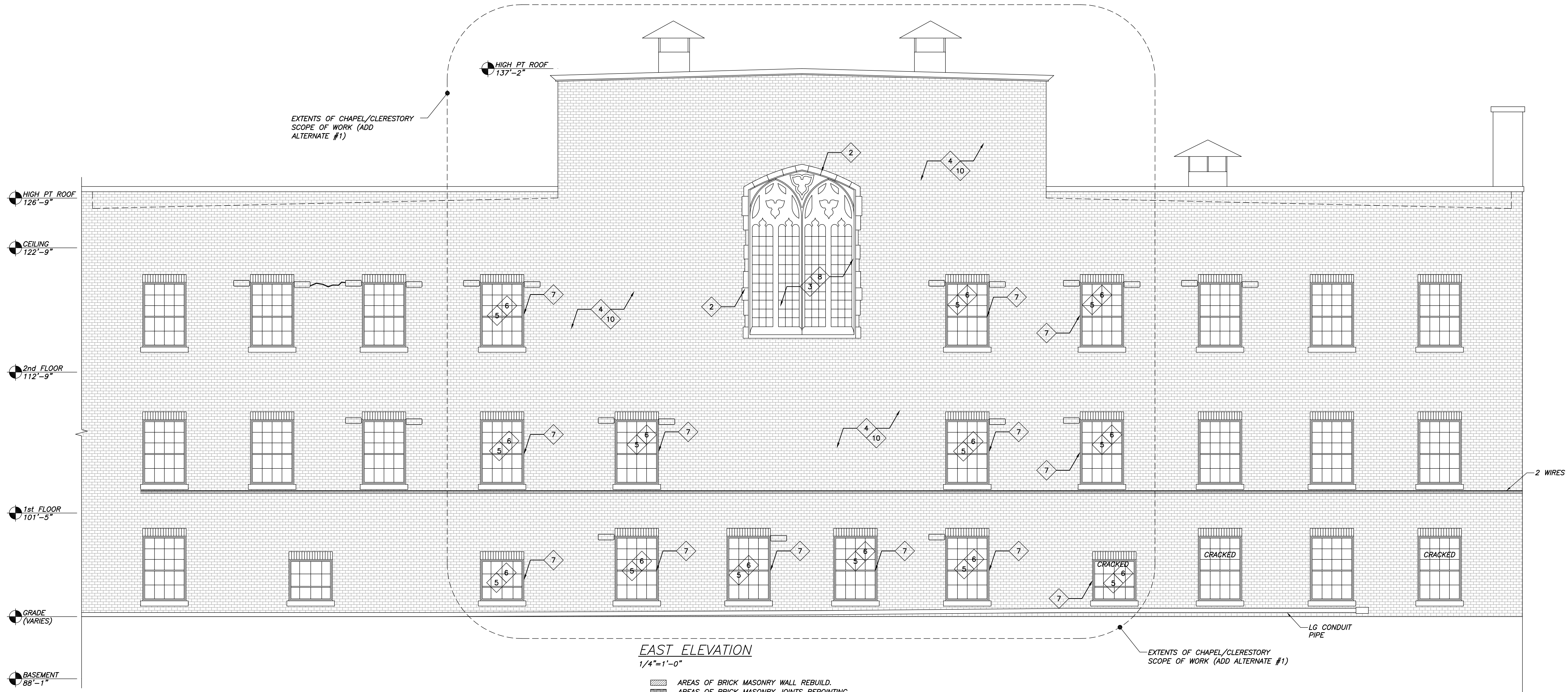


Approved For	JMM JMM
Issued For	90% CONSTRUCTION DOCUMENTS FINAL REVIEW ISSUED FOR BID
Date	5/23/14 8/15/14 9/25/14
Rev. No	1 2 3

STATE STREET CONGREGATIONAL CHURCH
PORTLAND, ME
CHAPEL/CLERESTORY EXTERIOR RENOVATION
EAST ELEVATION

Designed	JMM	Scale	NOTED
Drawn	MSK	Date	09/25/2014
Checked	EAR	Becker Job Number	3230.01



EAST ELEVATION
1/4" = 1'-0"

- AREAS OF BRICK MASONRY WALL REBUILD.
- AREAS OF BRICK MASONRY JOINTS REPOINTING.
- SPALLED MORTAR AND BRICK CAUSED BY DETERIORATED STEEL ANGLE WINDOW LINTEL.
- BRICK MASONRY STEP CRACKING. SEE KEYED NOTE #5.

