction work on:

DIOCESAN HEADQUARTERS -
143 STATE STREET, PORTLAND, ME 04101

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition; and local amendments.



Signature Nancy Barba

Title ARCHITECT, PRESIDENT

Firm BARBA ARCHITECTURE & PRESERVATION

Address 500 CONGRESS STREET
PORTLAND, ME 04101

As per Maine State Law:

\$50,000.00 or more in new construction; repair, expansion, addition, or modification for Building or Structures; shall be prepared by a registered design Professional

SECTION 16010 - ELECTRICAL

PART 1 – GENERAL

1.1 SECTION INCLUDES

- A. Provide required electrical work associated with new lighting and electrical branch circuit renovations to the lower level of the Loring House. Under this project phase, the existing electrical service shall remain (240/120 volt, single-phase, three-wire service).
- B. Furnish all materials, labor, tools, transportation, incidentals, and appurtenances to complete in every detail and leave in working order all items of work called for herein or shown on the accompanying drawings.
- C. Include any minor items of work necessary to provide a complete and fully operative electrical system.
- D. The Contractor for this work is referred to Bidding Requirements, General Conditions, Special Conditions, Temporary Services and other pertinent Sections of these Specifications. These sections describe work that is a part of this Contract as contained in Division 1. The following General Provisions amplify and supplement these Sections of Specifications. In cases of conflicting requirements, the stipulations set forth in Division 1 supersede and must be satisfied by the Contractor.

1.2 REFERENCES

- A. ANSI C80.1 – Rigid Steel Conduit, Zinc-Coated.
- B. ANSI C80.3 - Electrical Metallic Tubing, Zinc-Coated.
- C. ANSI / NEMA FB 1 - Fittings and Supports for Conduit and Cable Assemblies.
- D. ANSI / NFPA 70 - National Electrical Code.
- E. ANSI / NFPA 101 - Life Safety Code.
- F. NEMA OS-1 – Sheet Steel Outlet Boxes, Device Boxes, Covers and Box Supports.
- G. NEMA TC2 – Rigid Plastic Conduit and Tubing.
- H. NEMA TC3 – PVC Fittings for Use with Rigid PVC Conduit and Tubing.
- I. NEMA WD 1 – General Purpose Wiring Devices.

1.3 GENERAL REQUIREMENTS

- A. Contractor shall read the entire specifications covering other branches of work. He is responsible for coordination of his work with work performed by other trades.

- B. Consult all Contract drawings which may affect the location of any equipment or apparatus furnished under this work and make minor adjustments in location as necessary to secure coordination.
- C. System layout is schematic and exact locations shall be determined by structural and other conditions. This shall not be construed to mean that the design of the system may be arbitrarily changed. The equipment layout is to fit into the building as constructed and to coordinate with equipment included under other Divisions of work.
- D. Contractor shall contact the Owner's Representative immediately if he notices any discrepancies or omissions in either the drawings or the specifications, or if there are any questions regarding the meaning or intent thereof.
- E. Submit all changes, other than minor adjustments, to the Architect for approval before proceeding with the work.

1.4 SUBMITTALS

- A. Submit under provisions of the following and Division 1.
- B. Submit shop drawings and product data grouped to include complete submittals of related systems, products, and accessories in single submittals.
- C. Mark dimensions and values in units to match those specified.
- D. Contractor shall check all shop drawings for dimensional correctness, interferences and conformance to specifications and plans. Stamp drawings "approved" and indicate when stipulated check has been made before forwarding them. Identify submittal data by project name and equipment identification number.

1.5 REGULATORY REQUIREMENTS


- A. Complete installation shall conform with all applicable Federal, State and Local laws, Codes and Ordinances, included but not limited to latest approved editions of the following:
 - 1. State Building Codes.
 - 2. Specific Construction Safety Requirements, State Industrial Commission.
 - 3. National Electrical Code (NFPA 70).
 - 4. Life Safety Code, NFPA 101.
 - 5. Occupational Safety and Health Act (OSHA) of 1971 and all amendments thereto.
 - 6. Local Building Code(s).
- B. Nothing contained in the drawings and specifications shall be construed to conflict with these laws, codes, and ordinances, and they are thereby included in these specifications.
- C. The Contractor shall visit the site to become familiar with all existing conditions affecting this work. No claim will be recognized for extra compensation due to failure of contractor to familiarize himself/herself with the conditions and extent of proposed work.
- D. Obtain permits. Request inspections from authority having jurisdiction.

1.6 RECORD DRAWINGS

- A. Record any changes in location of boxes, service runs, and similar construction on a set of prints and deliver them to the Owner's Representative upon completion of the work.

1.7 PROJECT/SITE CONDITIONS

- A. Install Work in locations shown on Drawings, unless prevented by Project conditions.
- B. Prepare drawings showing proposed rearrangement of Work to meet Project conditions, including changes to Work specified in other Sections. Obtain permission of Owner and Architect before proceeding.

 WORK BY OTHERS PROVIDED UNDER SEPARATE CONTRACT WITH OWNER

- A. The Owner will contract separately with Seacoast Security to provide all work associated with renovations to existing fire alarm and security.

PART 2 - PRODUCTS

2.1 CONDUIT AND FITTINGS

- A. Electrical Metallic Tubing (EMT): ANSI C80.3 galvanized tubing, ¾" minimum size.
 - 1. Fittings: Compression-type ANSI/NEMA FB1.
- B. Rigid Steel Conduit (RGS): ANSI C80.1.
 - 1. Fittings: ANSI/NEMA FB1; threaded type.
- C. Flexible Metal Conduit: Steel, ¾" minimum size.
 - 1. Fittings: ANSI/NEMA FB1.
- D. Plastic Conduit (PVC): NEMA TC2, Schedule 40 PVC.
 - 1. Fittings: NMA TC3.

2.2 BUILDING WIRE

- A. Description: Single conductor insulated wire, #12 AWG minimum size.
- B. Conductor: Copper only, #12 AWG minimum size.
- C. Insulation Voltage Rating: 600 volts.
- D. Insulation Type: THW or XHHW.

2.3 METAL CAD CABLE

- A. Description: NFPA 70 Type MC.
- B. Conductor: Copper only, #12 AWG minimum size.

- C. Insulation Voltage Rating: 600 volts.
- D. Insulation Temperature Rating: 60 degrees C.
- E. Insulation Material: Thermoplastic.
- F. Armor Material: Steel or Aluminum, interlocking tape.

2.4 BOXES

- A. Outlet boxes: NEMA OS 1, galvanized steel.

2.5 WIRING DEVICES

- A. Manufacturers: *Leviton* model numbers are listed below to establish configuration and type. Equal devices by other approved manufacturers will be accepted.

- B. Wall Switches

1. Description: NEMA WD1, heavy-duty, AC only general-use snap-switch.
2. Voltage Rating: 120-277 volts, AC.
3. Current Rating: 20 Amperes.
4. Color: Gray.
5. SPST: *Leviton* CS120-2GY.
6. 3-Way: *Leviton* CS 320-2GY.

- C. Boiler Cut-off Switch

1. Description: Electrical characteristics to match wall switches.
2. Color: Red.
3. SPST: *Leviton* 1122-2R.

- D. Receptacles

1. Description: NEMA WD1; Heavy-duty type, 125-volt grounded duplex receptacle.
2. Device Body: Gray nylon.
3. Configuration: NEMA 5-20.
4. Model: *Leviton* CR20-GY.

- E. GFIC Receptacles

1. Description: UL 498, 544, 943; 125-volt, ground fault interrupt type duplex receptacle with TEST and RESET.
2. Device Body: Gray nylon.
3. Configuration: NEMA 5-20.
4. Model: *Leviton* 6899-GY.

