

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 101292

PERMIT ISSUED

Please Read Application And Notes, If Any, Attached

This is to certify that GEARY EDWARD C & KAREN GEARY DBA Mike Gervais
has permission to 3 unit Residential - Rebuild deck 37" x 22" NOV 16 2010
AT 121 STATE ST CBL 045 A020001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CAPT. R. Gauthier
Health Dept. _____
Appeal Board _____
Other _____
Department Name

James Burke 11/16/10
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

SCANNED

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1293	Issue Date:	CBL: 045 A020001
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Location of Construction: 121 STATE ST	Owner Name: GEARY EDWARD C & KAREN G	Owner Address: 9 BOYD DR	Phone:
Business Name:	Contractor Name: Mike Gervais	Contractor Address: 62 William Knight Road Windham	Phone 2077495944
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone: R-1b

Past Use: 3 unit Residential	Proposed Use: 3 unit Residential - Rebuild deck 3'7" x 22'	Permit Fee: \$50.00	Cost of Work: \$2,735.00	CEO District: 2
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-2 Type: SB	
		* See Conditions DBX-2003		

Proposed Project Description: 3 unit Residential - Rebuild deck 3'7" x 22'	Signature: (KG)	Signature: JMB 11/16/10
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: Idobson	Date Applied For: 10/13/2010	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 10/29/10 ASH	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 11/4/10
	USM section 14-440. OK w/conditions	D. Andrews	

PERMIT ISSUED
 NOV 16 2010
 City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1293	Date Applied For: 10/13/2010	CBL: 045 A020001
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Location of Construction: 121 STATE ST	Owner Name: GEARY EDWARD C & KAREN G	Owner Address: 9 BOYD DR	Phone:
Business Name:	Contractor Name: Mike Gervais	Contractor Address: 62 William Knight Road Windham	Phone (207) 749-5944
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use: 3 unit Residential - Rebuild deck 3'7" x 22'	Proposed Project Description: 3 unit Residential - Rebuild deck 3'7" x 22'
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Dept: Historic **Status:** Approved with Conditions **Reviewer:** Deborah Andrews **Approval Date:** 11/04/2010
Note: **Ok to Issue:**

- 1) * Height of handrail not to exceed 36". Height to be consistent throughout.
 - * Entire installation to be painted or opaque stained the body color of the house. (Painting to be completed no later than May 15.)
 - * Applicant has not paid Historic Preservation review fee (\$50). Permit shall not be issued until fee is paid.

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 10/29/2010
Note: Using section 14-440. Floor plans show that the exterior egress provides egress for first & second floor apartments for 121 State and the second floor apartment for 119 State Street. There is no room to put the stairs inside without taking up too much of the apartments. **Ok to Issue:**

- 1) This permit is being issued with the condition that the egress be the smallest footprint allowed to meets life safety code requirements.
- 2) This property shall remain a three family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 11/16/2010
Note: **Ok to Issue:**

- 1) This approval is based on IBC Sec. 3403.4 for existing stair slope and Sec. 3407 for historic buildings for guardrail height.
- 2) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Keith Gautreau **Approval Date:** 11/16/2010
Note: **Ok to Issue:**

- 1) No means of egress shall be affected by this renovation
- 2) The entire structure shall comply with Chapter 10 of the Portland City Code for "Existing Apartments." Compliance shall be insured prior to the issuance of a Certificate of Occupancy.
- 3) All construction shall comply with City Code Chapter 10.

Location of Construction: 121 STATE ST	Owner Name: GEARY EDWARD C & KAREN G	Owner Address: 9 BOYD DR	Phone:
Business Name:	Contractor Name: Mike Gervais	Contractor Address: 62 William Knight Road Windham	Phone (207) 749-5944
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Comments:

10/18/2010-amachado: Spoke to the owner, Ted Geary. Need letter of permission from owner at 119 State Street because it is partially on his property and provides egress for one of his units.

10/29/2010-amachado: Received email from owner at 119 State Street giving his approval for work on the part of the deck that is on his property.

