



Project	JMM
Issued For	90% CONSTRUCTION DOCUMENTS
Date	5/23/14
Rev. No.	1
	2
	3

STATE STREET CONGREGATIONAL CHURCH  
PORTLAND, ME  
CHAPEL/CLERESTORY EXTERIOR RENOVATION  
WEST ELEVATION

Designed	JMM	Scale	NOTED
Drawn	MSK	Date	09/25/14
Checked	EAR	Becker Job Number	3230.01

**PROJECT GENERAL NOTES**

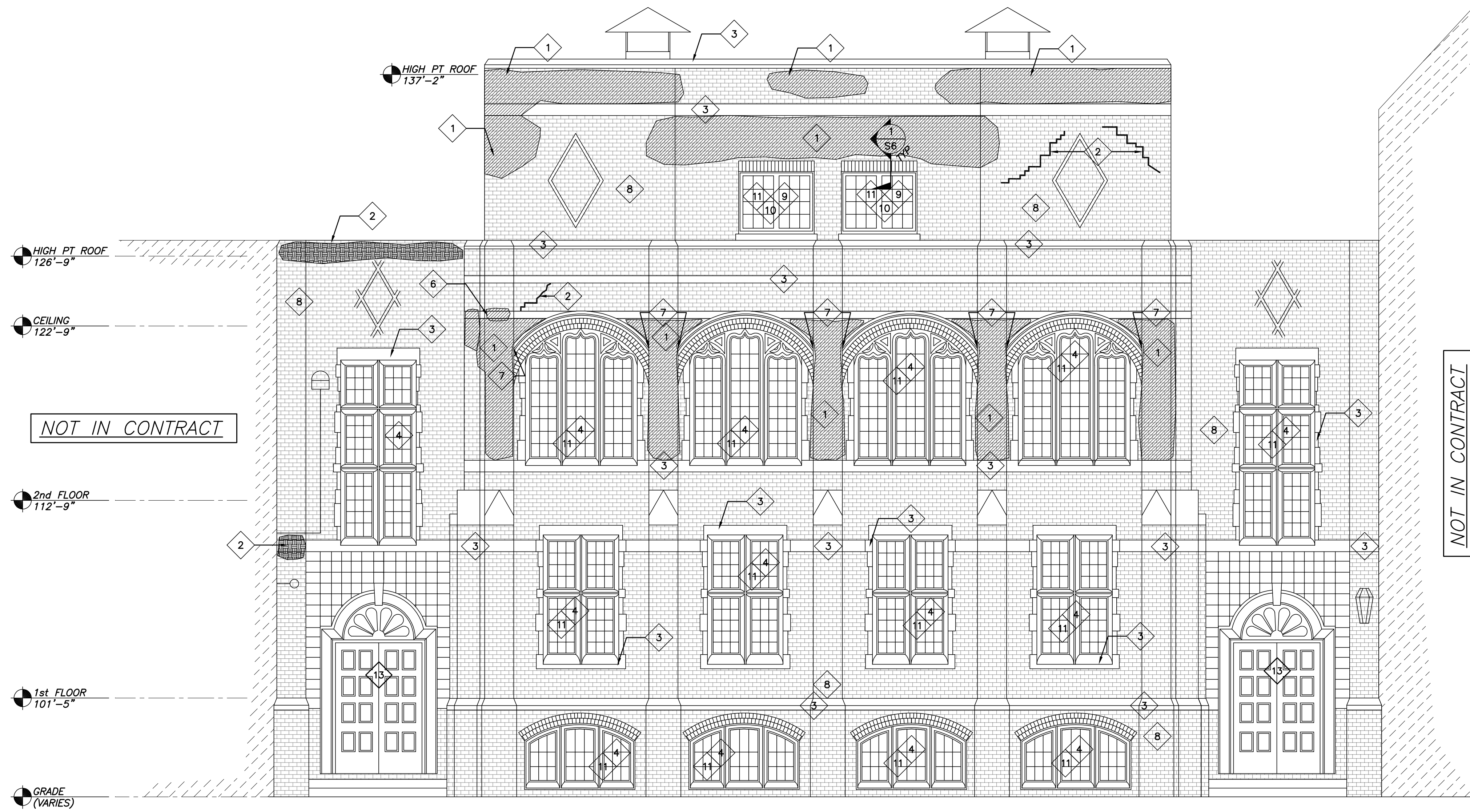
- CONTRACTOR IS REQUIRED TO VISIT THE SITE AND THOROUGHLY FAMILIARIZE THEMSELVES WITH THE WORK AREAS AND WORK AREA ACCESS AND OTHER CONDITIONS AFFECTING PERFORMANCE OF THE WORK SPECIFIED BY THIS CONTRACT.
- THE CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE OWNER'S PROPERTY AND DISPOSE OF DEBRIS ACCORDING TO LOCAL REGULATIONS.
- THE CONTRACTOR SHALL CONDUCT ALL OPERATIONS IN STRICT ACCORDANCE WITH THE SAFETY REQUIREMENTS IMPOSED BY THE OWNER AND OSHA. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS GOVERNING THIS WORK.
- CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES ORDINANCES AND PROCEDURES UNDER THE JURISDICTION OF THE CITY OF PORTLAND, ME AND THE STATE OF MAINE.
- ENGINEERING DRAWINGS: ALL DEVIATIONS BASED ON FIELD CONDITIONS FROM THE ENGINEERING DRAWINGS SHALL BE SUBMITTED IN WRITTEN FORM TO THE OWNER OR THEIR REPRESENTATIVE FOR APPROVAL PRIOR TO PROCEEDING WITH WORK.
- DIMENSIONS PERTAINING TO EXISTING CONDITIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO ANY FABRICATIONS, CONSTRUCTION OR ERECTION.
- COORDINATE ACCESS TO INTERIOR SPACES AS MAY BE REQUIRED TO PERFORM INTERIOR WORK IN THE CONTRACT WITH OWNER REPRESENTATIVE OR THEIR DESIGNATED LIAISON AT LEAST 48 HOURS IN ADVANCE.
- CONTRACTOR IS REQUIRED TO APPLY, RECEIVE, AND PAY FOR ALL CONSTRUCTION PERMITS REQUIRED TO EXECUTE THE WORK OF THIS CONTRACT.
- CONTRACTOR IS REQUIRED TO RESTORE ALL AREAS USED FOR ACCESS AND STAGING TO PRECONSTRUCTION CONDITION AT COMPLETION OF WORK.
- THE CONTRACTOR SHALL SUPPORT, BRACE, SHORE, RE-SHORE AND SECURE THE EXISTING STRUCTURE AS REQUIRED. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SAFETY OF THE EXISTING BUILDING DURING CONSTRUCTION.

**FACADE REPAIR KEYED NOTES**

- FULL DEPTH BRICK MASONRY WALL REBUILD. SEE FACADE GENERAL NOTES FOR FURTHER INFORMATION.
- CUT OUT BRICK MASONRY JOINTS AND REPOINT. REPLACE CRACKED MASONRY UNITS. SEE SHEET S6.
- CUT OUT LIMESTONE JOINTS AND REPOINT 100%; INCLUDING LIMESTONE TO BRICK MASONRY JOINT.
- CUT OUT LIMESTONE TRACERY JOINTS AND REPOINT 100%; INCLUDING LIMESTONE TO BRICK MASONRY JOINT.
- ROUT CRACKS IN LIMESTONE AND SEAL WITH SEALANT.
- PERFORM DUTCHMAN REPAIR TO SPALLED LIMESTONE BANDING/COPING. SEE SHEET S6.
- LIMESTONE WINDOW ARCH REMOVAL AND RESET AS NEEDED FOR MASONRY WALL REBUILD.
- CLEAN MASONRY FACADE 100%, TYP.
- STRIP WOOD FRAMES OF PAINT. REPAIR WOOD FRAMES WITH WOOD EPOXY FILLER AND PREPARE FOR PAINTING. REPAIR FRAMES.
- CUT OUT UPPER CLERESTORY/CHAPEL WINDOW PERIMETER SEALANT AND RESEAL.
- REMOVE AND REPLACE PLEXIGLASS. CAREFULLY REMOVE ADHESIVE AND FASTENERS FROM LIMESTONE. PATCH HOLES. SEE SHEET S7.
- SEAL CRACKED LEADED GLASS WITH SEALANT.
- DOOR REPAIR/REFURBISHMENT AND HARDWARE REPLACEMENT. (ADD ALTERNATE #2)

**FACADE GENERAL NOTES**

- MATCH SIZE, PROFILE, TEXTURE AND STYLE OF BRICK MASONRY TO EXISTING. NOTE THAT TWO STYLES OF BRICK MASONRY EXIST AS NOTED FROM THE ORIGINAL 1920'S CONSTRUCTION DRAWINGS: COMMON BRICK AND WATERSTRUCK BRICK.
- PROVIDE THE FOLLOWING FACADE MOCK-UPS FOR RESTORATION METHODS, CLEANING PROCEDURES, TEXTURE AND COLOR COMPARISON TO DEMONSTRATE AESTHETIC EFFECTS AND QUALITIES OF MATERIALS AND EXECUTION: FACADE CLEANING, MASONRY REPOINTING, FULL DEPTH MASONRY REPAIRS AND WINDOW REPAIRS.
- ASSUMED BRICK MASONRY WALL REBUILD FULL DEPTH REPAIR EXTENDS 2 WYTHES THICK. NOTIFY ENGINEER IMMEDIATELY IF DETERIORATION EXCEED 2 WYTHES DEEP. WALL REBUILDING INCLUDES REMOVAL OF DETERIORATED SECTIONS, SALVAGING EXISTING MASONRY, REPOINTING OF BACKUP WALL, REPLACEMENT OF CRACKED MASONRY UNITS AND INSTALLING 1/2" MIN. LONG STAINLESS STEEL "STARITE" HELICAL ANCHORS BY HELIX. ANCHOR NEW OUTER WYTHE TO SOUND BACKUP MASONRY PER TYPICAL DETAIL AND SPECIFICATIONS. REFERENCE SPECIFICATIONS FOR BRICK TYPE AND PRODUCT. TOOTH REBUILD MASONRY INTO EXISTING SURROUNDING MASONRY.
- IF THE EXTENTS OF BRICK MASONRY WALL REBUILD EXTEND TO THE EXISTING COPPER THROUGH-WALL FLASHING OR OTHER WALL FLASHING; CONTRACTOR IS REQUIRED TO LINE/FLASH EXISTING THROUGH-WALL FLASHING WITH APPROVED RUBBERIZED ASPHALT SHEET MEMBRANE. SEAL ALL TERMINATIONS AND SEAMS WATERTIGHT. PROVIDE END DAMS AT ALL TERMINATIONS. NOTIFY ENGINEER IMMEDIATELY IF THROUGH-WALL FLASHING HAS DETERIORATED AND DOES NOT PROVIDE A SOUND SUBSTRATE FOR NEW FLASHING MEMBRANE.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL REQUIRED SHORING WHILE MASONRY RESTORATION TAKES PLACE.
- INCLUDE IN BASE BID CUTTING OUT AND REPOINTING 25% OF EACH FACADE. ALL AREAS OF POINTING ARE NOT INDICATED ON THE DRAWINGS. MASONRY WALL REBUILD IS NOT TO BE INCLUDED IN THIS COST AND VICE VERSA.
- ENTIRE FACADE IS TO BE CLEANED TO REMOVE DIRT, GRIME, EFFLORESCENCE, & COPPER STAINING. REFER TO SPECIFICATIONS FOR CLEANING PRODUCTS.



**WEST ELEVATION**

- 1/4"=1'-0"
- AREAS OF BRICK MASONRY WALL REBUILD.
  - AREAS OF BRICK MASONRY JOINTS REPOINTING.
  - BRICK MASONRY STEP CRACKING. SEE KEYED NOTE #5.