- F. Wall Plates

1. Description: Gray colored phenolic.
2. Boiler Cut-Off Switch Plate: Red color, engraved "EMERGENCY."

2.6 DISCONNECT SWITCHES

- A. 120-volt Disconnect Switches: *Square D* Class 2510, or approved equal, horsepower rated SPST toggle handle switches in NEMA 1 approved enclosures.
- B. 240 Volt Disconnect Switches: *Square D* Class 3110, or approved equal. NEMA KS 1; Type HD; quick-make, quick-break, load interrupter enclosed knife switch with externally operable handle interlocked to prevent opening front with switch in ON position. Handle lockable in OFF position. Enclosures: NEMA KS 1; Type 1 for indoor locations; Type 3R for outdoor locations.

2.7 GROUNDING MATERIALS

- A. Branch Circuit Ground Conductors: Insulated (green) copper conductors, #12 AWG, minimum size.

2.8 CIRCUIT BREAKERS

- A. Acceptable Manufacturers:
 - 1. *Square D*.
 - 2. Substitutions: None Permitted.
- B. Description:
 - 1. Circuit breakers shall be compatible type for installation in existing *Square D* Load Centers.
 - 2. Molded Case Circuit Breakers: NEMA AB 1; provide circuit breakers with integral thermal and instantaneous magnetic trip in each pole. Provide circuit breakers UL listed as Type HACR for air conditioning equipment branch circuits.
 - 3. Minimum Integrated Short Circuit Rating: 10,000 AIC at 240 volts.
 - 4. Size: 20-ampere, 1-pole.

2.9 LIGHTING FIXTURES

- A. Provide lighting fixtures as listed in the Lighting Fixture Schedule on the Contract Drawings. In addition to the fixtures specified, equivalent lighting fixtures by alternate lighting fixture manufacturers will be considered for approval.
- B. Provide lamps for all new and relocated lighting fixtures as listed in the Lighting Fixture Schedule on the Contract Drawings.

2.10 TELEPHONE/DATA NETWORK SYSTEM

- A. Outlets
 - 1. Description: Duplex outlets with single RJ45 8-position modular CAT5e jack for data network (bottom position); and single RJ11 modular CAT3 jack for telephone (top position). Data jack shall be white. Telephone jack shall be gray.
 - 2. Manufacturers:
 - a. *Hubbell*.

- b. *Panduit.*
 - c. *Amp.*
 - d. Substitutions: Or Approved Equal.
- B. Wiring:
- 1. Data Network: CAT5e unshielded twisted 4-pair wiring, 24 AWG, meeting the requirements of ANSI/ICEA publication S-80-576 (ref. B1.6). Cable jacket color shall be blue.
 - 2. Telephone: CAT3 unshielded twisted 4-pair wiring, 24 AWG. Cable jacket color shall be green.
 - 3. Manufacturers:
 - a. *Mohawk.*
 - b. *Superior.*
 - c. *Amp.*
 - d. *General Cable.*
 - e. Substitutions: Or Approved Equal.
- C. Telephone Wiring Termination Means: Existing 110 wiring blocks.
- D. Data Network Wiring Termination Means: Wall-mounted CAT5e, 24-port patch panel.
- 1. Manufacturers:
 - a. *Amp.*
 - b. *Hubbell.*
 - c. *Panduit.*
 - d. Substitutions: Or Approved Equal.

PART 3 - EXECUTION

3.1 ELECTRICAL DEMOLITION/REMOVALS

- A. Disconnect and remove existing electrical systems equipment, devices and wiring that are scheduled for demolition or are in the way of renovation work.
- B. Relocate and/or extend existing electrical work that must remain in service for existing systems. Where existing electrical circuits that are required to remain active are interrupted by new construction, provide wiring and splice boxes as required to maintain circuit continuity. Extend existing installations using materials and methods compatible with existing electrical installations.
- C. Remove abandoned wiring to source of supply.
- D. Disconnect abandoned outlets and remove devices.
- E. Disconnect and remove electrical devices and equipment serving utilization equipment that has been removed.
- F. Disconnect and remove abandoned luminaires.

- G. The Contractor shall remove and dispose of any electrical equipment that contains hazardous substances according to the requirements of the State of Maine Department of Environmental Protection and the Federal Environmental Protection Agency. Such materials shall include, but are not necessarily limited to PCPs, PCBs, mercury and lead paint. The Contractor shall pay all costs associated with the transportation to and the disposal of such items at sites that are recognized and licensed by the State and Federal authorities.

3.2 CONDUIT INSTALLATION

- A. Conduit Installation Schedule:
 - 1. Underground locations: Schedule 40 PVC.
 - 2. Exterior Locations Above Grade: Rigid Steel Conduit.
 - 3. Interior Exposed Locations: Electrical Metallic Tubing.
 - 4. Interior Motor Connections: Flexible Metal Conduit.
- B. Arrange conduit at basement level to maintain headroom and present a neat appearance. Route exposed conduit parallel and perpendicular to walls and adjacent piping.
- C. Maintain minimum 6-inch clearance between conduit and piping. Maintain 12-inch clearance between conduit and heat sources such as flues, steam pipes, and heating appliances.
- D. Do not fasten conduit with wire or perforated pipe straps. Remove all wire used for temporary conduit support during construction, before conductors are pulled.
- E. Cut conduit square using a saw or pipecutter; de-burr cut ends.
- F. Bring conduit to the shoulder of fittings and couplings and fasten securely.
- G. Use conduit hubs for fastening conduit to cast boxes, and for fastening conduit to sheet metal boxes in damp or wet locations.
- H. Install no more than the equivalent of three 90-degree bends between boxes.
- I. Use conduit bodies to make sharp changes in direction, as around beams.
- J. Avoid moisture traps where possible; where unavoidable, provide junction box with drain fitting at conduit low point.
- K. Use suitable conduit caps to protect installed conduit against entrance of dirt and moisture.

3.3 WIRING INSTALLATION

- A. Wiring Installation Schedule:
 - 1. Branch Circuits in Concealed Interior Locations: Type MC Cable.
 - 2. Branch Circuits at Exposed Interior Locations (basement level): Building Wire in Conduit.
 - 3. All Wiring at Exterior Locations: Building Wire in Conduit.
- B. Install wiring in accordance with manufacturers' instructions.
- C. Pull all conductors into raceway at same time.

- D. Neatly train and lace wiring inside boxes, equipment, and panelboards.
- E. Use split bolt connectors for copper conductor splices and taps, 6 AWG and larger. Tape uninsulated conductors and connector with electrical tape to 150 percent of insulation rating of conductor. Use insulated spring wire connectors with plastic caps for conductor splices and taps, 10 AWG and smaller.
- F. Use 10 AWG conductors for 20-ampere, 120-volt branch circuits longer than 75 feet. Use 12 AWG conductors for 20-ampere, 120-volt branch circuits less than 75 feet long.
- G. Verify continuity of each branch circuit conductor after installation.

3.4 OUTLET, JUNCTION & PULL BOX INSTALLATION

- A. Install electrical boxes as required for splices, taps, wire pulling, equipment connections and compliance with regulatory requirements.
- B. Install electrical boxes to maintain headroom and to present neat mechanical appearance.
- C. Support boxes independently of conduit.
- D. Align adjacent wall-mounted outlet boxes for switches, receptacle outlets, and similar devices with each other.
- E. Use flush mounting outlet boxes where possible in finished areas.
- F. Do not install flush mounting boxes back-to-back in stud walls; provide minimum 6-inch separation. Provide minimum 24 inches separation in acoustic rated walls.
- G. Where two (2) or more single-gang boxes are to be flush-mounted side-by-side in stud walls, mount boxes a stud-width apart.
- H. Secure flush mounting box to interior wall and partition studs. Accurately position to allow for surface finish thickness.
- I. Use stamped steel bridges to fasten flush mounting outlet box between studs.
- J. Install flush mounting box without damaging wall insulation or reducing its effectiveness.
- K. Use gang boxes where more than one device is mounted together. Do not use sectional box. Provide 2-gang plaster rings for 2-gang boxes.
- L. Use single gang box with plaster ring for single device outlets.
- M. Use cast outlet box in exterior locations and wet locations.
- N. Confirm exact locations of floor boxes with Architect prior to installation.

- O. Mounting Heights:
 - 1. Light Switch Boxes: 48" AFF.
 - 2. Receptacle Outlet Boxes: 18" AFF.
 - 3. Boxes at Countertops: 6" above countertop surface.