11/4/2010-ldobson: Returned from Deb 11/4/2010

11/5/2010-jmb: Routed to Fire

11/8/2010-jmb: Somehow this was routed back to building from fire without approvals. Left vmsg for Michael G. For details if this can conform with the IBC for rise/run, also rail height not to code, balusters 4-1/4", need handrail detail and support (angle bracket) details. Routed back to fire

11/9/2010-jmb: Mike G. Called back, he confirmed he can move the stairs back about a foot to increase the run and he will reduce the rise within the existing limitations. See notes on plans per our conversation.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

 X **Final inspection required at completion of work.**

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



General Building Permit Application

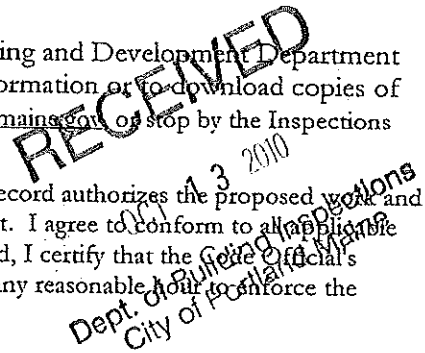
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>121 State Street</u>		
Total Square Footage of Proposed Structure/Area <u>80 sq Ft</u>	Square Footage of Lot <u>1/4 Acre</u>	Number of Stories <u>3 Story + Basement</u>
Tax Assessor's Chart, Block & Lot Chart# <u>045</u> Block# <u>A</u> Lot# <u>019 20</u>	Applicant *must be owner, Lessee or Buyer* Name <u>Edward + Karen Geary</u> Address <u>9 Boyd Drive</u> City, State & Zip <u>Newburyport MA 01940</u>	Telephone: <u>1-617-501-5970</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>2,735.00</u> C of O Fee: \$ _____ Total Fee: \$ <u>80</u>
Current legal use (i.e. single family) <u>3 Family</u> Number of Residential Units _____ If vacant, what was the previous use? _____ Proposed Specific use: <u>Residential</u> Is property part of a subdivision? <u>N</u> If yes, please name _____ Project description: <u>Rebuild Deck 3'-7" x 22'</u>		
Contractor's name: <u>Michael Gervais</u> Address: <u>62 William St Knight Rd</u> City, State & Zip: <u>Windham, ME 04062</u> Telephone: <u>748-5944</u> Who should we contact when the permit is ready: <u>Contractor</u> Telephone: _____ Mailing address: _____		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the City official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.



Signature: [Signature] Date: 10/13/10

This is not a permit; you may not commence ANY work until the permit is issued

Ann Machado - 119 State Street Portland

From: State Street <statest6@hotmail.com>
To: <amachado@portlandmaine.gov>
Date: 10/29/2010 1:33 AM
Subject: 119 State Street Portland
CC: Ted Geary <gearyt@gmail.com>

Ann,

My name is Joe Savukinas.

I own the property at 119 State St in Portland.

Ted Geary (owner of 121 State St.) has asked me to contact you to give approval for deck repair work to be done at that location.

I give permission for work to be done.

If you have questions, please reply to this email.

Regards.

---JOE

RECEIVED

OCT 29 2010

**Dept. of Building Inspections
City of Portland Maine**

RUFUS DEERING COMPANY
383 COMMERCIAL STREET
P.O. BOX 880
PORTLAND, ME. 04104-0880
PHONE: (207) 772-6505

PLEASE BE SURE TO RETURN TO THE STORE
 WITH ANY CHANGES YOU MAY HAVE MADE.