**PROJECT GENERAL NOTES**

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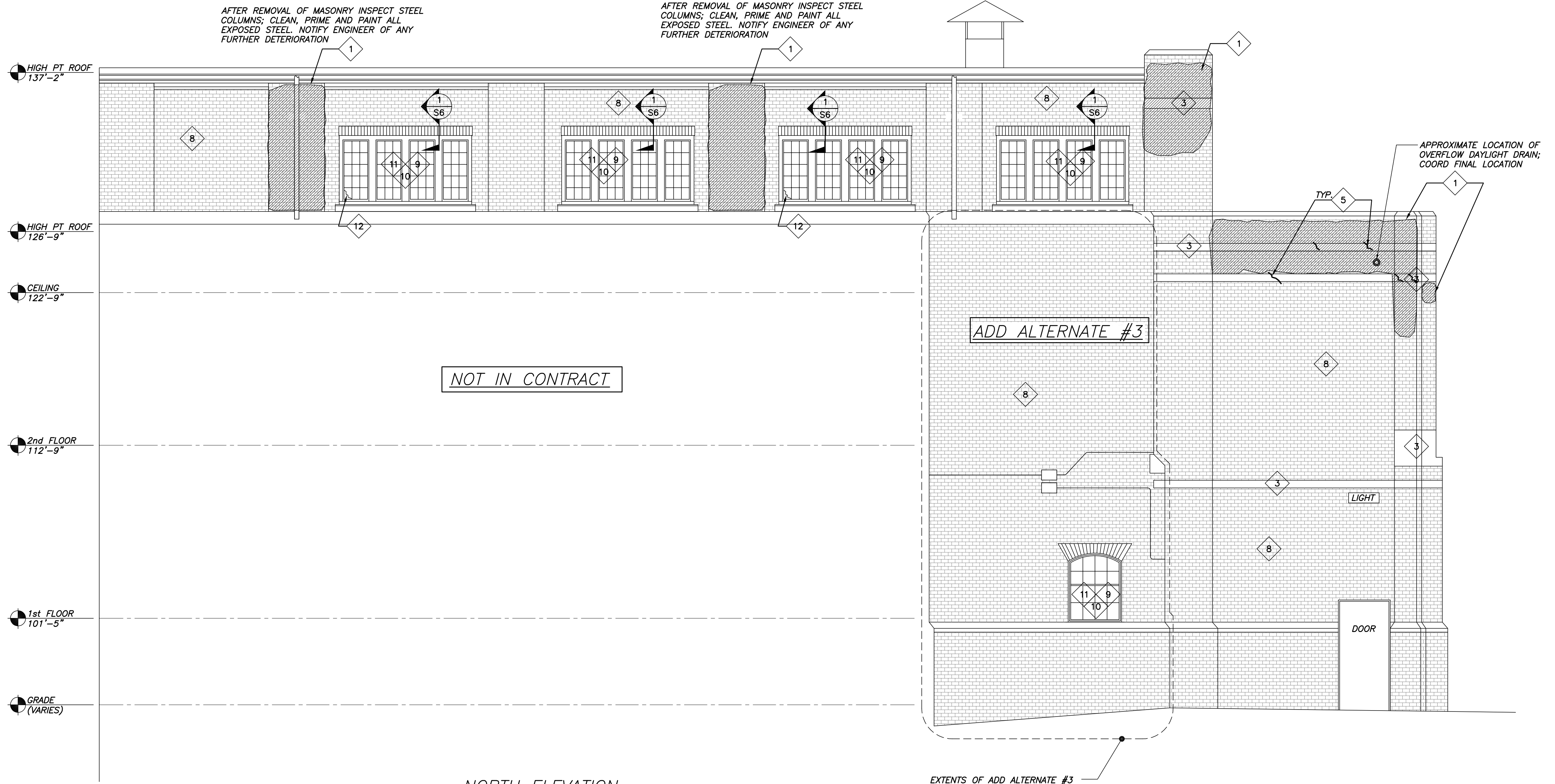
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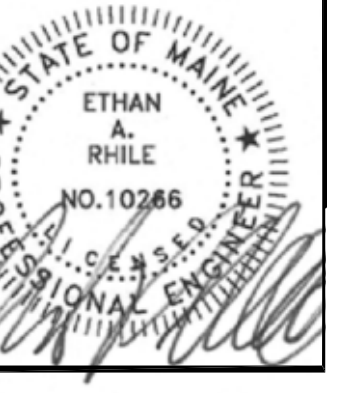
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**NORTH ELEVATION**

1/4"=1'-0"

- AREAS OF BRICK MASONRY WALL REBUILD.
- AREAS OF BRICK MASONRY JOINTS REPOINTING.
- BRICK MASONRY STEP CRACKING. SEE KEYED NOTE #5.



Approved For	JMM
Date	5/23/14
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STATE STREET CONGREGATIONAL CHURCH  
 PORTLAND, ME  
 CHAPEL/CLERESTORY EXTERIOR RENOVATION  
 NORTH ELEVATION

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S3

**PROJECT GENERAL NOTES**

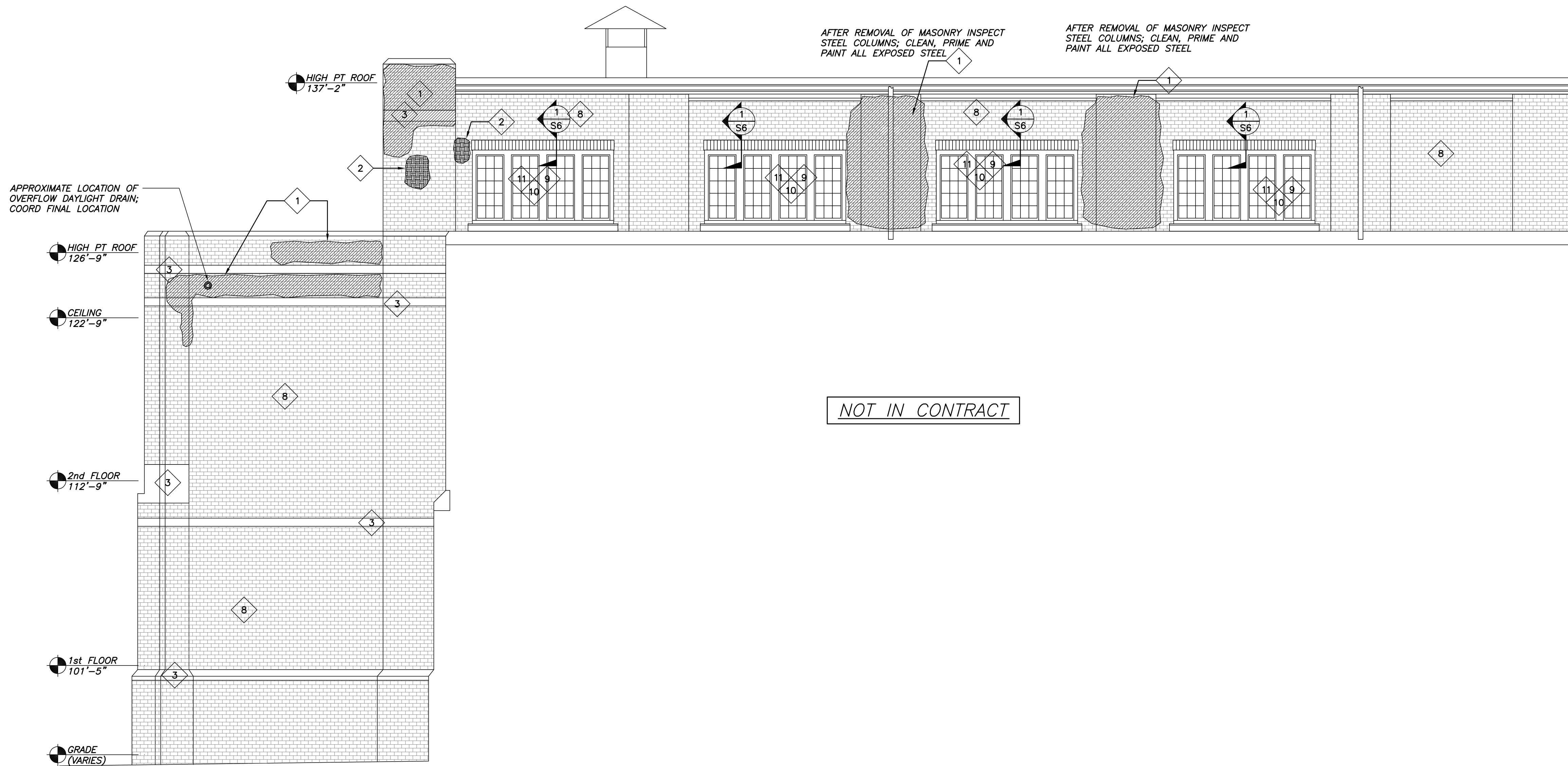
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**SOUTH ELEVATION**

1/4"=1'-0"

- ▨ AREAS OF BRICK MASONRY WALL REBUILD.
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- ~ BRICK MASONRY STEP CRACKING. SEE KEYED NOTE #5.

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FINAL REVIEW

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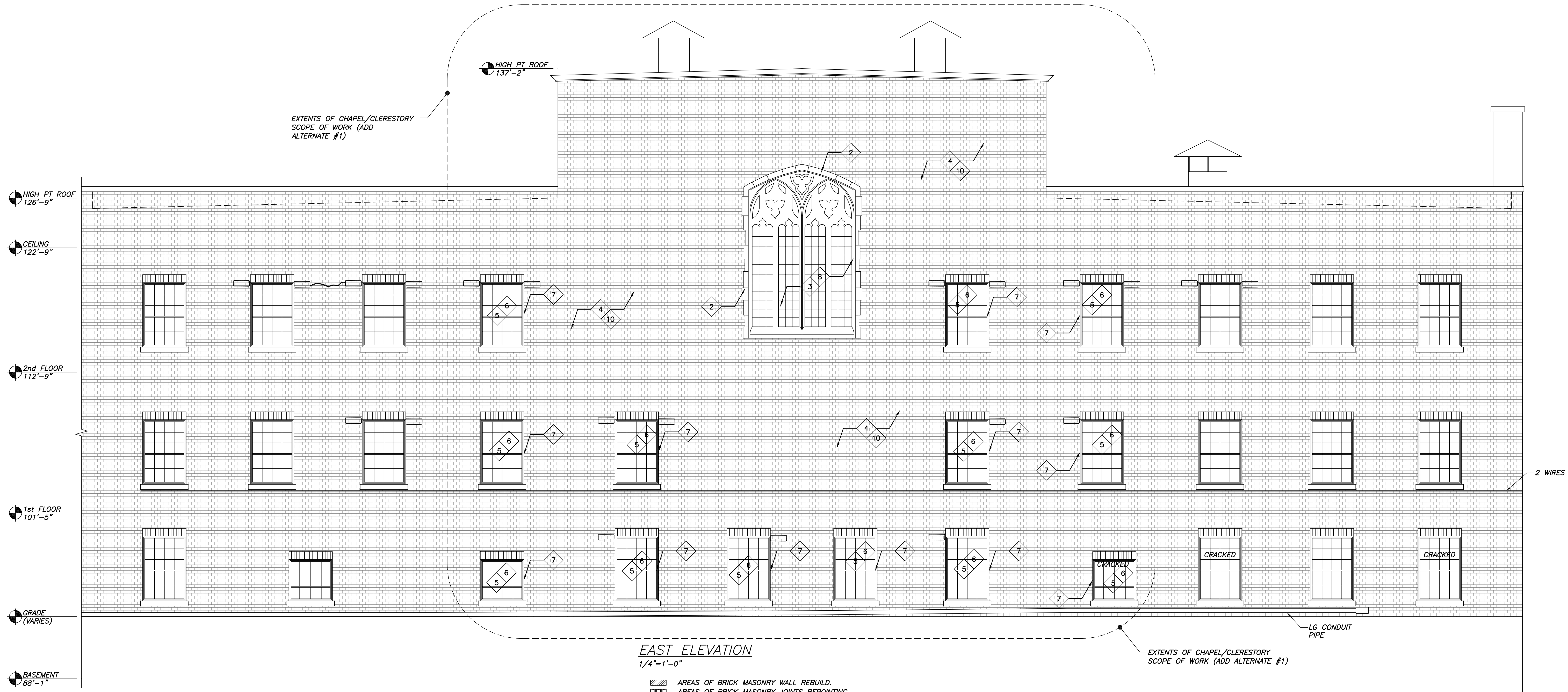
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S5