3.5 WIRING DEVICE INSTALLATION

- A. Verify wall openings are neatly cut and will be completely covered by wall plates.
- B. Provide extension rings to bring outlet boxes flush with finished surface.
- C. Install products in accordance with manufacturer's instructions.
- D. Install devices plumb and level.
- E. Install switches with OFF position down.
- F. Install receptacles with grounding pole on top.
- G. Connect wiring device grounding terminal to branch circuit equipment grounding conductor.
- H. Adjust devices and wall plates to be flush and level.

3.6 DISCONNECT SWITCH INSTALLATION

- A. Provide disconnect switches for all equipment with motors. Install disconnect switches locally at the motor served.

3.7 GROUNDING

- A. Provide branch circuit ground conductors in all branch circuits consisting of an insulated copper conductor.

3.8 CIRCUIT BREAKER INSTALLATION

- A. Install circuit breakers in existing Load Center per manufacturer's instructions. Provide a 20A/1P circuit breaker for each new circuit homerun indicated on the Contract Drawings.
- B. Revise the circuit directory for each new branch circuit.

3.9 LIGHTING INSTALLATION

- A. Install recessed ceiling lighting fixtures per the Architectural Reflected Ceiling Plan.
- B. Install lighting fixtures in accordance with manufacturers' instructions.
- C. Install lamps in each luminaire.

3.10 TELEPHONE/DATA NETWORK INSTALLATION

- A. Data Network Wall Mounted Patch Panel: Install data network patch panel on wall beside existing 110 telephone wiring block. Mount patch panel at 60" AFF.
- B. Outlets shall be seated properly and shall be installed level on walls and parallel to building elements as required.
- C. All conductors of every cable shall be completely terminated at both ends.
- D. Provide all equipment and cabling for a complete installed operating system.
- E. Cable bending radius shall not be less than minimum required by EIA/TIA and BICSI.
- F. Cabling shall be supported concealed above ceilings and exposed at the basement level with J-hooks and/or *Velcro*TM ties.
- G. Cables shall be installed no closer than 12 inches (305mm) to electrical equipment and wiring. When cables are required to cross power wiring, they shall only do so perpendicular to the power wiring. Telecommunications cabling and power wiring shall only cross each other the minimal number of times as required due to building design limitations.
- H. All cables shall be installed in a neat and workman-like manner. Cables shall be installed parallel and perpendicular to building elements.
- I. Cables to be installed in exposed locations shall be protected from chafing or any damage. The Installer shall verify that the warranty shall not be violated before installing any cabling in these locations. Cables damaged during installation shall not be repaired. They shall be completely replaced with new cable.
- J. Provide cutting, coring, sleeves and bushings and seal as required at all penetrations.
- K. Provide permanent pre-printed labels for all cables and terminations.
- L. All cables shall have both ends completely terminated at their respective patch panel and outlet jacks. Individual conductors shall be trimmed flush with IDC block. Cables indicated to be "spare" shall have one end terminated at their respective patch panel or cross-connect block and the other end shall be hermetically sealed with a polyolefin heat-shrinkable cap. Provide *RayChem Co.* or approved equivalent after testing. Tape shall not be approved.
- M. The total length of installed cable for any complete segment shall not exceed 295 feet. Do not splice or otherwise re-terminate any cable used. Terminate only at outlets and at the 110 telephone block or data network patch panel.
- N. Provide 24-inch long CAT5e interconnecting patch cords for each port used at the data network patch panel to connect to the Owner's Internet Connection Switch.

- O. Provide CAT3 interconnecting cable for each telephone outlet termination at the telephone 110 wiring block to connect to the *Verizon* service block.
- P. Upon completion, all data network cables/terminations shall be tested utilizing NRTL certified equipment per EIA/TIA TSB95. Submit written test results for each outlet/cable homerun. The test results shall include:
1. Wire Map
 2. Length
 3. Attenuation
 4. Near-end Crosstalk (NEXT) Loss
 5. NEXT (Near End Cross Talk)
 6. PS-NEXT (Power Sum Near End Cross Talk)
 7. ELFEXT (Equal Level Far End Cross Talk)
 8. PS-ELFEXT (Power Sum Equal Level Far End Cross Talk)
 9. Propagation Delay
 10. Delay Skew
 11. ImpedanceReturn loss
 12. Wire map will determine the following:
 - a. Continuity to the remote end
 - b. Shorts between any two or more conductors
 - c. Crossed pairs
 - d. Reversed pairs
 - e. Split pairs
 - f. Any other miswiring
 13. Below are the current testing requirements in addition to the basic wire-map and length tests for Category 5E cables and the respected limits for each test parameter.

Attenuation	21.6 dB Link – 24.0 dB Channel
NEXT	32.3 dB Link – 30.1 dB Channel
PS-NEXT	29.3 dB Link – 27.1 dB Channel
ELFEXT	20.0 dB Link – 17.4 dB Channel
PS-ELFEXT	17.0 dB Link – 14.4 dB Channel
Return Loss	21.1 dB Link – 10.0 dB Channel
Prop. Delay	510 ns Link – 548 ns Channel
Delay Skew	45 ns – 50 ns Channel
- U. Where data network test results indicate non-conformance with EIA/TIA standards for CAT5e systems, corrective work shall be performed to achieve conformance.

END OF SECTION

Agreement



Listed Central Station

Security Systems

313 Read Street • Portland, Maine 04103 • (207) 878-5858

PROPOSAL SUBMITTED TO	The Episcopal Diocese of Maine Laurie Kazilionis, Dir. of Finance	PHONE	772-1953	DATE	9/10/03
ADDRESS	143 State Street	JOB NAME	Fire Alarm System		
CITY, STATE AND ZIP CODE	Portland, Maine 04102	JOB LOCATION	Same		
ARCHITECT		DATE OF PLANS			

I hereby submit specifications and estimates for:

Purchase and installation of a monitored (U.L. Central Station) system to include:

-Ademco 128FB U.L. Commercial security/fire alarm control panel with batteries and charger.

-One (1) LCD English language keypad ():-Main Foyer

-No (0) door contacts:-

--One (1) 8 point wireless receiver.

-No (0) interior burglary sirens:

-No (0) wide angle passive infrared detectors:

-One (1) synch. module for the strobe/norns.

Free (3) ADA approved synchronized strobe/norns:-Basement -1st Floor Hall-2

-One (1) high water sensor in the basement. ★

-Two (2) ADA approved synchronized strobes:-First Floor Lavs

-Nine (9) smoke detectors:-Basement-5 -2nd Floor Hall -3rd Flr Hall-2 -Laundry Stairs

-City of Portland Electrical Permit.

-Three (3) heat detectors:-Boiler Room -Kitchen -3rd Floor Apartment

PURCHASE---\$ 6,300.00// \$ 300.00 Annual Monitoring

Yes/No:-Exterior "Knox" key box for Fire Dept. Use Only--\$ 700.00

Yes/No:-Eleven (11) office heat detectors off of the 1st & 2nd flr halls--\$ 1,850.00

I propose hereby to furnish material and labor - complete in accordance with above specifications, for the sum of:

includes equipment, installation, tax & 12 month warranty _____ dollars (\$ see above).

Payment to be made as follows: 50% deposit/balance due on completion

This proposal/agreement represents a detection system designed in accordance with discussions between you and the Cunningham, Inc. representative. Additional detection devices, more extensive coverage & a higher level of alarm transmission integrity is available at additional cost.

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workmen's Compensation Insurance.

Authorized Signature *Paul C. Cunningham*

Note: This proposal may be withdrawn by us if not accepted within _____ days.

Acceptance of Agreement - The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature _____

Signature _____

Date of Acceptance _____

CAUTION: ACCEPTANCE OF THIS PROPOSAL/AGREEMENT INCLUDES TERMS AND CONDITIONS ON REVERSE SIDE.



