

**City of Portland, Maine – Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 119 State Street		Owner: Nick Kasdon		Phone: 772-4664		Permit No: <b>000991</b>	
Owner Address: Same		Lessee/Buyer's Name: N/A		Phone:		BusinessName:	
Contractor Name: *** Caron & Waltz		Address: *** 321 Lincoln St. So. Portland, ME		Phone:		Permit Issued:  <b>SEP 6 00</b>	
Past Use:  Multi-Family		Proposed Use:  Multi-Family		COST OF WORK: \$ 18,500.00		PERMIT FEE: \$ 138.00	
				FIRE DEPT. <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: 1-2 Type: *	
		<i>legal limit</i>		Signature: <i>AM</i>		Signature: <i>[Signature]</i>	
Proposed Project Description:  REmodel basement, bathroom & bedroom, addition of bath		<i>SAME</i>		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		Zone: <i>CG-3</i> CBL: 045-A-019	
				Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/>		Zoning Approval: <i>CG-3 fam</i> <i>OK with conditions</i> Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
Permit Taken By:  Gayle		Date Applied For:  <i>8/1/00</i> August 1, 2000 GG					

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

**PERMIT ISSUED WITH REQUIREMENTS**

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

*8/1/00* August 1, 2000

SIGNATURE OF APPLICANT \_\_\_\_\_ ADDRESS: \_\_\_\_\_ DATE: \_\_\_\_\_ PHONE: \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE \_\_\_\_\_ PHONE: \_\_\_\_\_

**Zoning Appeal**

Variance  
 Miscellaneous  
 Conditional Use  
 Interpretation  
 Approved  
 Denied

**Historic Preservation**  
 Not in District or Landmark  
 Does Not Require Review  
 Requires Review

**Action:**

Approved  
 Approved with Conditions  
 Denied

Date: *[Signature]*

**PERMIT ISSUED WITH REQUIREMENTS**  
 CEO DISTRICT **3**



CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

LOCATION 119 State St (045-A-019)

Issued to Cloutier Toothaker Associates

Date of Issue 19 August 1998

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 980888, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

Three Family Dwelling

Limiting Conditions:

This certificate supersedes certificate issued

Approved:

8/19/98  
(Date)

Tammy Munson  
Inspector

CU August  
Inspector of Buildings  
FOR SAM HOFFSES

TMM

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

LOCATION 121 State St (045-A-020)

Issued to Cloutier Toothaker Assoc.

Date of Issue 19 August 1998

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 980887, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

Three Family Dwelling

Limiting Conditions:

This certificate supersedes certificate issued

Approved:

8/19/98  
(Date)