**EAST ELEVATION**  
1/4"=1'-0"

- AREAS OF BRICK MASONRY WALL REBUILD.
- AREAS OF BRICK MASONRY JOINTS REPOINTING.
- SPALLED MORTAR AND BRICK CAUSED BY DETERIORATED STEEL ANGLE WINDOW LINTEL.
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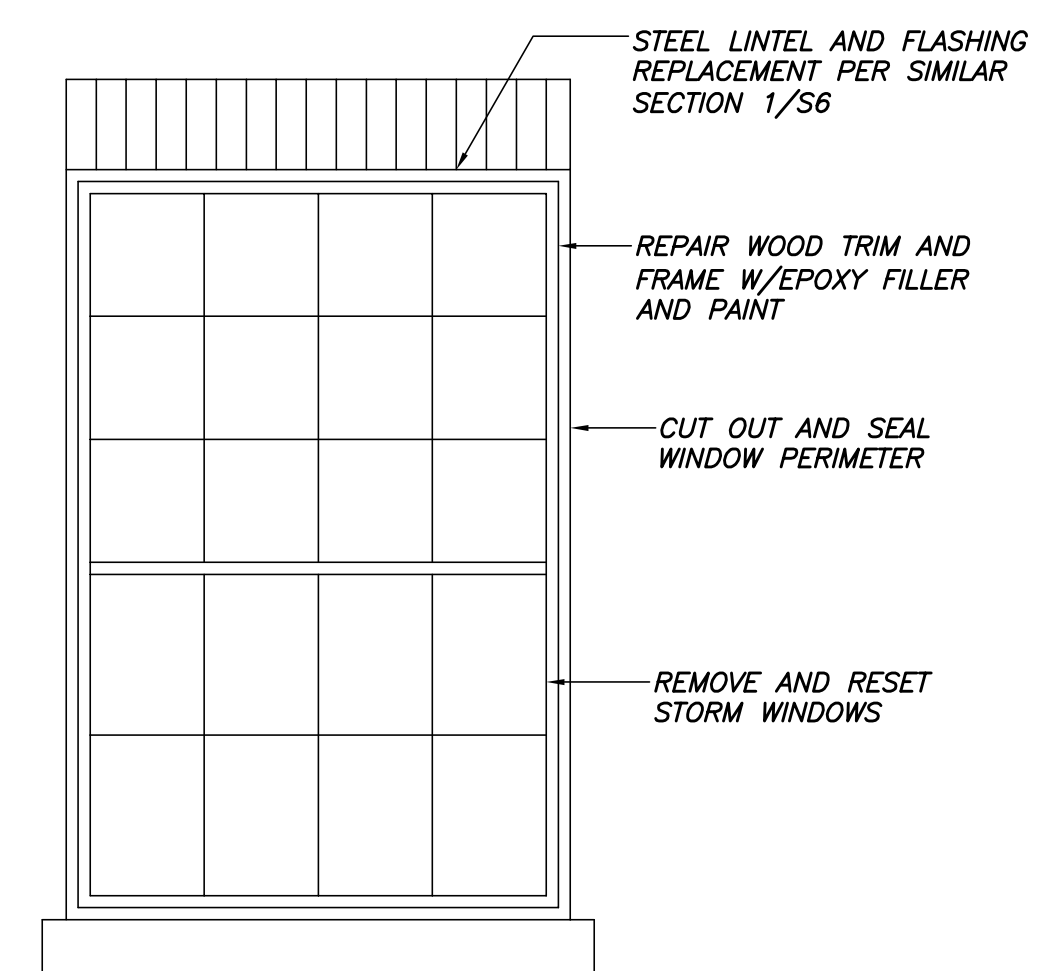
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- 3 CUT OUT LIMESTONE TRACERY JOINTS AND REPOINT 100%.
- 4 CLEAN MASONRY FACADE AND APPLY MASONRY SEALER.
- 5 CAREFULLY REMOVE AND STORE STORM WINDOWS. REINSTALL AFTER WINDOW REPAIRS HAVE BEEN PERFORMED. PROVIDE NEW STORM WINDOWS WHERE THEY CANNOT BE SALVAGED OR ARE DETERIORATED BEYOND REPAIR.
- 6 STRIP WOOD FRAMES OF PAINT. REPAIR WOOD FRAMES WITH WOOD EPOXY FILLER AND PREPARE FOR PAINTING. REPAINT FRAMES.
- 7 CUT OUT WINDOW PERIMETER SEALANT AND RESEAL 100%.
- 8 REMOVE AND REPLACE PLEXIGLASS. CAREFULLY REMOVE FASTENERS FROM STONE. SEE SHEET S7.
- 9 REMOVE AND SALVAGE BRICK ABOVE WINDOW LINTELS AND INSTALL NEW GALVANIZED STEEL ANGLE LINTELS AND MEMBRANE FLASHING. SEE SIMILAR SECTION 1/S6.
- 10 APPLY SILANE SEALER.

**FACADE GENERAL NOTES**

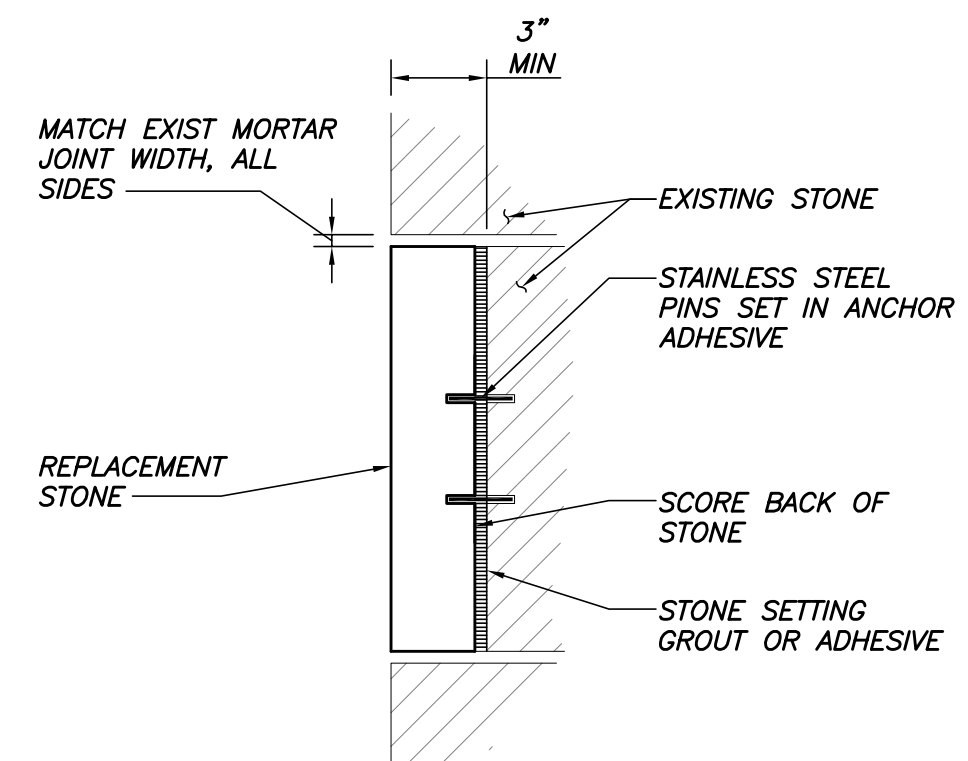
- A. MATCH SIZE, PROFILE, TEXTURE AND STYLE OF BRICK MASONRY TO EXISTING. NOTE THAT TWO STYLES OF BRICK MASONRY EXIST AS NOTED FROM THE ORIGINAL 1920's CONSTRUCTION DRAWINGS: COMMON BRICK AND WATERSTRUCK BRICK.
- B. PROVIDE THE FOLLOWING FACADE MOCK-UPS FOR RESTORATION METHODS, CLEANING PROCEDURES, TEXTURE AND COLOR COMPARISON TO DEMONSTRATE AESTHETIC EFFECTS AND QUALITIES OF MATERIALS AND EXECUTION: FACADE CLEANING, MASONRY REPOINTING, FULL DEPTH MASONRY REPAIRS AND WINDOW REPAIRS.
- C. ASSUMED BRICK MASONRY WALL REBUILD FULL DEPTH REPAIR EXTENDS 2 WYTHES THICK. NOTIFY ENGINEER IMMEDIATELY IF DETERIORATION EXCEEDS 2 WYTHES DEEP. WALL REBUILDING INCLUDES REMOVAL OF DETERIORATED SECTIONS; SALVAGING EXISTING MASONRY; REPOINTING OF BACKUP WALL; REPLACEMENT OF CRACKED MASONRY UNITS AND INSTALLING 12" MIN. LONG STAINLESS STEEL 'STARTIE' HELICAL ANCHORS BY HELIFIX. ANCHOR NEW OUTER WYTHE TO SOUND BACKUP MASONRY PER TYPICAL DETAIL AND SPECIFICATIONS. REFERENCE SPECIFICATIONS FOR BRICK TYPE AND PRODUCT, TOOTH REBUILD MASONRY INTO EXISTING SURROUNDING MASONRY.
- D. IF THE EXTENTS OF BRICK MASONRY WALL REBUILD EXTEND TO THE EXISTING COPPER THROUGH-WALL FLASHING OR OTHER WALL FLASHING; CONTRACTOR IS REQUIRED TO LINE/FLASH EXISTING THROUGH-WALL FLASHING WITH APPROVED RUBBERIZED ASPHALT SHEET MEMBRANE. SEAL ALL TERMINATIONS AND SEAMS WATERTIGHT. PROVIDE END DAMS AT ALL TERMINATIONS. NOTIFY ENGINEER IMMEDIATELY IF THROUGH-WALL FLASHING HAS DETERIORATED AND DOES NOT PROVIDE A SOUND SUBSTRATE FOR NEW FLASHING MEMBRANE.
- E. CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL REQUIRED SHORING WHILE MASONRY RESTORATION TAKES PLACE.
- F. INCLUDE IN BASE BID CUTTING OUT AND REPOINTING 25% OF EACH FACADE. ALL AREAS OF POINTING ARE NOT INDICATED ON THE DRAWINGS. MASONRY WALL REBUILD IS NOT TO BE INCLUDED IN THIS COST AND VICE VERSA.
- G. ENTIRE FACADE IS TO BE CLEANED TO REMOVE DIRT, GRIME, EFFLORESCENCE, & COPPER STAINING. REFER TO SPECIFICATIONS FOR CLEANING PRODUCTS.

**NOTE: THIS ELEVATION IS ADD. ALTERNATE #1. PROVIDE SEPARATE PRICING FOR THIS ELEVATION ON BID FORM.**



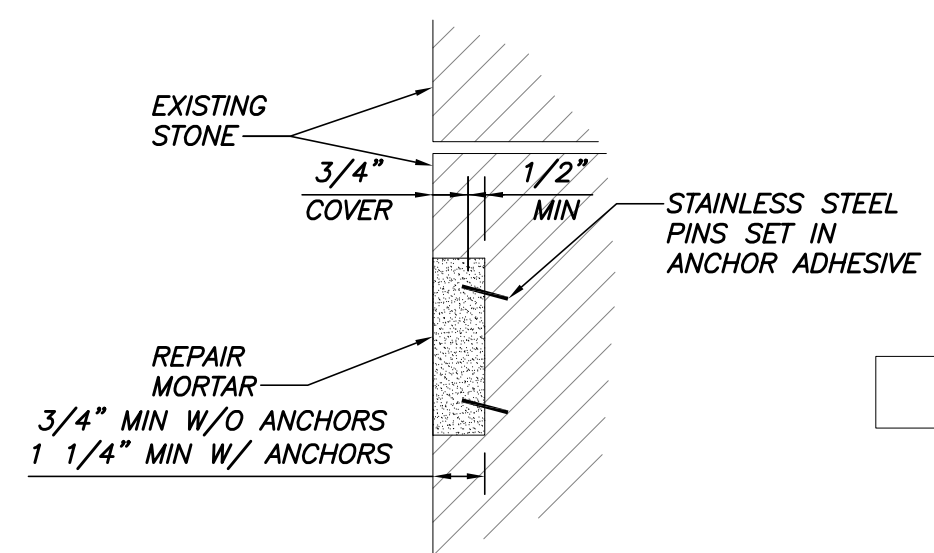
**PART OF ADD ALT #1**  
**EAST ELEVATION WINDOW**  
3/4" = 1'-0"