PROJECT GENERAL NOTES

- A. CONTRACTOR IS REQUIRED TO VISIT THE SITE AND THOROUGHLY FAMILIARIZE THEMSELVES WITH THE WORK AREAS AND WORK AREA ACCESS AND OTHER CONDITIONS AFFECTING PERFORMANCE OF THE WORK SPECIFIED BY THIS CONTRACT.
- B. THE CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE OWNER'S PROPERTY AND DISPOSE OF DEBRIS ACCORDING TO LOCAL REGULATIONS.
- C. THE CONTRACTOR SHALL CONDUCT ALL OPERATIONS IN STRICT ACCORDANCE WITH THE SAFETY REQUIREMENTS IMPOSED BY THE OWNER AND OSHA. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS GOVERNING THIS WORK.
- D. CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES ORDINANCES AND PROCEDURES UNDER THE JURISDICTION OF THE CITY OF PORTLAND, ME AND THE STATE OF MAINE.
- E. ENGINEERING DRAWINGS: ALL DEVIATIONS BASED ON FIELD CONDITIONS FROM THE ENGINEERING DRAWINGS SHALL BE SUBMITTED IN WRITTEN FORM TO THE OWNER OR THEIR REPRESENTATIVE FOR APPROVAL PRIOR TO PROCEEDING WITH WORK.
- F. DIMENSIONS PERTAINING TO EXISTING CONDITIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO ANY FABRICATIONS, CONSTRUCTION OR ERECTION.
- G. COORDINATE ACCESS TO INTERIOR SPACES AS MAY BE REQUIRED TO PERFORM INTERIOR WORK IN THE CONTRACT WITH OWNER REPRESENTATIVE OR THEIR DESIGNATED LIAISON AT LEAST 48 HOURS IN ADVANCE.
- H. CONTRACTOR IS REQUIRED TO APPLY, RECEIVE, AND PAY FOR ALL CONSTRUCTION PERMITS REQUIRED TO EXECUTE THE WORK OF THIS CONTRACT.
- I. CONTRACTOR IS REQUIRED TO RESTORE ALL AREAS USED FOR ACCESS AND STAGING TO PRECONSTRUCTION CONDITION AT COMPLETION OF WORK.
- J. THE CONTRACTOR SHALL SUPPORT, BRACE, SHORE, RE-SHORE AND SECURE THE EXISTING STRUCTURE AS REQUIRED. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SAFETY OF THE EXISTING BUILDING DURING CONSTRUCTION.