MICHAEL H GERVAIS	
62 WILLIAM KNIGHT RD	ME 04062
WINDHAM	
MICHAEL H GERVAIS	
SPRING ST DECK	
62 WILLIAM KNIGHT RD	ME 04062
WINDHAM	

DOC #: 023237/1
 DATE: 9/27/10 TIME: 12:10
 CLERK: RRM TERM#554
 SLSPR: MJ JOHN MERRILL
 TAX: 001 ME SALES TAX
 EST.#: 23237

 * ESTIMATE *

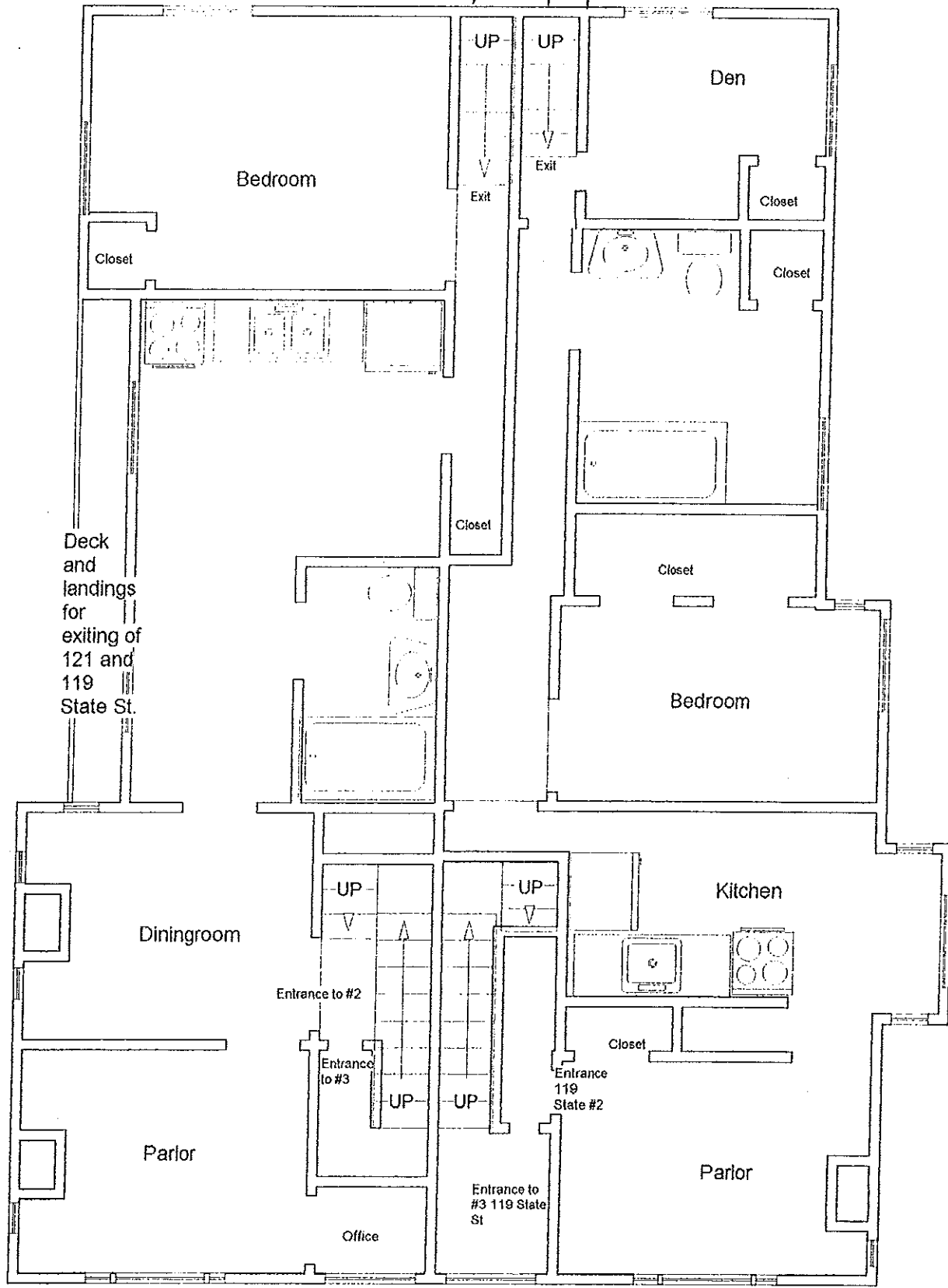
QUANTITY	UM	ITEM	DESCRIPTION	UNITS	SUGG	PRICE/PER	EXTENSION
6	EA	3TB	EA 2X2 3' CLEAR PT BALUSTERS	6	1.529	1.237/EA	7.42 C
2	PC	248T	8' PCS 2X4 PT .25 NATURE WOOD #1	2	4.112	3.348/PC	6.70 C
5	PC	2416T	16' PC 2X4 #1 PT .25 NATURE WOOD	5	9.022	7.35 /PC	36.75 C
2	PC	268T	8' PC 2X6 #1 PT .25 NATURE WOOD	2	5.878	4.787/PC	9.57 C
7	PC	2810T	10' PCS 2X8 PT .25 NATURE WD. #1	7	10.809	8.804/PC	61.63 C
3	PC	2814T	14' PCS 2X8 PT .25 NATURE WD #1	3	15.83	12.889/PC	38.67 C
4	PC	21216T	16' PCS 2X12 .25 NATURE WOOD PT	4	28.617	23.304/PC	93.22 C
3	PC	4412T	12' PCS 4X4 PT .40 #2 NATURE WD.	3	13.798	11.247/PC	33.74 C
1	PC	4612T	12' PCS 4X6 PT .40 #2 NATURE WD.	1	21.489	17.505/PC	17.51 C
16	PC	54616T	16' PC 5/4X6 .15 NAT WD PREM WAX	16	17.577	14.323/PC	229.18 C
8	EA	28JHZ	EA 2X8 JOIST HANGERS LUS28Z ZINC	8	1.529	.954/EA	7.63 C