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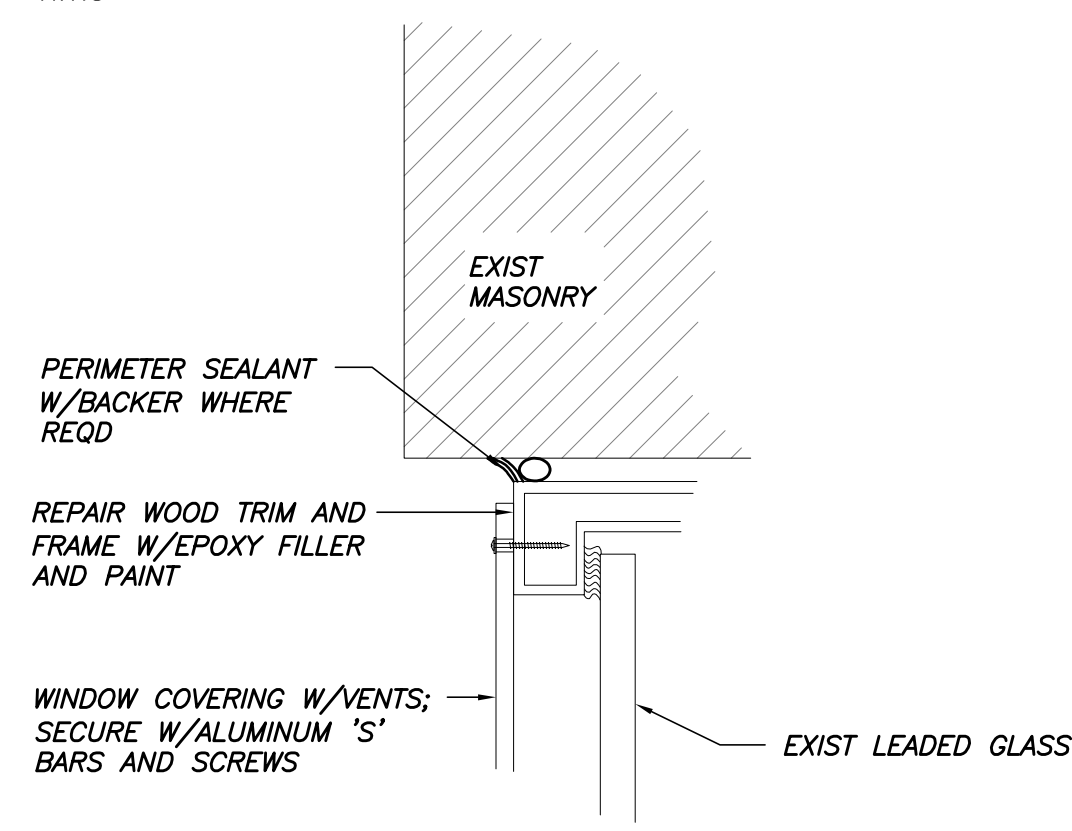
- NOTES:
- CUT AND REMOVE FULL FACE OF DAMAGED STONE.
  - REPLACEMENT STONE SHALL MATCH EXISTING STONE IN COLOR.
  - REPLICATE TOOLING PATTERS IN STONE IN NEW DUTCHMAN.
  - FOLLOW MANUFACTURERS INSTRUCTION OF ALL DUTCHMAN ATTACHMENT PRODUCTS.
  - THE QUANTITY OF INDIVIDUAL ATTACHMENTS SHALL NOT BE LESS THAN TWO ATTACHMENTS FOR SMALL DUTCHMAN AND ONE ADDITIONAL ATTACHMENT FOR EVERY TWO SQUARE FEET FOR LARGER PANELS.
  - REFERENCE THE PROJECT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS

**STONE DUTCHMAN REPAIR DETAIL**  
N.T.S

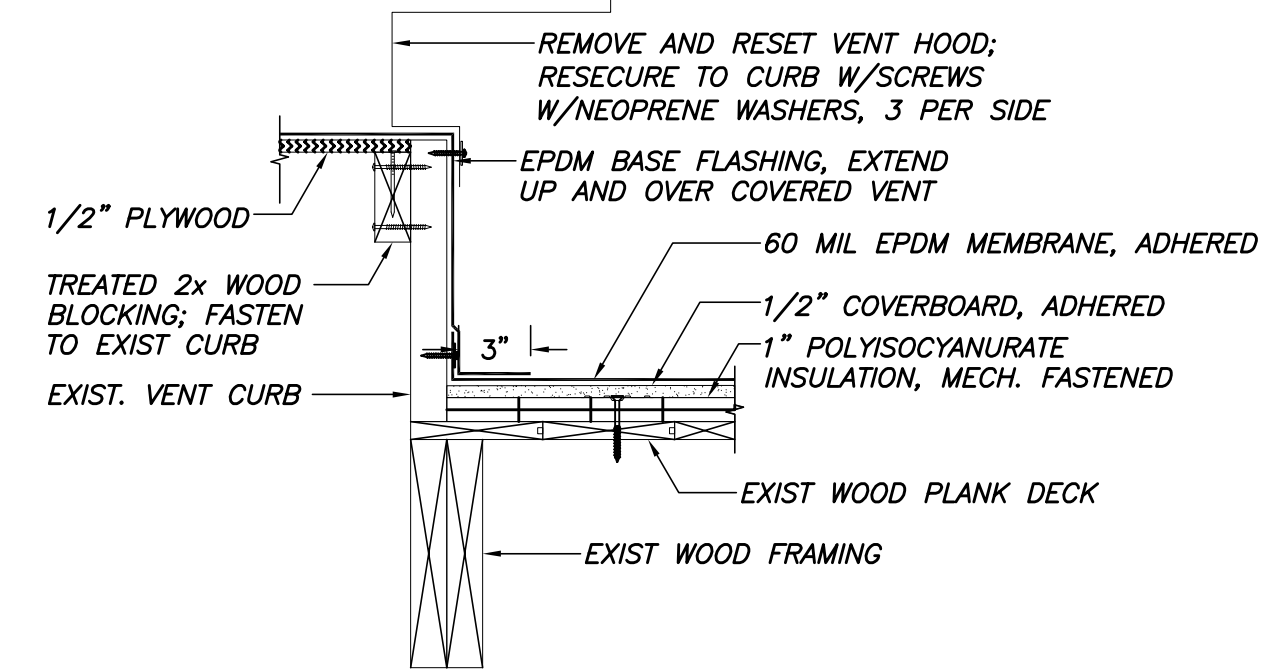


- NOTES:
- REMOVE ALL LOOSE MORTAR AND MASONRY. SOUND MASONRY WITH HAMMER TO VERIFY ITS INTEGRITY.
  - CUT EDGES OF REPAIR AREA. THE EDGES OF REPAIR SHOULD BE SQUARE CUT.
  - REPAIR MORTAR SHALL MATCH EXISTING STONE IN COLOR AND TEXTURE.
  - REPLICATE TOOLING PATTERNS IN STONE IN NEW PATCH.
  - FOLLOW MANUFACTURERS INSTRUCTION FOR INSTALLATION OF ALL STAINLESS STEEL ATTACHMENT PRODUCTS.
  - REFERENCE THE PROJECT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS

**STONE PATCH REPAIR DETAIL**  
N.T.S

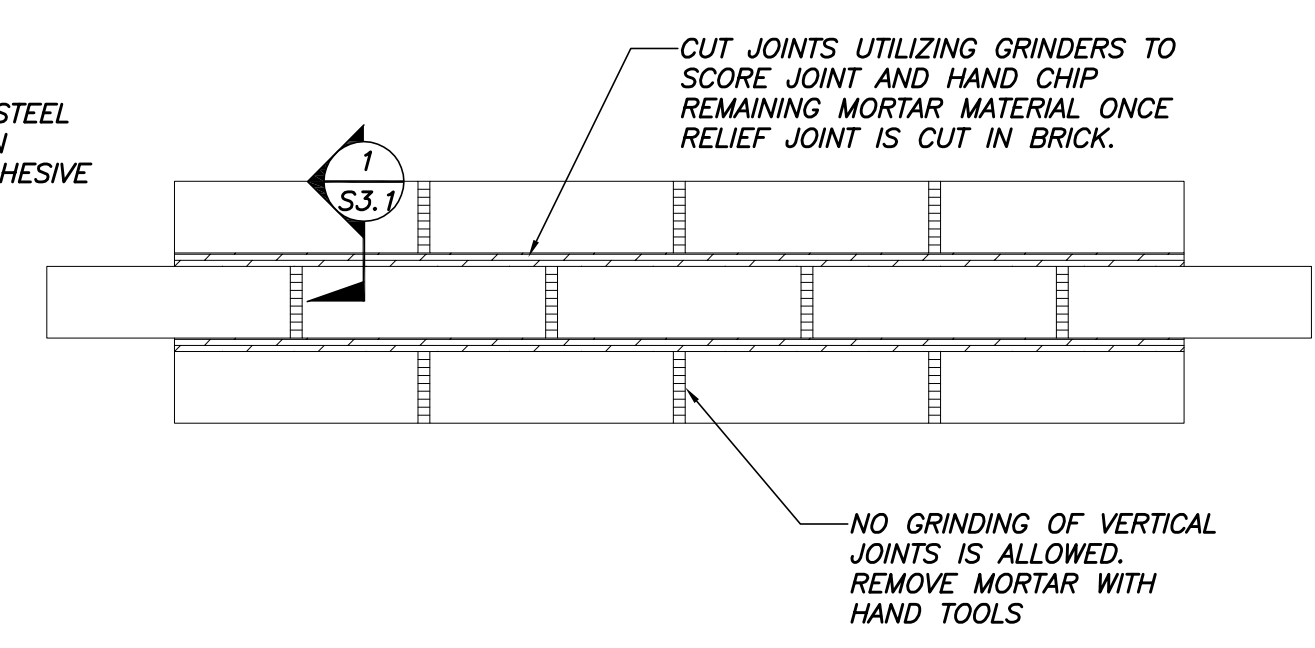


**UPPER CHAPEL/CLERESTORY WINDOW JAMB**  
N.T.S



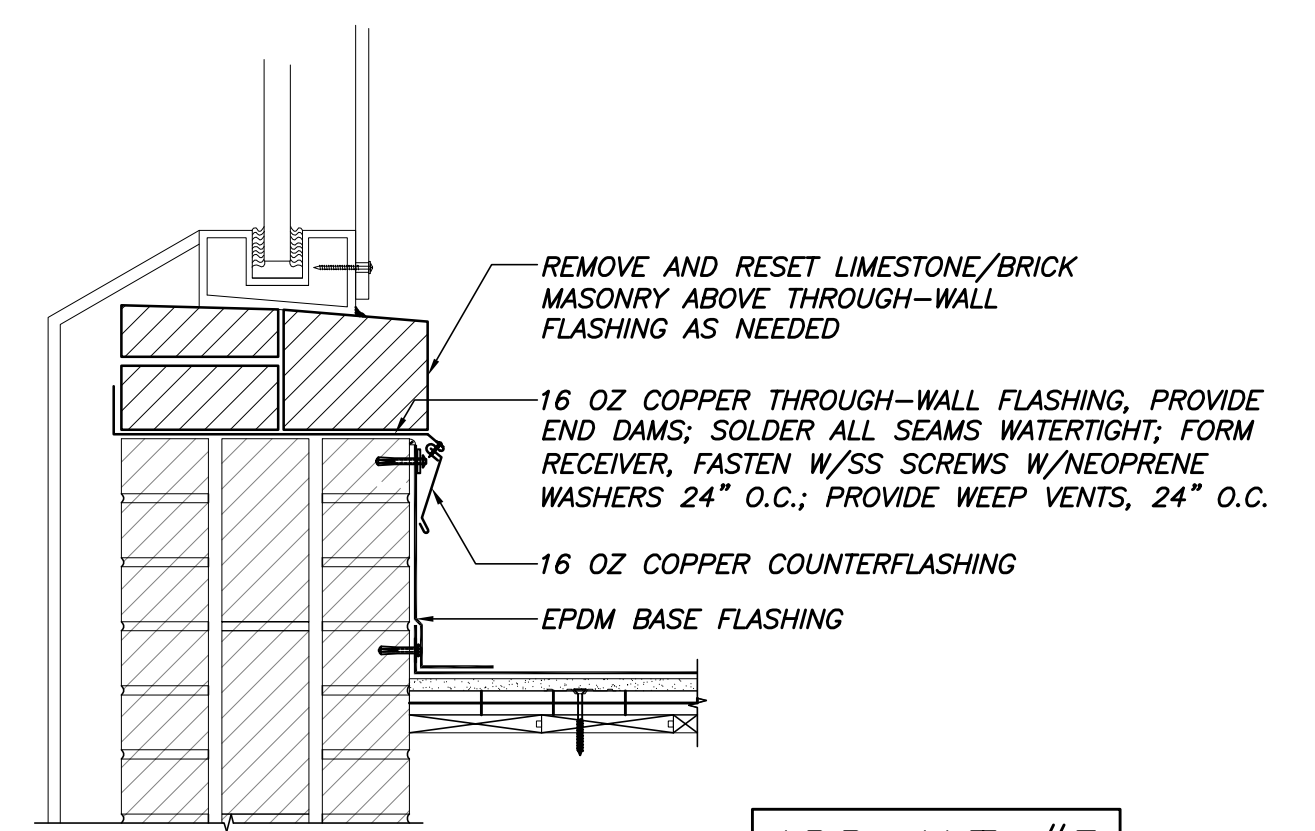
**ABANDONED VENT**  
1 1/2" = 1'-0"