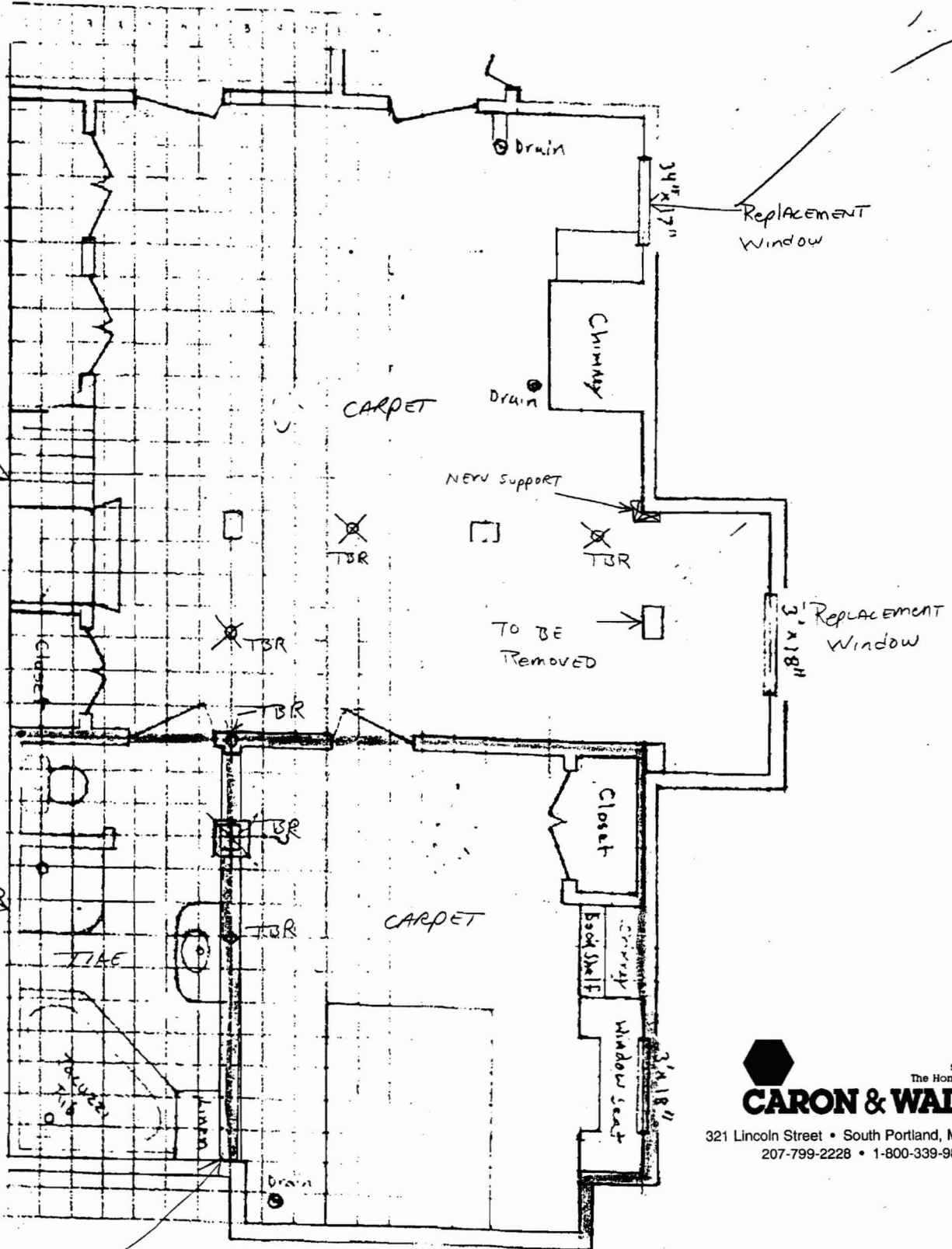
Tammy Munson  
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FOR SAM HOFFSES

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WOOD FRAMING 2x4 OR 2x6 AND 1/2 SHEET ROCK



When planning areas, it is especially important to consider the squares equal to 1 foot.

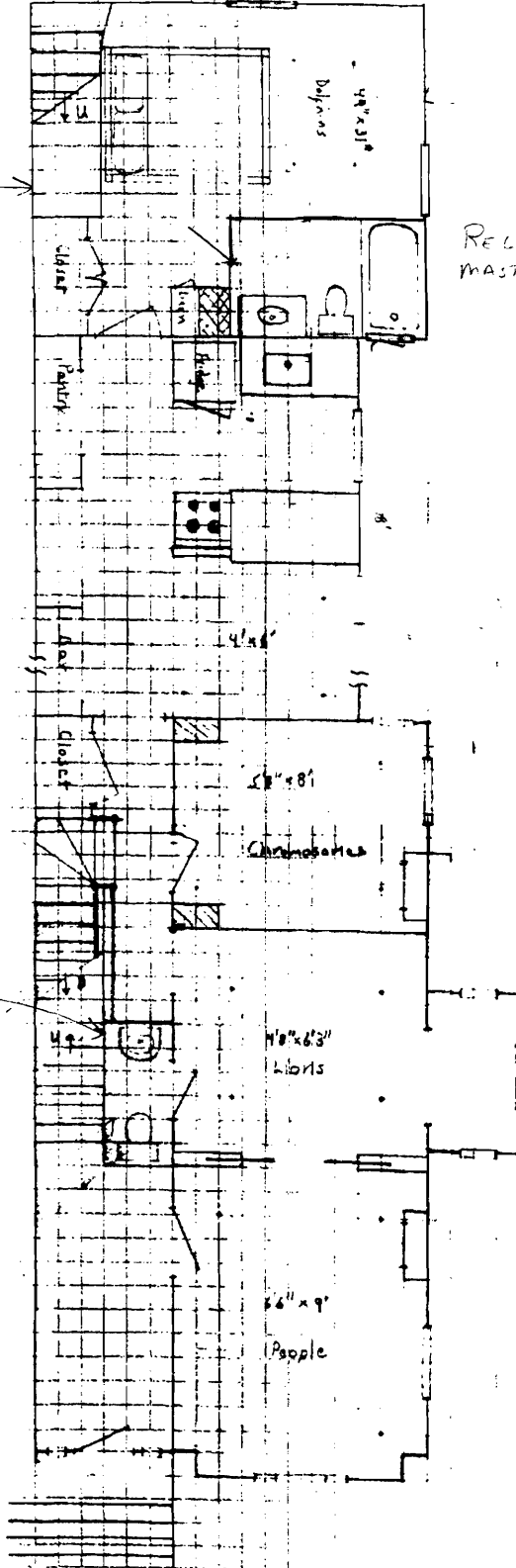
Since 1958  
The Home Team  
**CARON & WALTZ**