TAXABLE	542.02
NON-TAXABLE	0.00
SUBTOTAL	542.02
TAX AMOUNT	27.10
TOTAL AMOUNT	569.12

** ESTIMATE ** ESTIMATE ** ESTIMATE ** ESTIMATE ** ESTIMATE **

X
 Received By _____

2nd floor door
fire escape
2nd floor door.



121 State Street
2nd Floor

119 State Street
2nd Floor

Parking for 121 State St

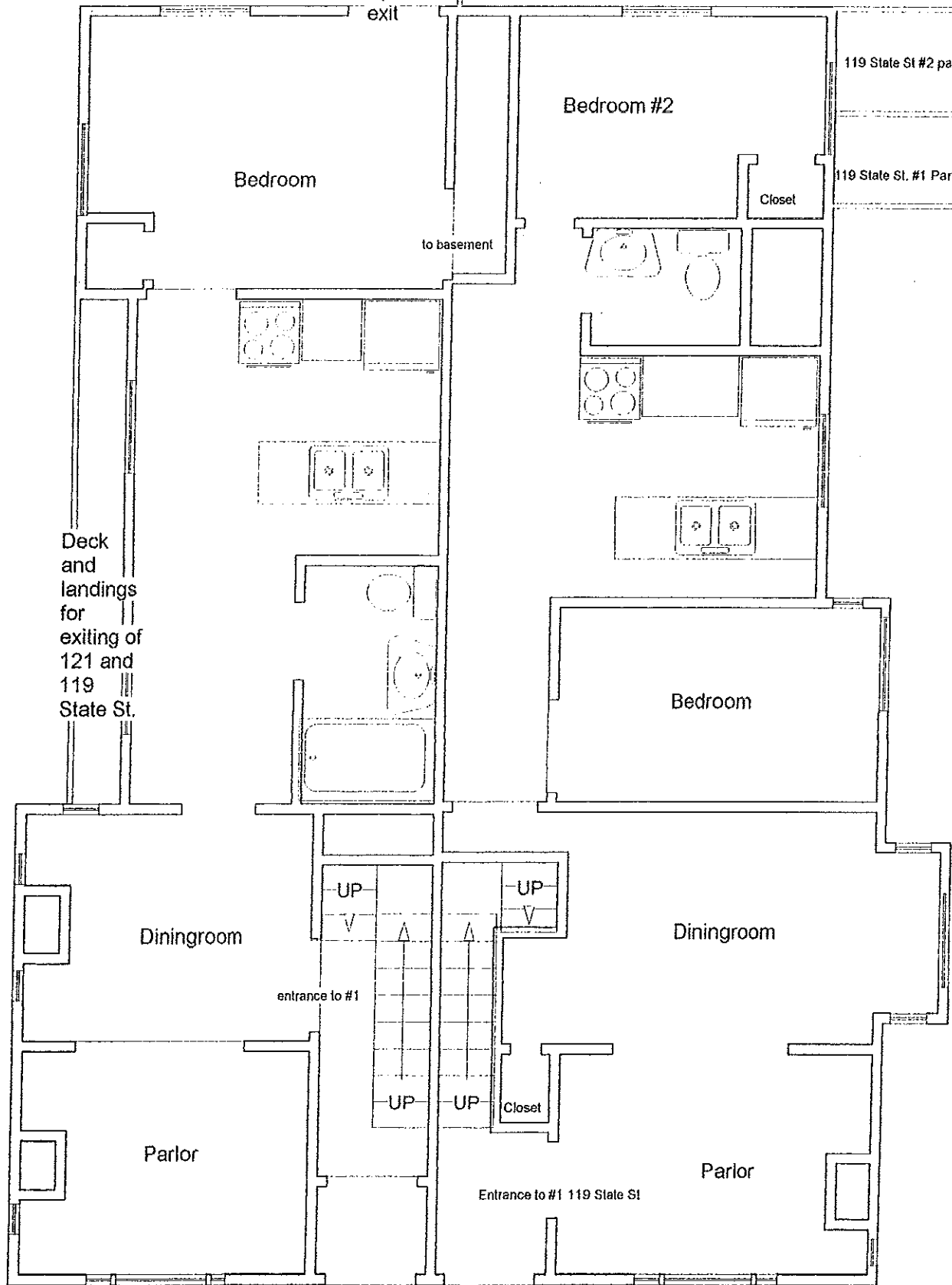
1st floor door. to rear egress

1998.

119 State St #3 parking

119 State St #2 parking

119 State St. #1 Parking

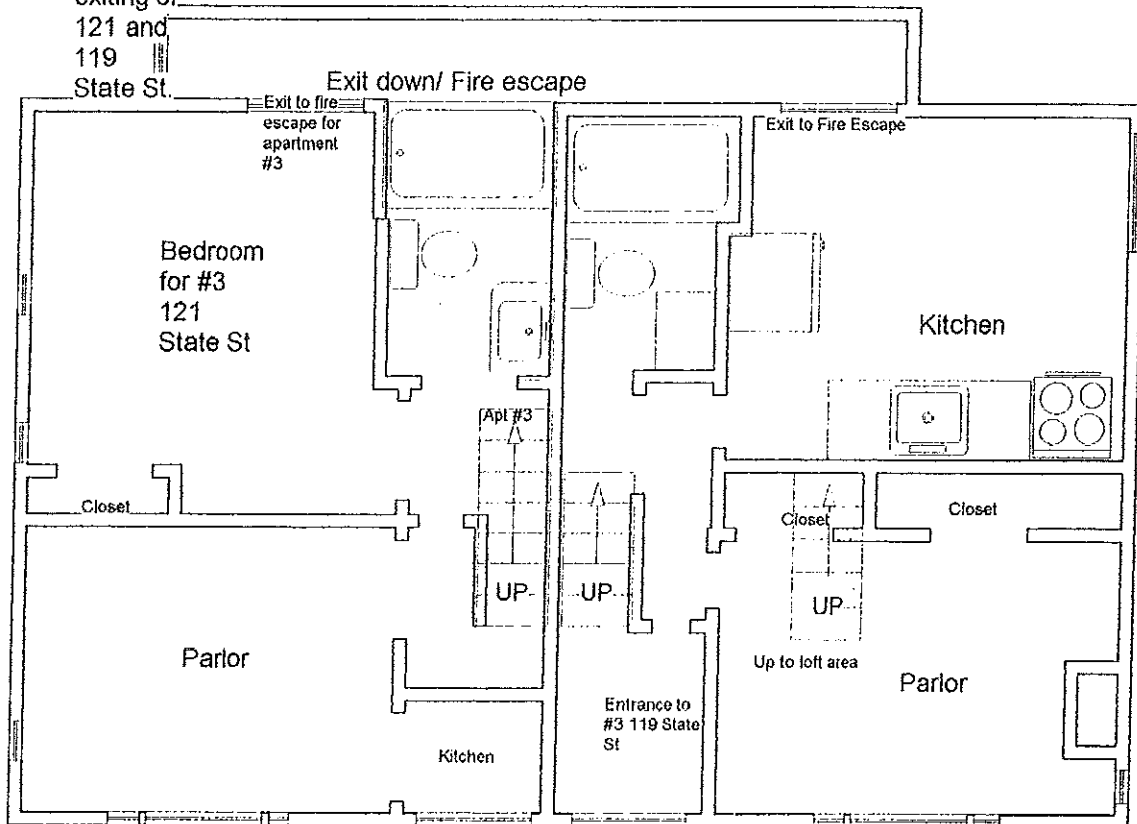


121 State Street

119 State Street

1st floor

Deck and landings for exiting of 121 and 119 State St.



121 State Street
3rd Floor

119 State Street
3rd Floor

12' - 11 9/16" ST
springs

37' - 6 1/2"

8' - 3"

3' - 7"

2x4 Framing
3/4 PT Deck

12" x 12" A

12 steps

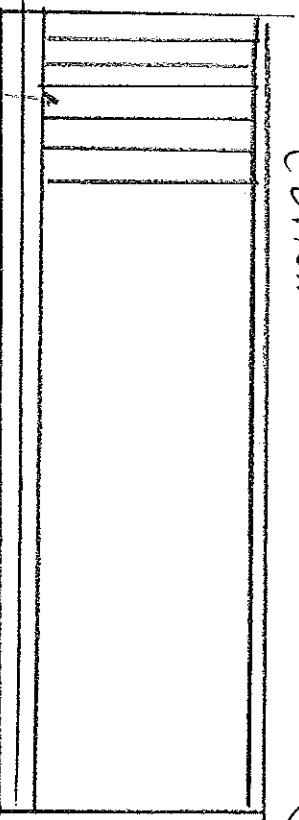
9" step

7 3/4" rise

15' - 5 1/2"

13' - 16"

Current Rail



Deck

Top
8k
per
37 3/4"
Springs

Current
Spacing
11" A/M

7' - 7 1/4"

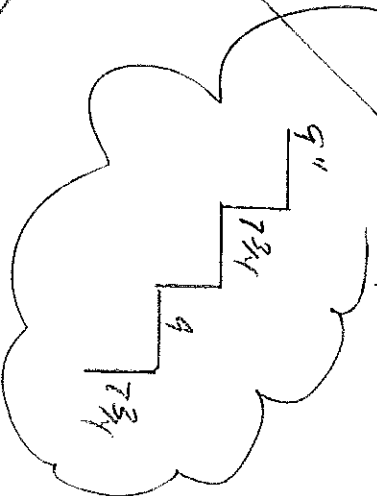
7' - 5"

Will be
2 1/4"

Slope

Notes
per Mike G
Will be more confirmed
move back 12" (will meet continuity for all riser
solid riser or
slight rise

Existing steps rise



Will be
gas
for rail

← State Street

(121-119 State Street)
Property

Fence Line ↓

15'-3"

18'-6"

121-119 State Street

Existing Deck

22'

3'-7"

Old Fire Building

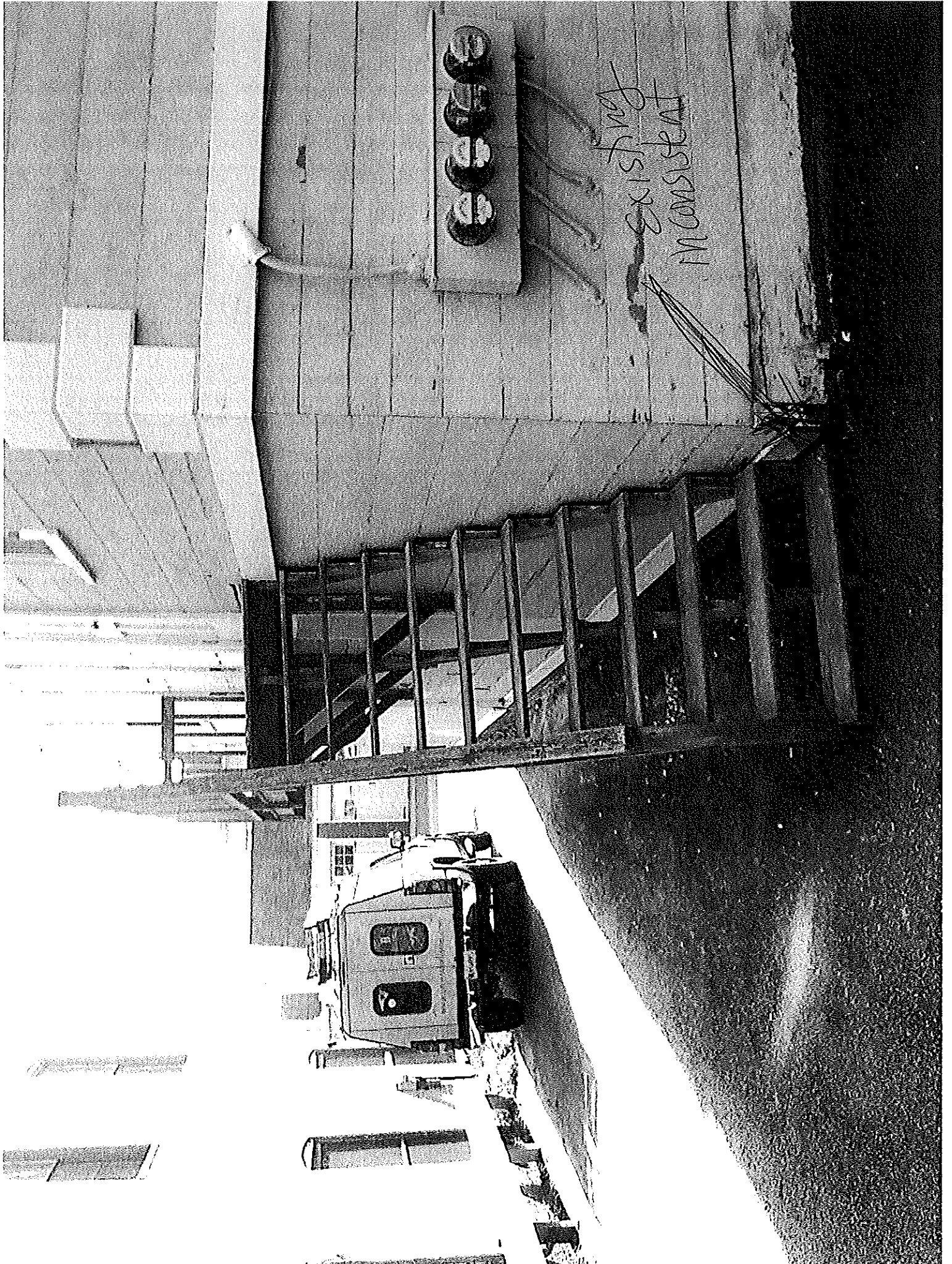
12'-5"

26'-0"

SPRING Street

- Need property lines for each property
need all plot plan





ELECT

existing
INCONSISTENT



PRIVATE
PARKING
CALLER
COURTESY
ALPINE
RESTAURANT
1016
1016
1016

12-06-10 Final - Not okay.

Need positive connection to grade or approved
fastening to existing structure, a graspable
handrail, approved nozzles/ ledges beltation.

R string connects needs connection. SCAR &
DUM