**REPOINTING DETAIL**  
N.T.S

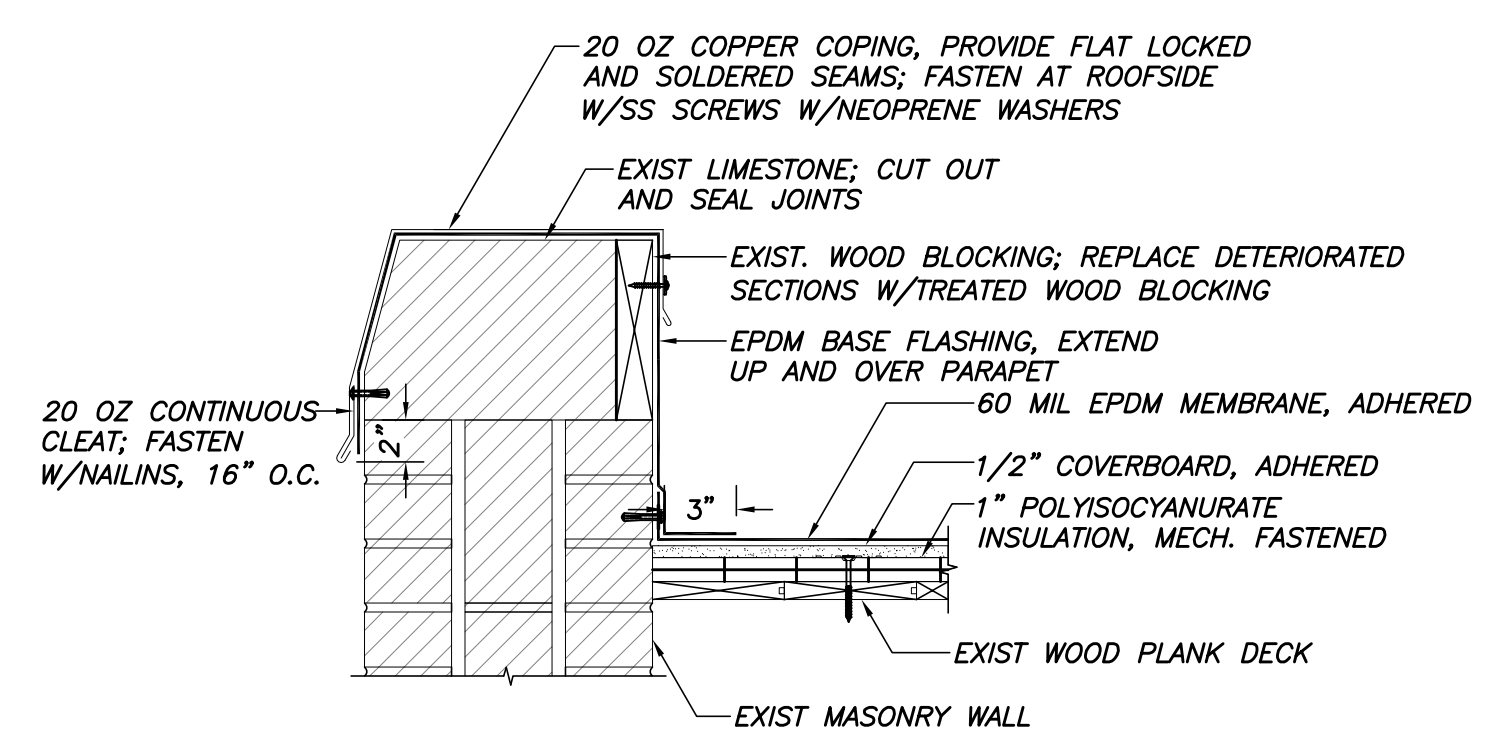


- NOTES:
- HORIZONTAL JOINTS: CUT JOINTS UTILIZING GRINDERS TO SCORE JOINT AND HAND CHIP REMAINING MORTAR MATERIAL ONCE RELIEF JOINT IS CUT IN BRICK.
  - VERTICAL JOINTS: NO GRINDING OF VERTICAL JOINTS IS ALLOWED. REMOVE MORTAR WITH HAND TOOLS.
  - DO NOT DAMAGE EXISTING MASONRY.
  - REPOINTING MORTAR SHALL MATCH EXISTING IN COLOR AND MATERIAL PROPERTIES.
  - TOOL JOINTS TO MATCH ORIGINAL APPEARANCE OF JOINTS.
  - REFERENCE THE PROJECT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS

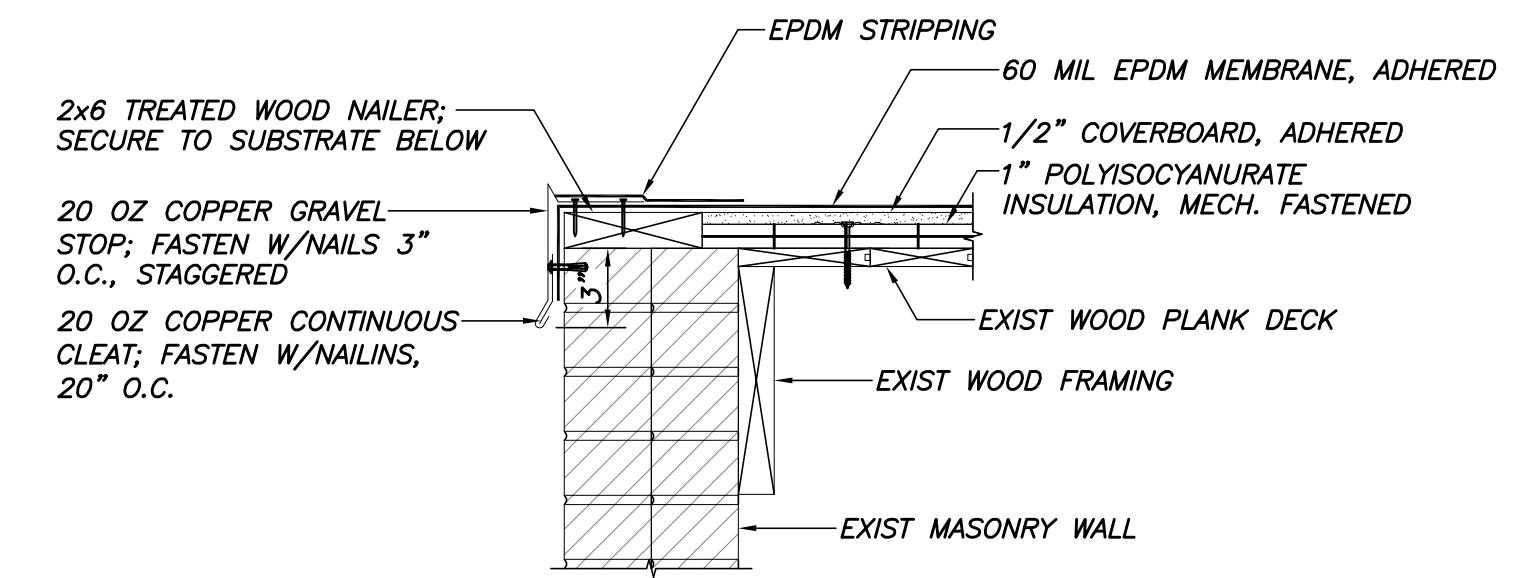
**REPOINTING DETAIL**  
N.T.S



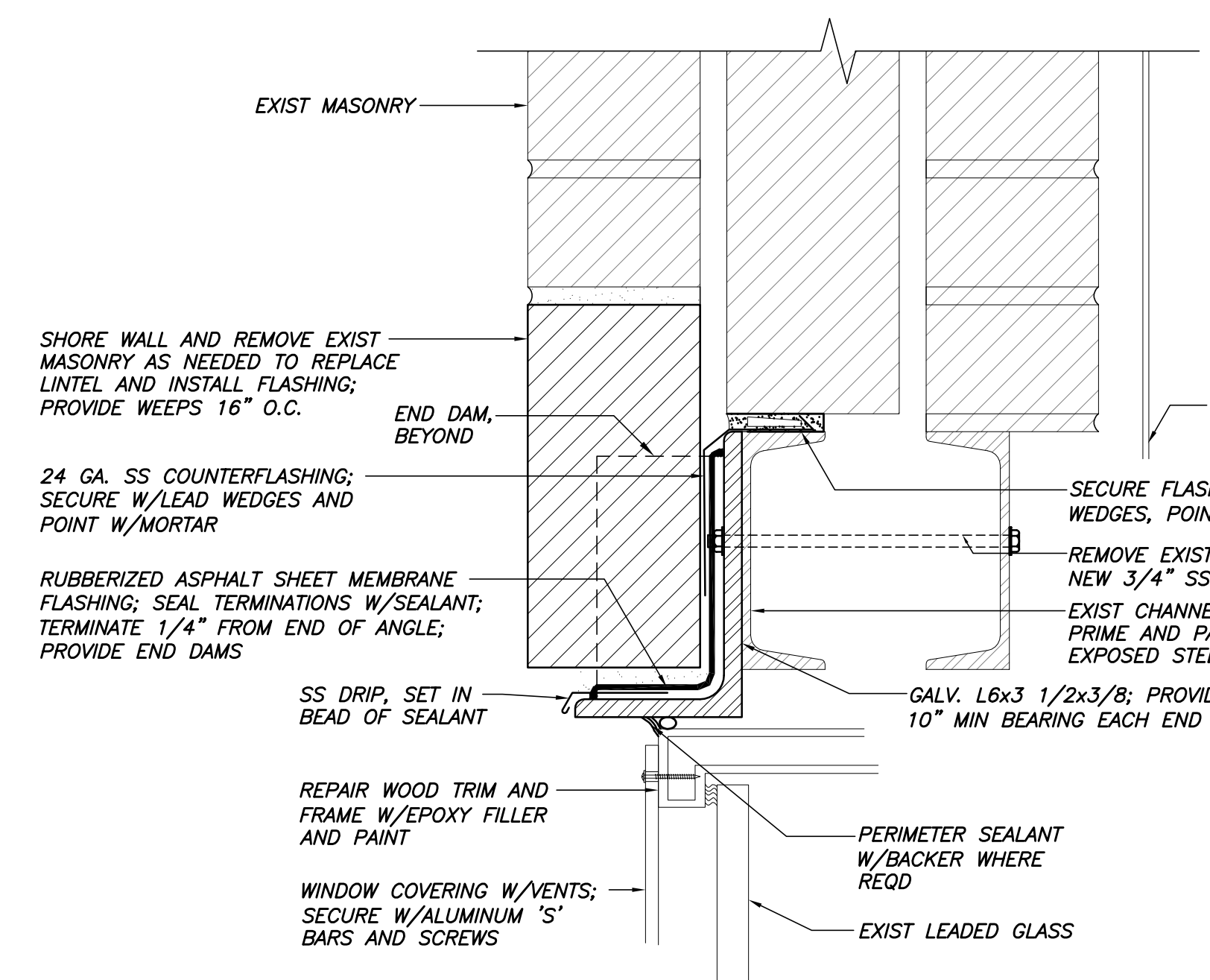
**WEST ROOF THROUGH-WALL FLASHING**  
1 1/2" = 1'-0"



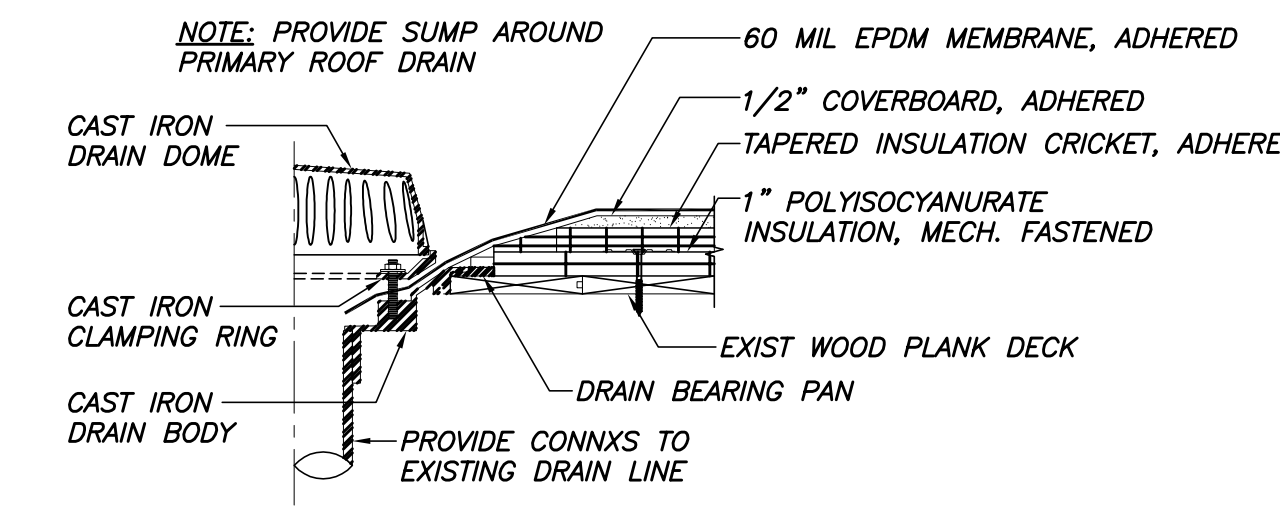
**PARAPET**  
1 1/2" = 1'-0"