CONSULTING ENGINEERS
BENNETT ROAD P.O. BOX 297
FREEPORT, MAINE 04032
(207) 865-9475

JOB Loring House (N.Barba) - 2074

DESIGNED BY SP Doel DATE 10 OCT 03

CHECKED BY SP Doel DATE 10 OCT 03

SCALE Not to Scale No. MSK-2

General Mechanical Notes:

1. AC-1A, 1B shall be Mitsubishi Model MSH-09EW, mini-split heat pumps, with a cooling capacity of 8800 Btu/h each, 3.4 pints per hour of moisture removal and 10 KW electric heat. The indoor units shall be 120V, 20 A. electrical circuit, with 200 CFM. The outdoor unit (CU-1) shall be Mitsubishi Model MXZ30TN, 230V, 15 A. circuit. Refrigerant piping shall be Type ACR tubing with brazed joints, insulated with 1/2" thick Armaflex insulation. Condensate piping shall be Type "L" copper tube, insulated with 1/2" thick Armaflex.
2. The dehumidifier shall be Thermo-Star "Hi-E Dry" Model 195, 120V, 143 Lbs/day moisture removal with dehumidistat and condensate pump.
3. The humidifier (Alternate) shall be DrisTeem "Vapormist", or approved equal, with a minimum capacity of 100 lbs/yr., 230V/1Ph.
4. New and existing domestic hot and cold water piping shall be Type "L" copper tube, insulated with 1/2" thick Armaflex. Unless otherwise indicated, unused piping and equipment shall be removed and capped or valved, as required.
5. Frost-proof sillcocks (FFHB) shall be Woodford Model 25, anti-siphon type with removable tee handle. Ball valves shall be Apollo or Watts, bronze body, stainless steel ball.
6. The shower (P2) shall be Aquarius Model G 3275 TP, 32"x34"x16"H. two piece gel-coated fiberglass shower unit w/ Symmons "Temprol" pressure-balanced shower valve and head with check-stop inlets. The vanity (P1) shall be Universal-Rundle Model T65303, 30"Wx18"D. with Symmons single handle mixing faucet, pop-up waste and P-trap, water supplies with key-operated stops.
7. Domestic water piping shall be Type "L" copper with soldered joints and insulated with 1/2" thick Armaflex AF unicellular insulation.
8. The existing low pressure steam boiler shall be removed and replaced with a new Weil-McLain Model BL5805 cast-iron sectional boiler with Carlin or Beckett oil burner. Furnish with 15 psig relief valve, tankless coil for domestic water heating and low water cut-off and automatic make-up feeder. Net output shall be 3860 MBH firing 3.90 GPH. Remove and dispose of existing steam boiler.
9. The electric water heater shall be AO Smith Model FEC-40, 40-gallon, 4500 Watt elements, set at 110F., foam insulation, 240V. with pressure and temperature relief valve. The water shall be preheated by the tankless coil on the boiler and the thermostatic mixing valve shall be Symmons or Taco.
10. The radon vent fan shall be Fantech Model FX6, 99 cfm at 10" wg external static pressure.
11. The toilet exhaust fan shall be Panasonic or Broan, 75 cfm at 25"wg external static pressure, 120V., controlled from the light switch.
12. The boiler installation shall include a packaged duplex condensate return unit (pump and receiver) by Hoffman or Domestic. New steam and condensate piping shall be provided as required and insulated with 1" thick fiberglass pipe insulation with ASJ.

ISSUED FOR CONSTRUCTION

Revised 10/16/03

Episcopal Diocese Archives -
Renovations to the Loring House
Portland, Maine

Addendum No. 1

October 16, 2003

The following list modifies, amends, and supplements designated parts of the Bid Documents (Project Manual and Contract Documents) dated October 10, 2003 and is hereby made a part thereof by reference and shall be binding as though inserted in its entirety in the locations specified herein. It shall be the responsibility of the Contractors to notify all subcontractors and suppliers they propose to use for the various parts of the work, of any changes or modifications contained in the Addendum.

Modifications and Additions to the Project Manual, dated October 10, 2003

- Item PM1 General Conditions
Add the following notes:
"The existing concrete floors are sloped in some rooms. The new floor surface shall be level, with the sleepers being ripped to the slope, the minimal sleeper measuring 1-1/2 inch in height at the high point of the concrete floor. The contractor to confirm the existing conditions and proposed solutions with the Architect prior to beginning any work and to discuss the locations where single steps (at doorways or openings) may need to be occur in order to make the floor level."

"Contractor to patch floor at open trenches in the Rear Hall. If the piping in the trench is defunct, patch shall be with an appropriate cementitious material, making the patched floor level flush with the existing. If the piping in the trench is active, patch shall be a steel plate set flush with the floor level."
- Item No. PM2 Mechanical sketch MSK-2 (see attached)
REPLACE: Note No. 8 with note No. 8 from the attached MSK-2.
ADD: Note No. 12 from the attached MSK-2.

#2

ELECTRICAL PERMIT

City of Portland, Me.



FEB 25 2004

To the Chief Electrical Inspector, Portland Maine:
 The undersigned hereby applies for a permit to make electrical installations
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,
 National Electrical Code and the following specifications:

Date 2-25-04
 Permit # 2004-4168
 CBL# 045 A 037

LOCATION: 143 State Street METER MAKE & # _____
 CMP ACCOUNT # _____ OWNER Principal Process Group House
 TENANT _____ PHONE # _____

							TOTAL	EACH FEE	
OUTLETS	24	Receptacles	14	Switches		Smoke Detector	.20		
FIXTURES		Incandescent	30	Fluorescent		Strips	.20		
SERVICES		Overhead		Underground		TTL AMPS <800	15.00		
		Overhead		Underground		>800	25.00		
Temporary Service		Overhead		Underground		TTL AMPS	25.00		
							25.00		
METERS		(number of)					1.00		
MOTORS		(number of)					2.00		
RESID/COM		Electric units					1.00		
HEATING		oil/gas units		Interior		Exterior	5.00		
APPLIANCES		Ranges		Cook Tops		Wall Ovens	2.00		
		Insta-Hot		Water heaters		Fans	2.00		
		Dryers		Disposals		Dishwasher	2.00		
		Compactors		Spa		Washing Machine	2.00		
		Others (denote)					2.00		
	MISC. (number of)		Air Cond/win					3.00	
		2	Air Cond/cent				Pools	10.00	20.00
		HVAC		EMS			Thermostat	5.00	
	Signs						10.00		
	Alarms/res						5.00		
	Alarms/com						15.00		
	Heavy Duty(CRKT)						2.00		
	Circus/Carnv						25.00		
	Alterations						5.00		
	Fire Repairs						15.00		
	E Lights						1.00		
	E Generators						20.00		
PANELS		Service		Remote		Main	4.00		
		0-25 Kva					5.00		
		25-200 Kva					8.00		
TRANSFORMER		Over 200 Kva					10.00		
TOTAL AMOUNT DUE									
MINIMUM FEE/COMMERCIAL <u>45.00</u>							MINIMUM FEE	35.00	

CONTRACTORS NAME Hannan's Electric Inc MASTER LIC. # 16842
 ADDRESS 897 Broadway S.P LIMITED LIC. # _____
 TELEPHONE 767 2471

SIGNATURE OF CONTRACTOR _____
 White Copy - Office • Yellow Copy - Applicant

#8902

#2

ELECTRICAL PERMIT

City of Portland, Me.