321 Lincoln Street • South Portland, Maine 04106  
207-799-2228 • 1-800-339-9888



STORE NAME \_\_\_\_\_

321 Lincoln Street • South Portland, Maine 04106  
207-799-2228 • 1-800-339-9888



OLD LASEMENT  
STAIR TO BE  
CLOSED OFF

RELOCATED  
MASTER BATH ROOM

NEW HALF  
BATH

Carpet to wall  
This planning sheet is especially designed for trying out carpet installations. Usually it is most practical to consider the squares equal to 1 foot.



This planning sheet is especially designed for trying out carpet installations. Usually it is most practical to consider the squares equal to 1 foot.



REAL ESTATE ASSESSMENT RECORD - CITY OF PORTLAND, MAINE

CURR. DESC.	LAND NOS.	STREET	BLDG. NO.	CARD NO.	DEVELOPMENT NO.	AREA	DIST.	ZONE	GRANT	BLOCK	LOT	CURR. DESC.
	119	State		OF			/		45	A	19	

TAXPAYER ADDRESS AND DESCRIPTION

MAINE TRADING CORPORATION  
507 CUMBERLAND AVE  
CITY

LAND & BLDG STATE ST #119 &  
SPRING ST #161-165  
ASSESSORS PLAN 45-A-19  
AREA 2993 SQ. FT

RECORD OF TAXPAYER			YEAR	BOOK	PAGE

PROPERTY FACTORS			
TOPOGRAPHY		IMPROVEMENTS	
LEVEL		WATER	
HIGH		SEWER	
LOW		GAS	
ROLLING		ELECTRICITY	
SWAMPY		ALL UTILITIES	
STREET		TREND OF DISTRICT	
PAVED		IMPROVING	
SEMI-IMPROVED		STATIC	
DIRT		DECLINING	
SIDEWALK			
TILLABLE	PASTURE	WOODED	WASTE

LAND VALUE COMPUTATIONS AND SUMMARY						
FRONTAGE	DEPTH	UNIT PRICE	DEPTH FACTOR	FRONT FT. PRICE	YEAR 1951	
91	90	130	96	125	3530	19
					<i>C.I. + 10%</i>	<i>+ 390</i>
TOTAL VALUE LAND					<i>4270</i>	
TOTAL VALUE BUILDINGS					<i>3500</i>	
TOTAL VALUE LAND AND BUILDINGS					<i>7770</i>	
SQ. FT. TO-FROM CH.		BLK.	LOT			
SQ. FT. TO-FROM CH.		BLK.	LOT			

LAND VALUE COMPUTATIONS AND SUMMARY						
FRONTAGE	DEPTH	UNIT PRICE	DEPTH FACTOR	FRONT FT. PRICE	19	19
TOTAL VALUE LAND						
TOTAL VALUE BUILDINGS						
TOTAL VALUE LAND AND BUILDINGS						
SQ. FT. TO-FROM CH.		BLK.	LOT			
SQ. FT. TO-FROM CH.		BLK.	LOT			

ASSESSMENT RECORD			INCREASE	DECREASE
1950	LAND	3100		
	BLDG.	2550		
	TOTAL	5650		
1951	LAND	2550		
	BLDG.	9100		
	TOTAL	11650		
1952	LAND	2250		
	BLDG.	2100		
	TOTAL	4350		
19	LAND			
	BLDG.			
	TOTAL			
10	LAND			
	BLDG.			
	TOTAL			
10	LAND			
	BLDG.			
	TOTAL			
10	LAND			
	BLDG.			
	TOTAL			
10	LAND			
	BLDG.			
	TOTAL			
10	LAND			
	BLDG.			
	TOTAL			
10	LAND			
	BLDG.			
	TOTAL			

LAND VALUE COMPUTATIONS AND SUMMARY						
FRONTAGE	DEPTH	UNIT PRICE	DEPTH FACTOR	FRONT FT. PRICE	19	19
TOTAL VALUE LAND						
TOTAL VALUE BUILDINGS						
TOTAL VALUE LAND AND BUILDINGS						
SQ. FT. TO-FROM CH.		BLK.	LOT			
SQ. FT. TO-FROM CH.		BLK.	LOT			
10	ORIG. COST					
	RENTAL					
10	SALE PRICE					
	EXPENSE					
10	U. S. R. S.					
	NET					

LAND VALUE COMPUTATIONS AND SUMMARY						
FRONTAGE	DEPTH	UNIT PRICE	DEPTH FACTOR	FRONT FT. PRICE	19	19
TOTAL VALUE LAND						
TOTAL VALUE BUILDINGS						
TOTAL VALUE LAND AND BUILDINGS						
SQ. FT. TO-FROM CH.		BLK.	LOT			
SQ. FT. TO-FROM CH.		BLK.	LOT			
30						

RECORD OF BUILDINGS

GRADE DENOTES QUALITY OF CONSTRUCTION. A--EXCELLENT; B--GOOD; C--AVERAGE; D--CHEAP; E--VERY CHEAP

YEAR 19

YEAR 19

RENT 45 mo

CONSTRUCTION

FOUNDATION	FLOOR CONST.	ROOFING
CONCRETE	CONCRETE	ASPH. SHINGLES
BRICK	WOOD	WOOD SHINGLES
CELLAR AREA FULL	FLOOR FINISH	SLATE
NO. CELLAR	CEMENT	METAL
EXTERIOR WALLS	EXTERIOR WALLS	COMPOSITION
CLIPBOARD	CEMENT	ROLL ROOFING
WOOD SIDING	BRICK	INSULATION
DOOR SIDING	PINE	
NO SHEATHING	HARDWOOD	
WOOD SHINGLES	TERRAZZO	
ASBES. SHINGLES	TILE	
STUCCO ON FRAME	ATTIC FLR. & STAIRS	
STUCCO ON TILE	INTERIOR FINISH	
BRICK VENEER	B 1 2 3	
BRICK ON TILE	PINE	
SOLID BRICK	HARDWOOD	
STONE VENEER	PLASTER	
COND. OR COND. BL.	UNFINISHED	
TERRA COTTA	METAL CLG.	
VITROLITE	RECREAT. ROOM	
SLATE GLASS	FINISHED ATTIC	
INSULATION	FIREPLACE	
WEATHERSTRIP	HEATING	
ROOFING	PIPELESS FURNACE	
ASPH. SHINGLES	HOT AIR FURNACE	
WOOD SHINGLES	FORCED AIR FURN.	
ASBES. SHINGLES	STEAM	
SLATE	HOT WAT. OR VAPOR	
METAL	NO HEATING	
COMPOSITION	GAS BURNER	
ROLL ROOFING	OIL BURNER	
INSULATION	STOKER	

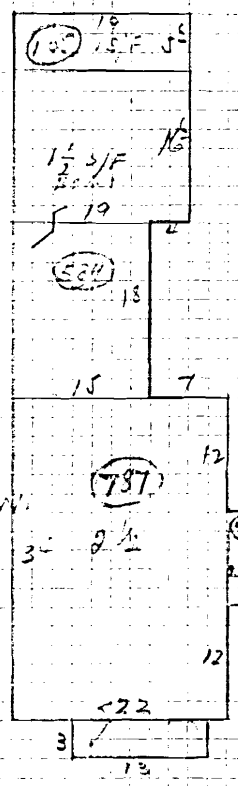
COMPUTATIONS

UNIT	1931
707 S.F.	6950
P.W.	-280
ADDITIONS	+3160
BASEMENT	
WALLS	
ROOF	+160
FLOORS	
ATTIC	
FINISH	
FIREPLACE	+140
HEATING	+260
PLUMBING	+220
TILING	
TOTAL	10630
FACT +15	1050
REP. VAL.	11680

SUMMARY OF BUILDINGS

OCCTY	TYPE	GR.	AGE	REMOD.	COND.	REP. VAL.	P. D.	PHY. VAL.	F. D.	SOUND VAL.	TAX VAL.
DWS	A 2 1/2 S/F	E	95		E	11680	60%	4670	25%	3500	2100
	B										
	C										
	D										
	E										
	F										
	C										

YEAR	1931	1931 TOTAL BLDGS.	3100	2100
TAX VAL.				
OLD VAL.	2100			
CHANGE				



220  
2510

130

H30  
10  
2 1/2  
4

P.W.  
45 (6.47)