**GRAVEL STOP**  
1 1/2" = 1'-0"

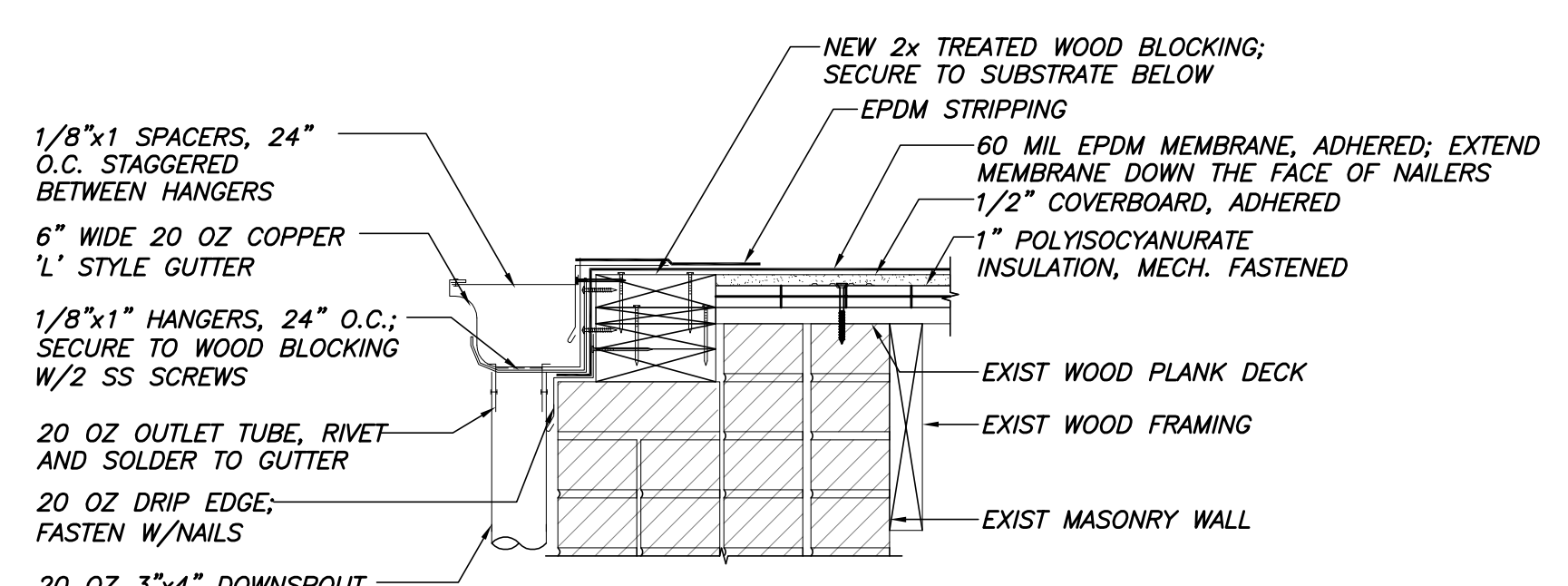


**SECTION**  
N.T.S



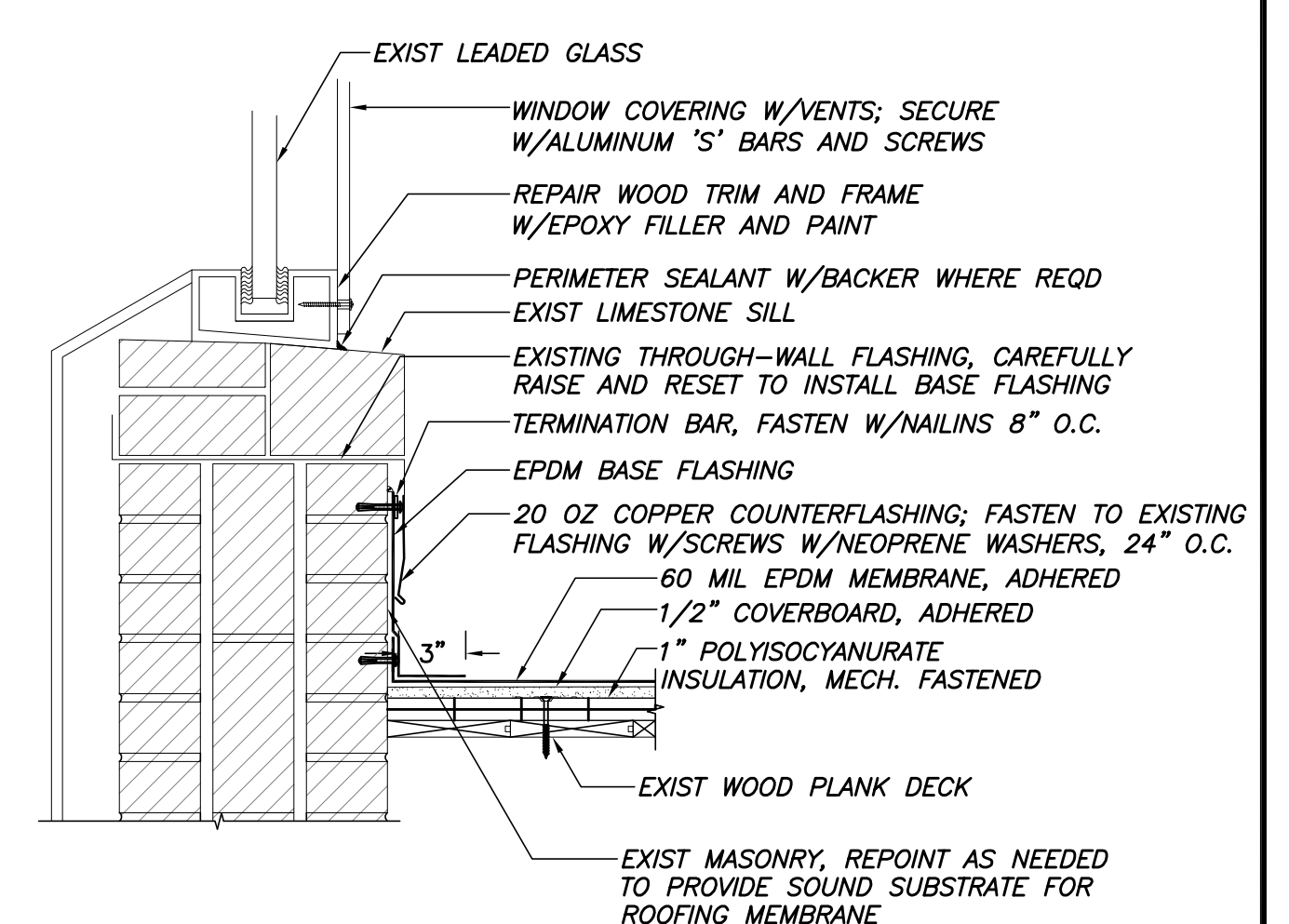
**ROOF DRAIN**  
1 1/2" = 1'-0"

- NOTES:
- RELOCATE CENTER OF ROOF DRAIN 12" MIN. AWAY FROM PARAPET WALL. PROVIDE ALL NECESSARY CONNXS TO EXIST DRAIN LINES.
  - OVERFLOW DRAIN IS TO BE INSTALLED FLUSH WITH ROOFING MEMBRANE—NO SUMP TO BE PROVIDED AROUND OVERFLOW DRAIN.



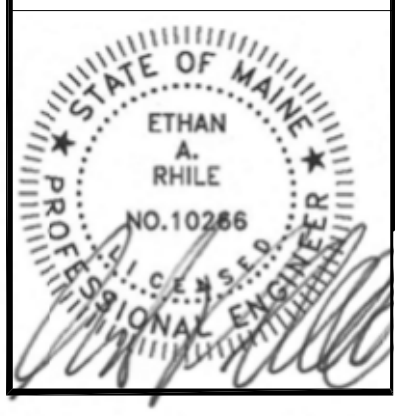
**GUTTER**  
1 1/2" = 1'-0"

- NOTES:
- PONDING OF WATER ALONG GUTTER EDGE WILL NOT BE ACCEPTED. MITER AND TRIM WOOD BLOCKING AT GUTTER EDGE TO PROVIDE POSITIVE DRAINAGE INTO GUTTER.
  - NOTIFY ENGINEER TO INSPECT ROOF PERIMETER FOR DETERIORATION TO WOOD STRUCTURE AND MASONRY.



**WEST ROOF BASE FLASHING**  
1 1/2" = 1'-0"

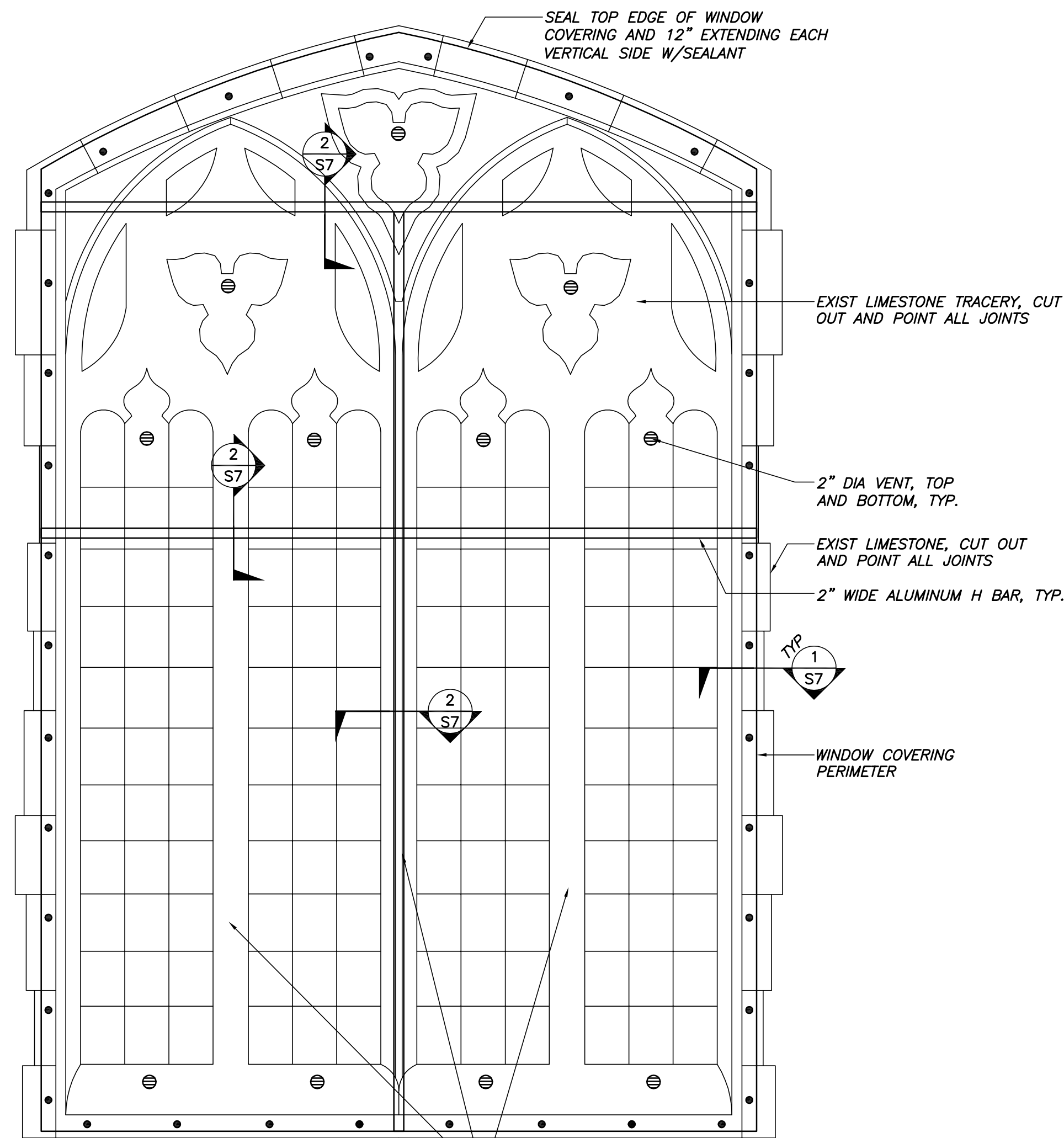
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Project	JMM
Issued For	90% CONSTRUCTION DOCUMENTS
Date	5/23/14 8/15/14 9/25/14
Rev No	1 2 3
Final Review	ISSUED FOR BID

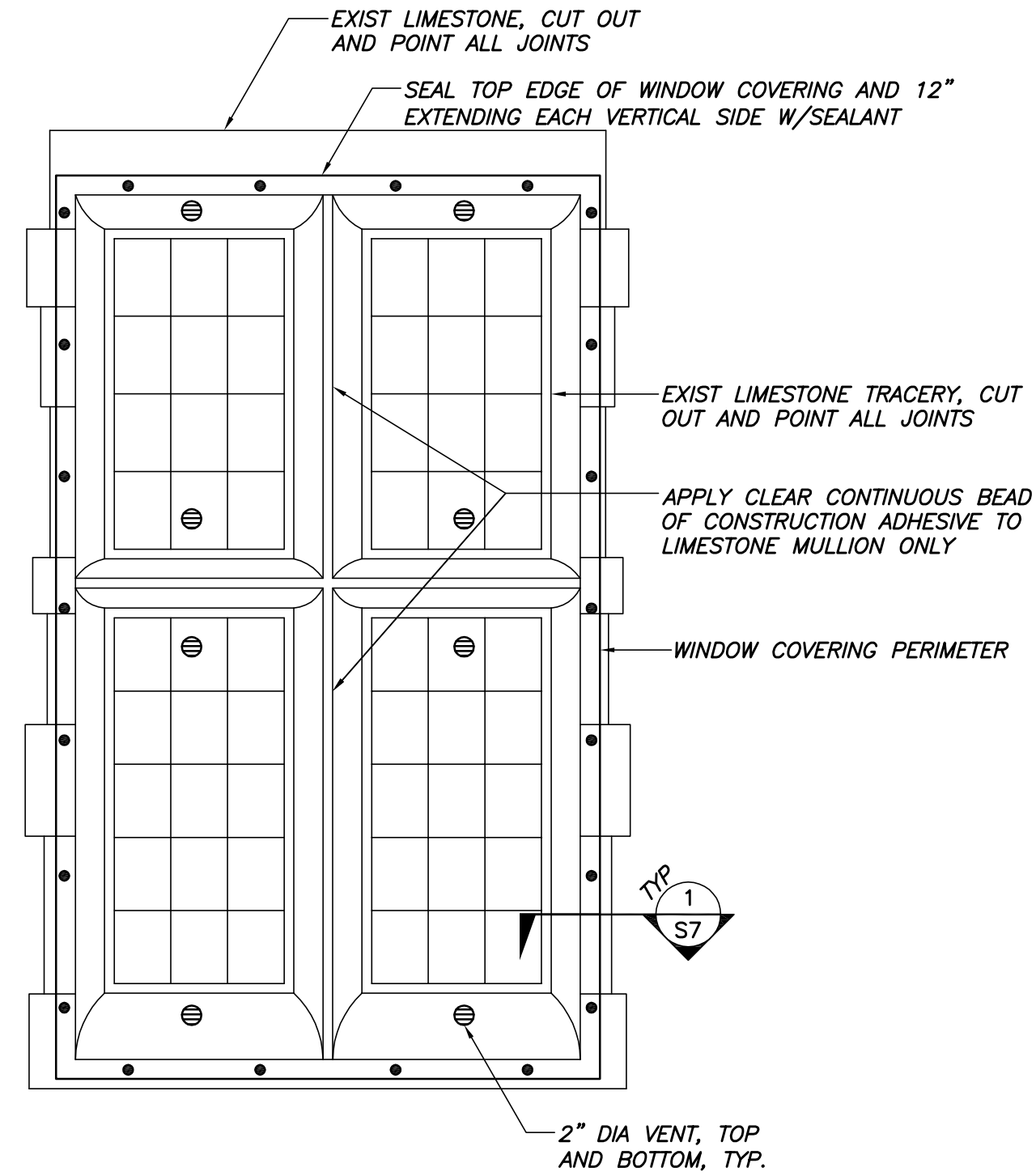
STATE STREET CONGREGATIONAL CHURCH  
PORTLAND, ME  
CHAPEL/CLERESTORY EXTERIOR RENOVATION  
REPAIR DETAILS

Designed	JMM	Scale	NOTED
Drawn	MSK	Date	09/25/2014
Checked	EAR	Becker Job Number	3230.01

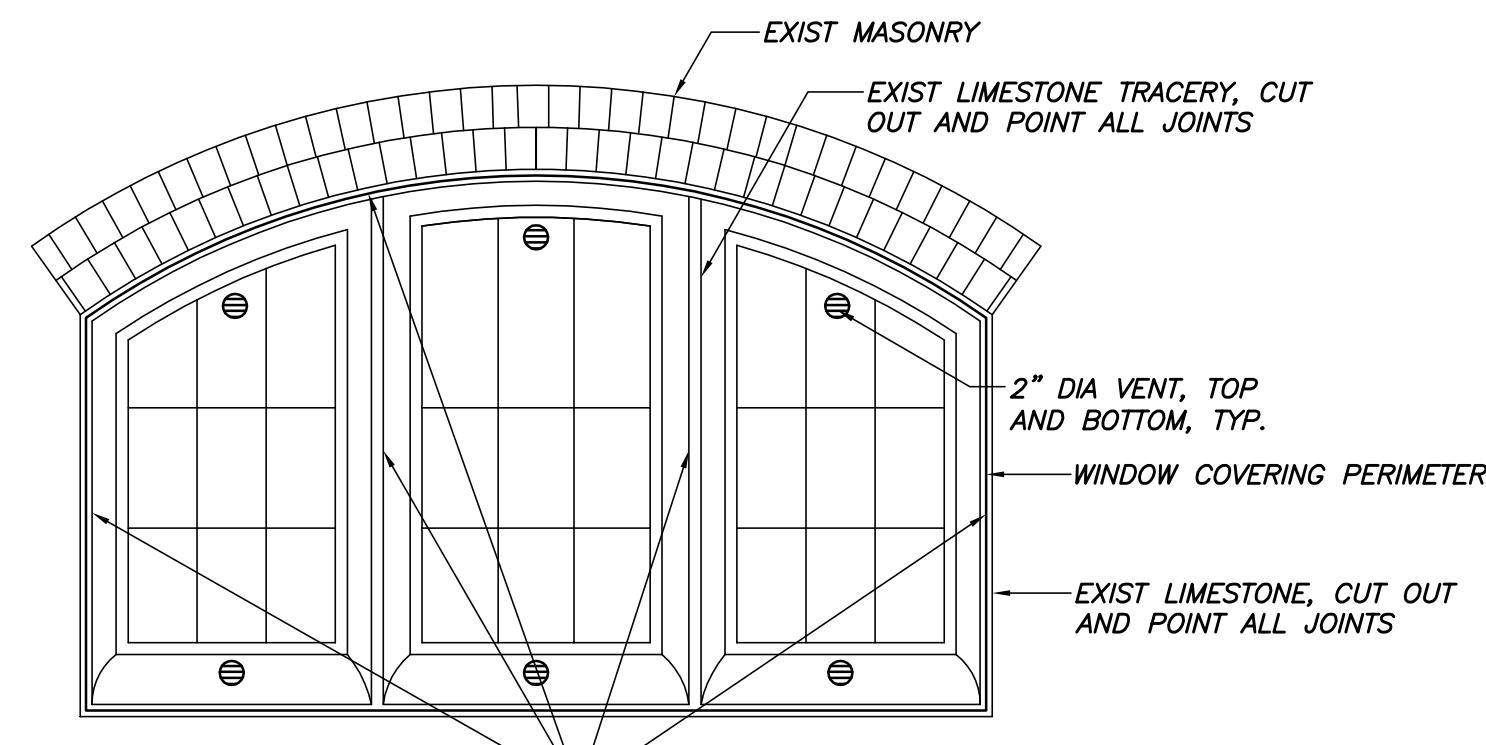


PART OF ADD ALT #1

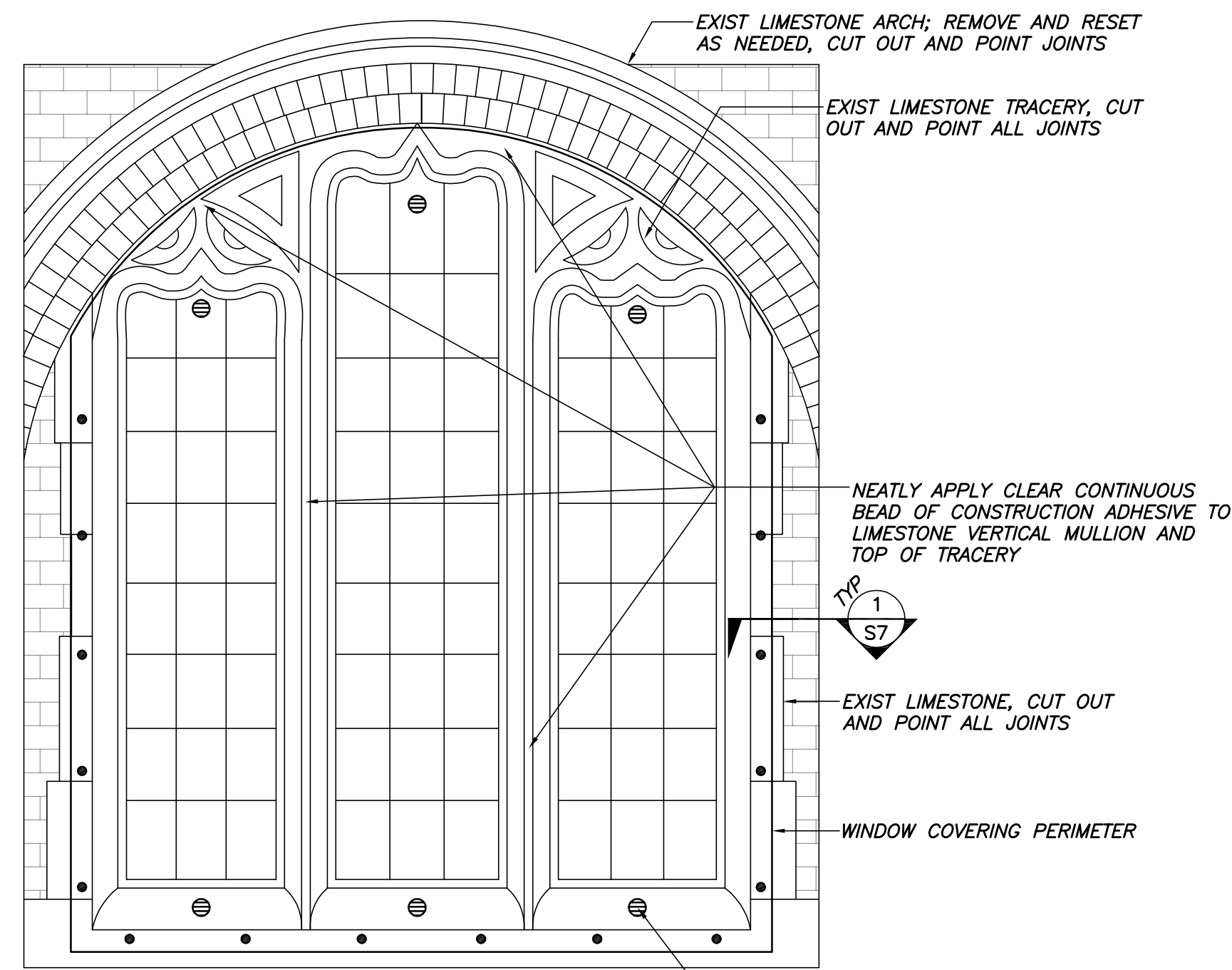
EAST ELEVATION CHAPEL/CLERESTORY WINDOW  
3/4" = 1'-0"