To the Chief Electrical Inspector, Portland Maine:
 The undersigned hereby applies for a permit to make electrical installations
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,
 National Electrical Code and the following specifications:

Date 5/26/04
 Permit # 2004-4501
 CBL# 045 A 037

LOCATION: 143 STATE ST METER MAKE & # _____
 CMP ACCOUNT # _____ OWNER EPISCOPAL DIOCESE OF PORTLAND
 TENANT _____ PHONE # _____

					TOTAL EACH FEE	
OUTLETS	Receptacles	Switches	Smoke Detector			.20
FIXTURES	Incandescent	Fluorescent	Strips			.20
SERVICES	Overhead	Underground	TTL AMPS <800			15.00
	Overhead	Underground	>800			25.00
Temporary Service	Overhead	Underground	TTL AMPS			25.00
						25.00
METERS	(number of)					1.00
MOTORS	(number of)					2.00
RESID/COM	Electric units					1.00
HEATING	oil/gas units	Interior	Exterior			5.00
APPLIANCES	Ranges	Cook Tops	Wall Ovens			2.00
	Insta-Hot	Water heaters	Fans			2.00
	Dryers	Disposals	Dishwasher			2.00
	Compactors	Spa	Washing Machine			2.00
	Others (denote)					2.00
MISC. (number of)	Air Cond/win					3.00
	Air Cond/cent		Pools			10.00
	HVAC	EMS	Thermostat			5.00
	Signs					10.00
<u>FIRE/BURGLAR</u>	Alarms/res					5.00
	Alarms/com					15.00
	Heavy Duty(CRKT)					2.00
	Circus/Carnv					25.00
	Alterations					5.00
	Fire Repairs					15.00
	E Lights					1.00
	E Generators					20.00
PANELS	Service	Remote	Main			4.00
TRANSFORMER	0-25 Kva					5.00
	25-200 Kva					8.00
	Over 200 Kva					10.00
					TOTAL AMOUNT DUE	
MINIMUM FEE/COMMERCIAL 45.00					MINIMUM FEE	35.00
						45.00

MAY 26 2004

RECEIVED

CONTRACTORS NAME Cunningham Security MASTER LIC. # _____
 ADDRESS 313 ROAD ST LIMITED LIC. # LM 50013970
 TELEPHONE 878-5858

SIGNATURE OF CONTRACTOR Paul Cunningham
 White Copy - Office • Yellow Copy - Applicant

4952

PLUMBING APPLICATION

PROPERTY ADDRESS

Town or Plantation: Rum
 Street Subdivision Lot #: E 143 5000 S

PROPERTY OWNERS NAME

Last: Episcopo First: David

Applicant Name: CAROL WALKER

Mailing Address of Owner/Applicant (If Different): 321 LINCOLN ST
SOUTH PORTLAND ME

2004-8125

Date Permit Issued: 4/12/04 \$ 300 If Double Fee Charged

Local Plumbing Inspector Signature: [Signature] L.P.I. # 06810

045A 37

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspectors to deny a Permit.

Signature of Owner/Applicant: [Signature] Date: 4/12/04

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature: _____ Date Approved: _____

PERMIT INFORMATION

This Application is for 1. <input checked="" type="checkbox"/> NEW PLUMBING 2. <input type="checkbox"/> RELOCATED PLUMBING	Type of Structure To Be Served: 1. <input type="checkbox"/> SINGLE FAMILY DWELLING 2. <input type="checkbox"/> MODULAR OR MOBILE HOME 3. <input type="checkbox"/> MULTIPLE FAMILY DWELLING 4. <input checked="" type="checkbox"/> OTHER - SPECIFY <u>OFFICE</u>	Plumbing To Be Installed By: 1. <input checked="" type="checkbox"/> MASTER PLUMBER 2. <input type="checkbox"/> OIL BURNERMAN 3. <input type="checkbox"/> MFG'D. HOUSING DEALER/MECHANIC 4. <input type="checkbox"/> PUBLIC UTILITY EMPLOYEE 5. <input type="checkbox"/> PROPERTY OWNER LICENSE # <u>101536</u>
---	--	---

Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Column 2 Type of Fixture		Column 1 Type of Fixture	
	Number	Type of Fixture	Number	Type of Fixture
HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District. OR HOOK-UP: to an existing subsurface wastewater disposal system. PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures. OR TRANSFER FEE [\$6.00]		Hosebibb / Sillcock		Bathtub (and Shower)
		Floor Drain	/	Shower (Separate)
		Urinal	/	Sink
		Drinking Fountain		Wash Basin
		Indirect Waste	/	Water Closet (Toilet)
		Water Treatment Softener, Filter, etc.		Clothes Washer
		Grease / Oil Separator		Dish Washer
		Dental Cuspidor		Garbage Disposal
		Bidet		Laundry Tub
		Other: _____	/	Water Heater
	Fixtures (Subtotal) Column 2	4	Fixtures (Subtotal) Column 1	
			Fixtures (Subtotal) Column 2	
			Total Fixtures	
			Fixture Fee	
			Transfer Fee	
			Hook-Up & Relocation Fee	
			Permit Fee (Total)	

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

30

EPISCOPAL DIOCESE ARCHIVES - RENOVATIONS TO THE LORING HOUSE

143 STATE STREET
PORTLAND, MAINE

OCTOBER 10, 2003
ISSUED FOR CONSTRUCTION

OWNER

EPISCOPAL DIOCESE OF MAINE
143 STATE STREET
PORTLAND, MAINE 04101

ARCHITECT

BARBA ARCHITECTURE & PRESERVATION
500 CONGRESS STREET
PORTLAND, MAINE 04101
PHONE (207)772-2722
FAX (207)772-3667

ELECTRICAL ENGINEER

BARTLETT DESIGN
942 WASHINGTON STREET
BATH, MAINE 04530
PHONE (207)443-5447
FAX (207)443-5560

MECHANICAL ENGINEER

BENNETT ENGINEERING
PO BOX 297
FREEPORT, MAINE 04032
PHONE (207)865-9475
FAX (207)865-1800

DRAWING LIST

G1.1 TITLE SHEET

EX1.1 EXISTING PLANS

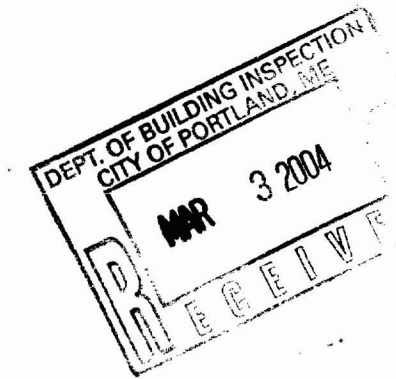
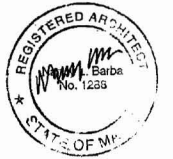
A1.1 NEW ARCHIVE PLAN, WALL TYPES, AND SCHEDULES

A1.2 NEW ARCHIVE REFLECTED CEILING PLAN

E1 POWER PLAN

E2 LIGHTING PLAN

MECHANICAL: SEE 8 1/2" x 11" SKETCHES
IN PROJECT MANUAL



OUT-A03

45 A.13

LORING HOUSE
143 STATE STREET
PORTLAND, MAINE

Title: TITLE SHEET

Date: OCTOBER 9, 2003

Revisions:

Issued For: CEO REVIEW

Drawing No:

G1.1



LORING HOUSE
 143 STATE STREET
 PORTLAND, MAINE

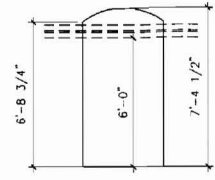
Title:
EXISTING CONDITIONS

Date: OCTOBER 9, 2003
 Revisions:

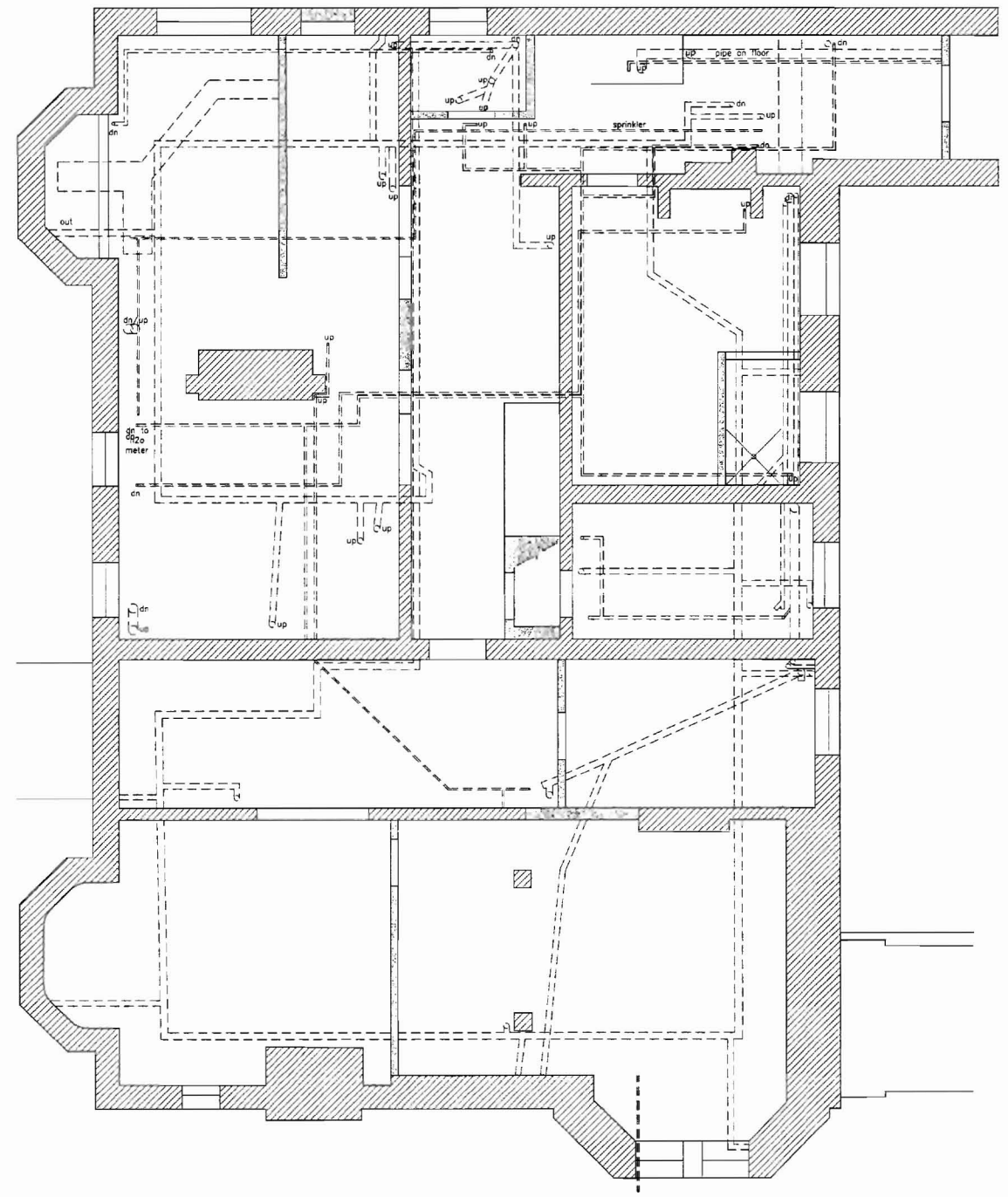
Issued For: CEO REVIEW

Drawing No:

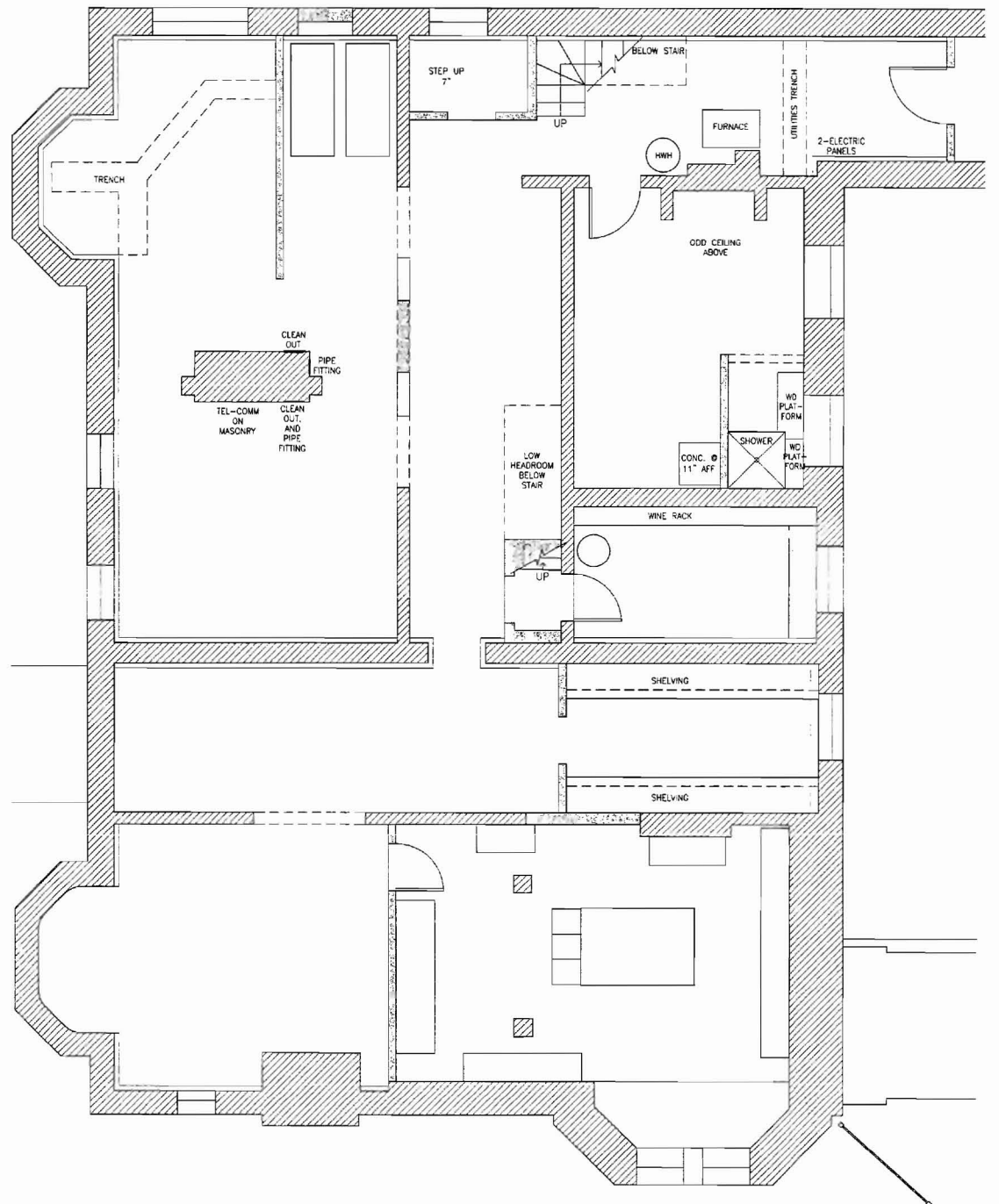
EX1.1



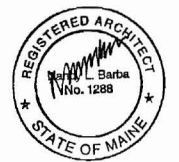
3 TYP. ARCHED OPENING
 1/4"=1'-0"



2 EXISTING BASEMENT RCP/PIPING PLAN
 1/4"=1'-0"



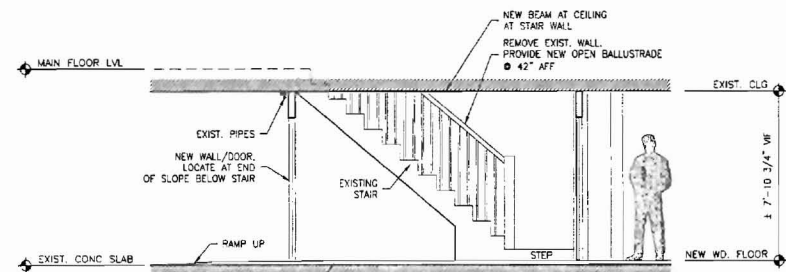
1 EXISTING BASEMENT FLOOR PLAN
 1/4"=1'-0"



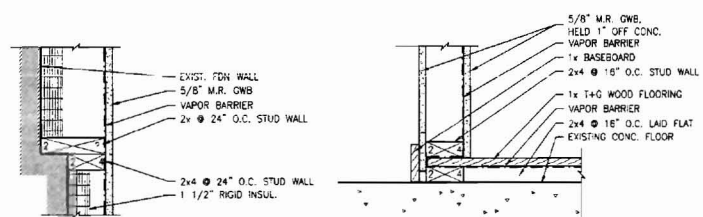
LORING HOUSE
 143 STATE STREET
 PORTLAND, MAINE