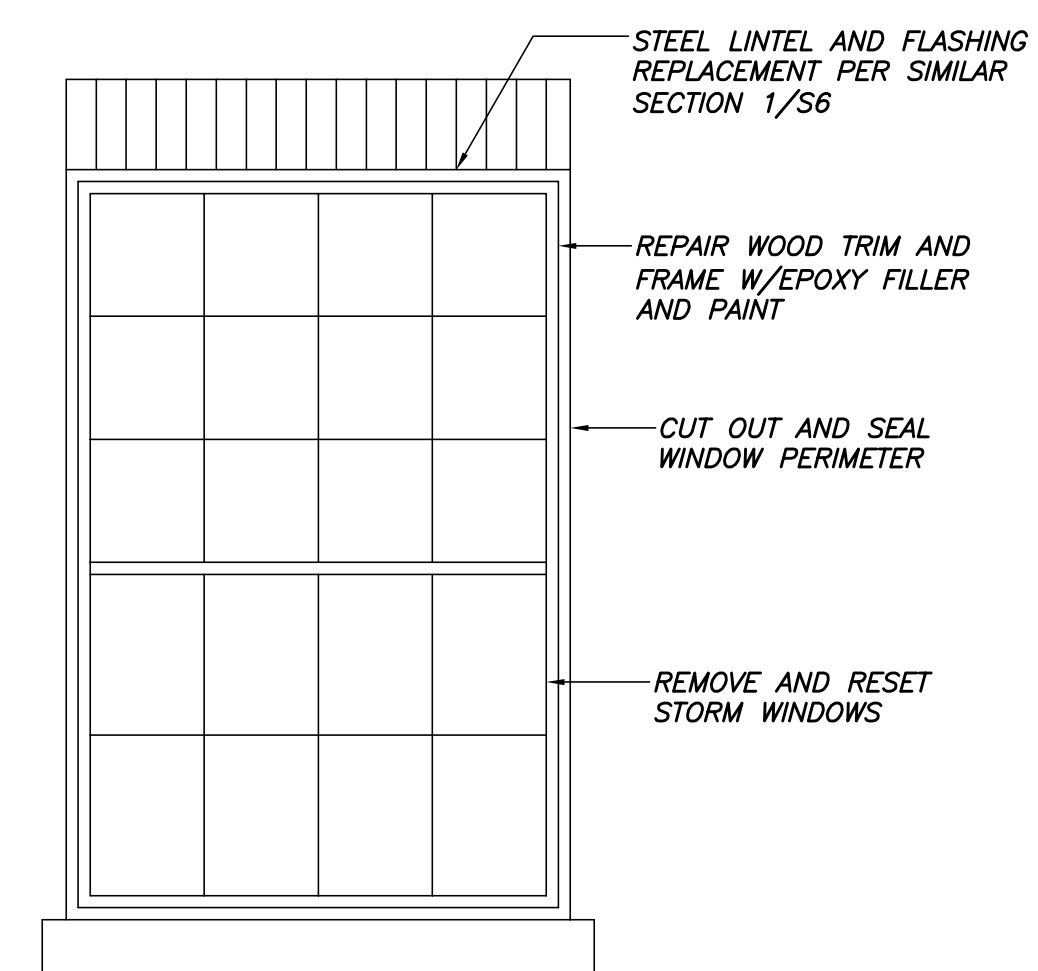
FACADE REPAIR KEYED NOTES

- 1 CUT OUT BRICK MASONRY JOINTS AND REPOINT. REPLACE CRACKED MASONRY UNITS. SEE DETAIL SHEET 6.
- 2 CUT OUT LIMESTONE JOINTS AND REPOINT 100%.
- 3 CUT OUT LIMESTONE TRACERY JOINTS AND REPOINT 100%.
- 4 CLEAN MASONRY FACADE AND APPLY MASONRY SEALER.
- 5 CAREFULLY REMOVE AND STORE STORM WINDOWS. REINSTALL AFTER WINDOW REPAIRS HAVE BEEN PERFORMED. PROVIDE NEW STORM WINDOWS WHERE THEY CANNOT BE SALVAGED OR ARE DETERIORATED BEYOND REPAIR.
- 6 STRIP WOOD FRAMES OF PAINT. REPAIR WOOD FRAMES WITH WOOD EPOXY FILLER AND PREPARE FOR PAINTING. REPAINT FRAMES.
- 7 CUT OUT WINDOW PERIMETER SEALANT AND RESEAL 100%.
- 8 REMOVE AND REPLACE PLEXIGLASS. CAREFULLY REMOVE FASTENERS FROM STONE. SEE SHEET S7.
- 9 REMOVE AND SALVAGE BRICK ABOVE WINDOW LINTELS AND INSTALL NEW GALVANIZED STEEL ANGLE LINTELS AND MEMBRANE FLASHING. SEE SIMILAR SECTION 1/S6.
- 10 APPLY SILANE SEALER.

FACADE GENERAL NOTES

- A. MATCH SIZE, PROFILE, TEXTURE AND STYLE OF BRICK MASONRY TO EXISTING. NOTE THAT TWO STYLES OF BRICK MASONRY EXIST AS NOTED FROM THE ORIGINAL 1920's CONSTRUCTION DRAWINGS: COMMON BRICK AND WATERSTRUCK BRICK.
- B. PROVIDE THE FOLLOWING FACADE MOCK-UPS FOR RESTORATION METHODS, CLEANING PROCEDURES, TEXTURE AND COLOR COMPARISON TO DEMONSTRATE AESTHETIC EFFECTS AND QUALITIES OF MATERIALS AND EXECUTION: FACADE CLEANING, MASONRY REPOINTING, FULL DEPTH MASONRY REPAIRS AND WINDOW REPAIRS.
- C. ASSUMED BRICK MASONRY WALL REBUILD FULL DEPTH REPAIR EXTENDS 2 WYTHES THICK. NOTIFY ENGINEER IMMEDIATELY IF DETERIORATION EXCEEDS 2 WYTHES DEEP. WALL REBUILDING INCLUDES REMOVAL OF DETERIORATED SECTIONS; SALVAGING EXISTING MASONRY; REPOINTING OF BACKUP WALL; REPLACEMENT OF CRACKED MASONRY UNITS AND INSTALLING 12" MIN. LONG STAINLESS STEEL 'STARTIE' HELICAL ANCHORS BY HELIFIX. ANCHOR NEW OUTER WYTHE TO SOUND BACKUP MASONRY PER TYPICAL DETAIL AND SPECIFICATIONS. REFERENCE SPECIFICATIONS FOR BRICK TYPE AND PRODUCT, TOOTH REBUILD MASONRY INTO EXISTING SURROUNDING MASONRY.
- D. IF THE EXTENTS OF BRICK MASONRY WALL REBUILD EXTEND TO THE EXISTING COPPER THROUGH-WALL FLASHING OR OTHER WALL FLASHING; CONTRACTOR IS REQUIRED TO LINE/FLASH EXISTING THROUGH-WALL FLASHING WITH APPROVED RUBBERIZED ASPHALT SHEET MEMBRANE. SEAL ALL TERMINATIONS AND SEAMS WATERTIGHT. PROVIDE END DAMS AT ALL TERMINATIONS. NOTIFY ENGINEER IMMEDIATELY IF THROUGH-WALL FLASHING HAS DETERIORATED AND DOES NOT PROVIDE A SOUND SUBSTRATE FOR NEW FLASHING MEMBRANE.
- E. CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL REQUIRED SHORING WHILE MASONRY RESTORATION TAKES PLACE.
- F. INCLUDE IN BASE BID CUTTING OUT AND REPOINTING 25% OF EACH FACADE. ALL AREAS OF POINTING ARE NOT INDICATED ON THE DRAWINGS. MASONRY WALL REBUILD IS NOT TO BE INCLUDED IN THIS COST AND VICE VERSA.
- G. ENTIRE FACADE IS TO BE CLEANED TO REMOVE DIRT, GRIME, EFFLORESCENCE, & COPPER STAINING. REFER TO SPECIFICATIONS FOR CLEANING PRODUCTS.

NOTE: THIS ELEVATION IS ADD. ALTERNATE #1. PROVIDE SEPARATE PRICING FOR THIS ELEVATION ON BID FORM.



PART OF ADD ALT #1

EAST ELEVATION WINDOW
3/4" = 1'-0"

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF BECKER STRUCTURAL ENGINEERS, INC. IT SHALL NOT BE REPRODUCED, COPIED, LENT, OR DISPOSED OF DIRECTLY OR INDIRECTLY, NOR USED FOR ANY PURPOSE OTHER THAN FOR WHICH IT IS SPECIFICALLY FURNISHED AND MUST BE RETURNED TO BECKER STRUCTURAL ENGINEERS, INC. ON COMPLETION OF WORK, IF REQUESTED.