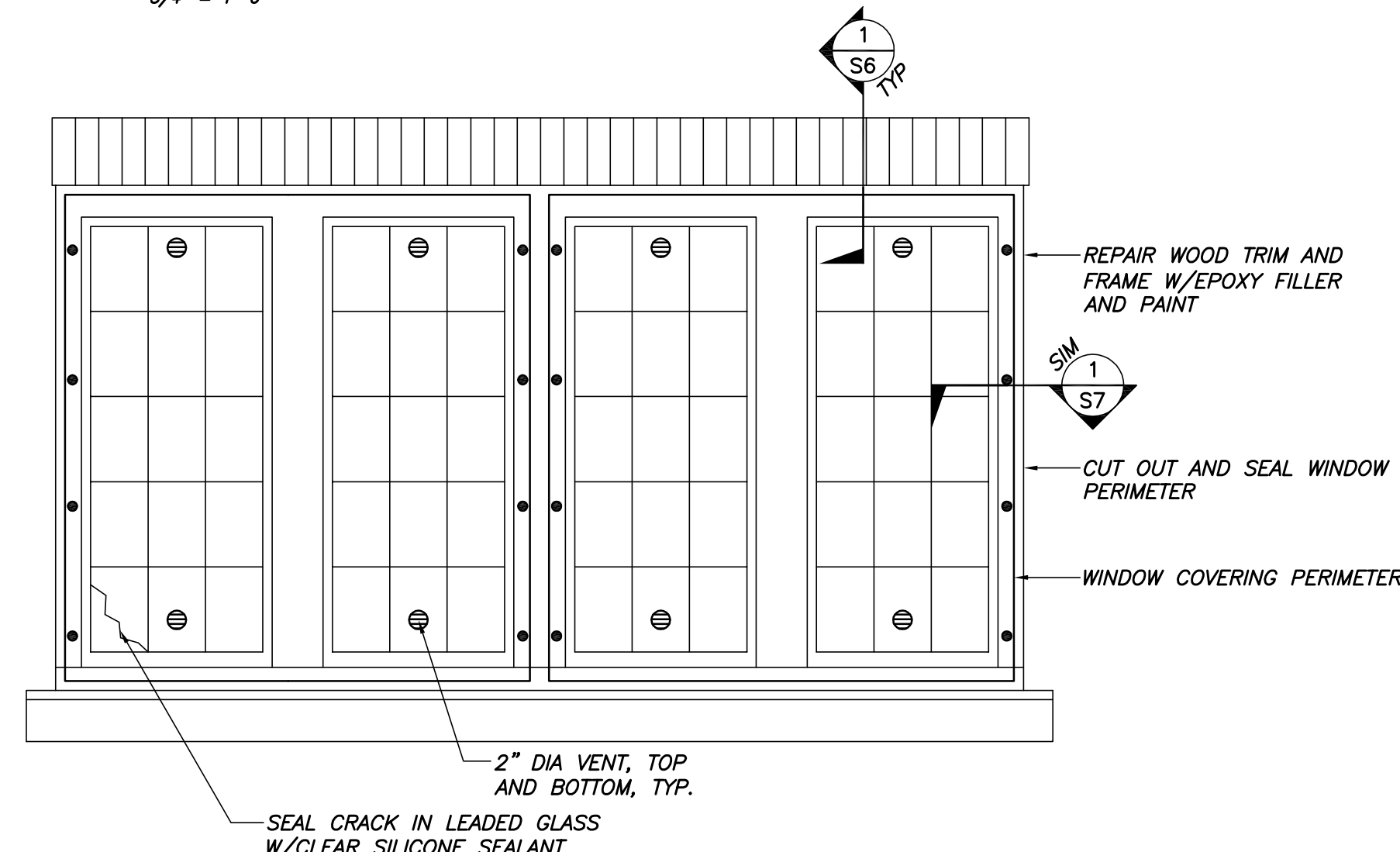
1ST FLOOR CHAPEL/CLERESTORY WINDOW  
3/4" = 1'-0"



BASEMENT WINDOW  
3/4" = 1'-0"



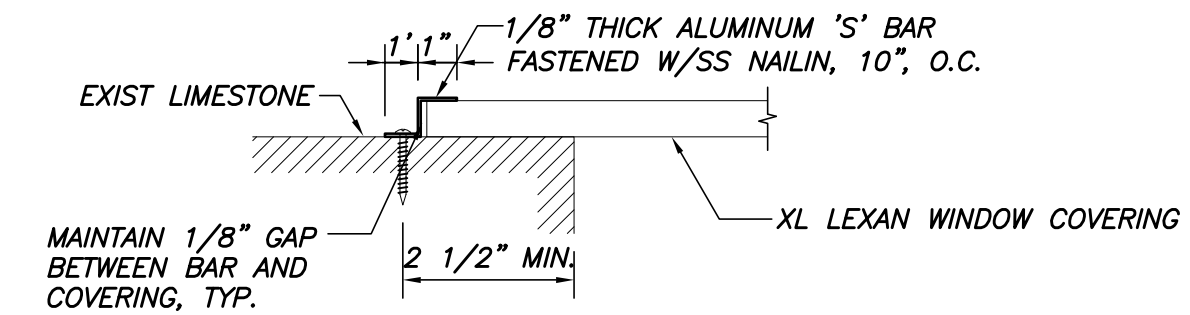
2ND FLOOR CHAPEL/CLERESTORY WINDOW  
3/4" = 1'-0"



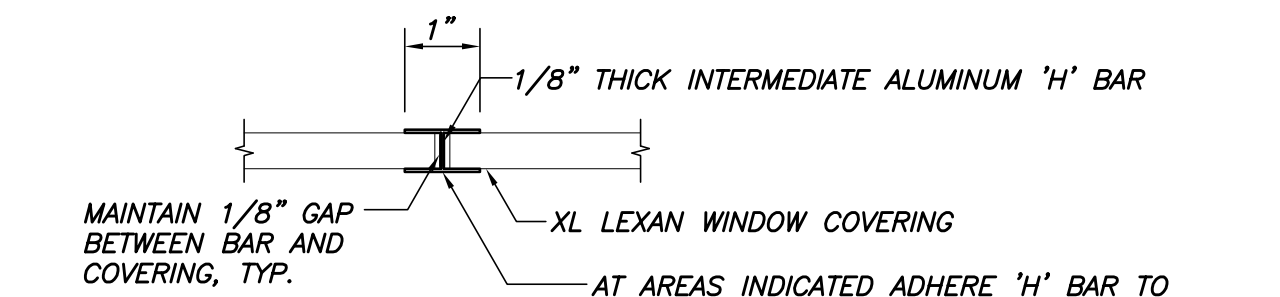
UPPER CHAPEL/CLERESTORY WINDOW  
3/4" = 1'-0"

WINDOW COVERING NOTES:

1. REMOVE AND DISPOSE OF EXISTING PLEXIGLASS COVERS.
2. CAREFULLY REMOVE ALL ADHESIVE AND FASTENERS FROM LIMESTONE. PATCH HOLES WITH PATCHING MORTAR.
3. MAINTAIN 1/8" GAP BETWEEN ALUMINUM BAR AND WINDOW COVERING.
4. DO NOT SEAL PERIMETER OF WINDOW COVERING EXCEPT AT THE TOP EDGE AND EXTENDING 12" DOWN EACH SIDE OR UNO.
5. PROVIDE A MINIMUM FASTENER EDGE DISTANCE OF 2 1/2" FROM LIMESTONE EDGE
6. CUT OUT AND POINT ALL LIMESTONE AND TRACERY JOINTS.
7. CUT OUT AND SEAL WOOD WINDOW PERIMETERS.

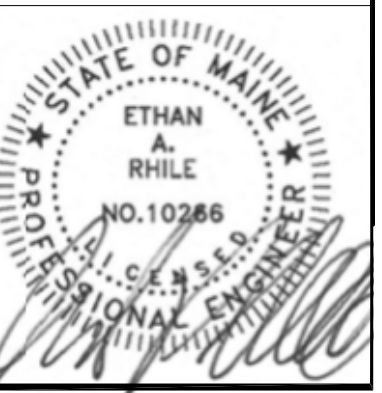


SECTION 1  
NO SCALE



SECTION 2  
NO SCALE

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	3
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STATE STREET CONGREGATIONAL CHURCH  
PORTLAND, ME  
CHAPEL/CLERESTORY EXTERIOR RENOVATION  
REPAIR DETAILS

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SOUTH WALL EXTENDING FROM WINDOW SILL TO CEILING, INCLUDING WINDOW PERIMETER 175 SF



SOUTH WALL CEILING 60 SF



NORTH WALL WINDOW SOFFIT 30 SF



NORTH WALL WINDOW SOFFIT 45 SF



SOUTH WALL EXTENDING FROM BALCONY TO WINDOW SILL 100 SF



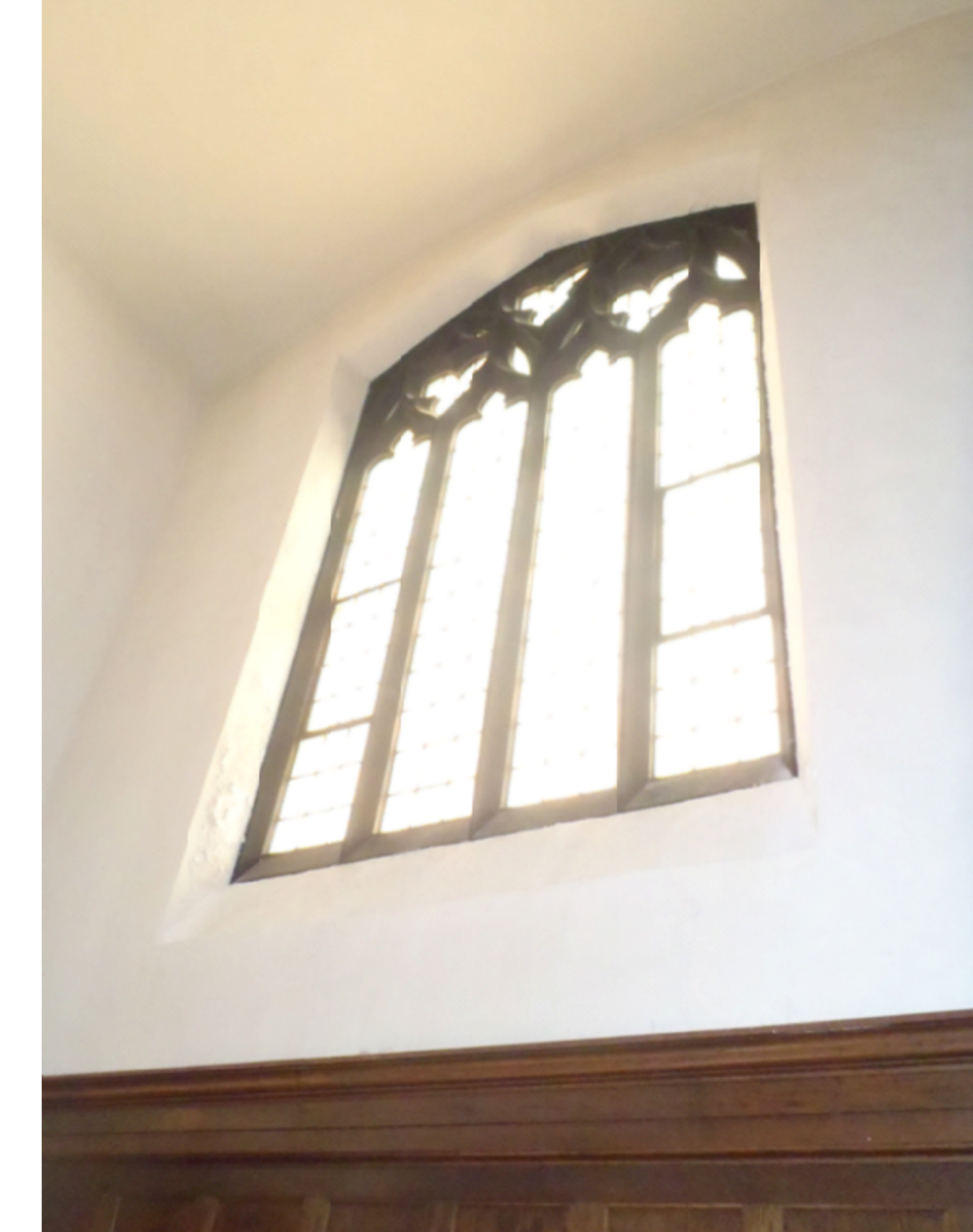
NORTHWEST CEILING/WALL CORNER 50 SF



NORTH DOOR 50 SF



NORTH WALL ADJACENT TO DOOR 45 SF



EAST WALL WINDOW PERIMETER 125 SF AND CRACK IN NORTHEAST CORNER 20 LF

NOTE: THE INTERIOR FINISH REPAIRS IS ADD. ALTERNATE #4. PROVIDE SEPARATE PRICING FOR THIS WORK ON BID FORM.

INTERIOR FINISH GENERAL NOTES

- A. REFERENCE SPECIFICATIONS FOR EXECUTION AND DESCRIPTION OF WORK AND MATERIALS.
- B. REMOVE DETERIORATED SECTIONS TO SOUND PLASTER AREAS.
- C. NOTIFY CHURCH REPRESENTATIVE IF REPAIR QUANTITIES EXCEED 10% MORE THAN INDICATED ABOVE BEFORE PROCEEDING FURTHER.
- D. PAINTING OF THE INTERIOR IS ONLY REQUIRED AT THE AREAS OF REPAIR. MATCH PAINT TO THE EXISTING.
- E. CONTRACTOR IS REQUIRED TO PROVIDE ALL NECESSARY LIFTS AND SCAFFOLDING TO ACCESS AREAS OF REPAIR.
- F. EXECUTE TWO SAMPLE PANELS (1 CEILING AND 1 WALL PANEL) OF REPLACEMENT PLASTERS TO BE USED AS STANDARDS FOR THE WORKMANSHIP AND PATCHING MATERIAL.
- G. TOTAL FINISH REPAIR QUANTITIES: 680 SF AND 20 LF (CRACK REPAIR).

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STATE STREET CONGREGATIONAL CHURCH  
PORTLAND, ME  
CHAPEL/CLERESTORY EXTERIOR RENOVATION  
INTERIOR FINISH REPAIR LOCATIONS

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