DOOR SCHEDULE						
NO.	DOOR		SIZE		THICK	NOTES
	FROM ROOM	TO ROOM	WIDTH	HEIGHT		
B01	MECH. HALL	MECHANICAL ROOM	3'-0"	6'-8"	1 3/4"	1 HOUR FIRE RATED DOOR
B02	STAIR HALL	RESEARCH AREA	3'-0"	6'-8"	1 3/4"	1 HOUR FIRE RATED DOOR
B03	MECH. HALL	NEW BATHROOM	3'-0"	6'-8"	1 3/4"	
B04	OIL TANKS	BACK HALL	3'-0"	6'-8"	1 3/4"	
B05	COPY CENTER	STAIR HALL	3'-0"	6'-8"	1 3/4"	
B06	MECH. OR STOR.	BACK HALL	2'-6 1/2" VIF	6'-6 1/4" VIF	1 3/4"	REWORK FRAME STOP TO ACCOMMODATE NEW OUTSWING DOOR
B07	STAIR HALL	BACK HALL	3'-0"	6'-8"	1 3/4"	
B08	TEL-COMM CLOSET	COPY CENTER	2'-6" PAIR	6'-8"	1 3/8"	
B09	BACK HALL	OUTSIDE	3'-0"	6'-8"	1 3/4"	METAL INSULATED DOOR

WINDOW SCHEDULE	
WINDOW	NOTES
A	REHABILITATE EXIST. CELLAR SASH. PROVIDE NEW INTERIOR STORM WINDOW W/ UV FILTER ON GLASS
B	SAME AS WINDOW TYPE A, EXCEPT NO UV FILTER ON GLASS

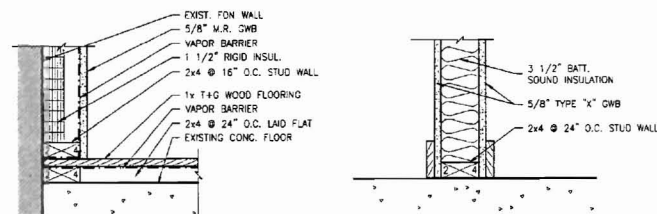


3 STAIR ELEVATION
 1/4"=1'-0" A1.1



WALL TYPE #1

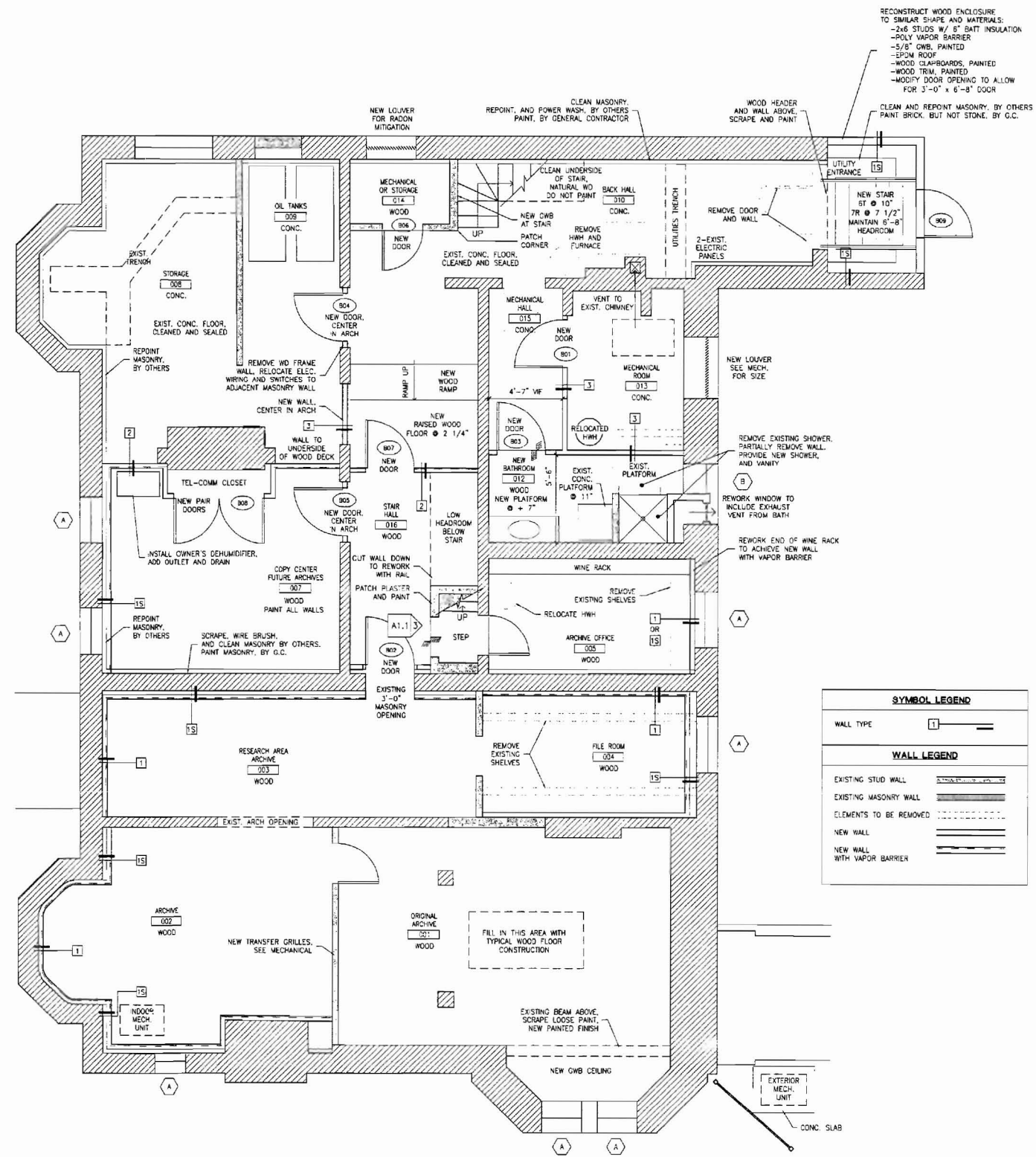
WALL TYPE #2



WALL TYPE #1

WALL TYPE #3

2 WALL TYPES
 1 1/2"=1'-0"



SYMBOL LEGEND	
WALL TYPE	1
WALL LEGEND	
EXISTING STUD WALL	(Symbol)
EXISTING MASONRY WALL	(Symbol)
ELEMENTS TO BE REMOVED	(Symbol)
NEW WALL	(Symbol)
NEW WALL WITH VAPOR BARRIER	(Symbol)

1 NEW ARCHIVE PLAN
 1/4"=1'-0"

Title:
**NEW ARCHIVE PLAN,
 WALL TYPES,
 AND SCHEDULES**

Date: OCTOBER 9, 2003

Revisions:

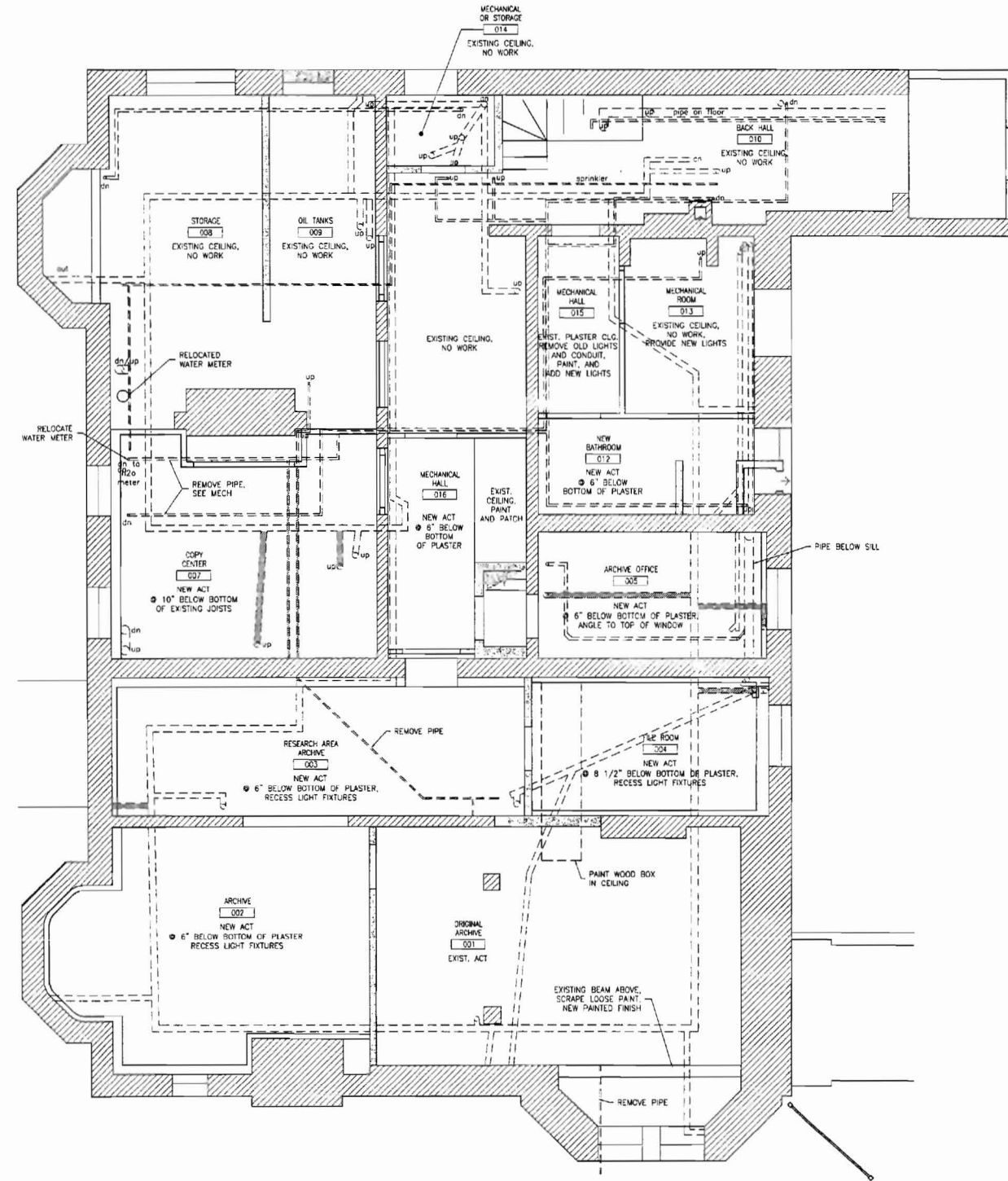
Issued For: CEO REVIEW

Drawing No:

A1.1



LORING HOUSE
 143 STATE STREET
 PORTLAND, MAINE



GENERAL NOTES

1. PIPING DRAWINGS ARE DIAGRAMMATIC ONLY. VERIFY LOCATIONS IN FIELD.
2. SHADED PIPE INDICATES PIPE TO BE CONCEALED ABOVE NEW ACT CEILING.

1 NEW ARCHIVE REFLECTED CEILING PLAN
 1/4"=1'-0"

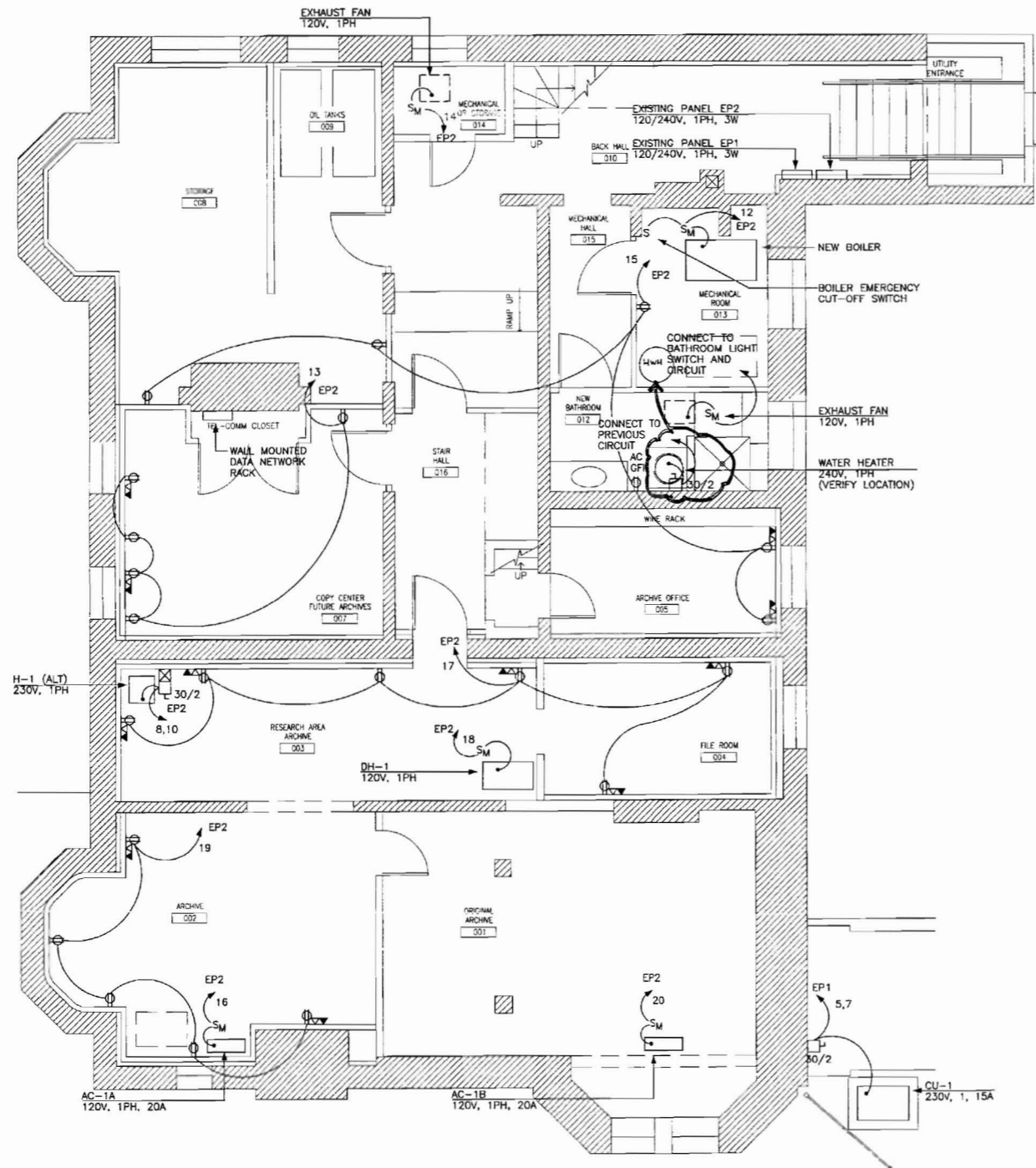
Title:
NEW ARCHIVE REFLECTED CEILING PLAN

Date: OCTOBER 9, 2003
 Revisions:

Issued For: CEO REVIEW

Drawing No:

A1.2



LORING HOUSE
 143 STATE STREET
 PORTLAND, MAINE

Title:
POWER PLAN

Project No:
 Date: **OCTOBER 10, 2003**
 Revisions:

Issued For: **CONSTRUCTION**

Drawing No:
E1



CITY OF PORTLAND, MAINE
Department of Building Inspections

20

Received from _____

Location of Work _____

Cost of Construction \$ _____

Permit Fee \$ _____

Building (IL) ___ Plumbing (I5) ___ Electrical (I2) ___ Site Plan (U2) ___

Other _____

CBL: _____

Check #: _____ **Total Collected \$** _____

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy