

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 040671

Please Read
Application And
Notes, If Any,
Attached-

This is to certify that Lafayette Square Limited Partnership Pan I.I.C.
has permission to walk-in cooler in basement

AT 650-A Congress St 045 A003001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to **Public Works** for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is laid or closed-in. **48 HOUR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. [Signature]
Health Dept. _____
Appeal Board _____
m e r _____
Department Name _____

[Signature] 5/28/04
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0671	Issue Date:	CBL: 045 A003001
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Location of Construction: 650-A Congress St	Owner Name: Lafayette Square Limited Part	Owner Address: 130 Park St	Phone:
Business Name:	Contractor Name: X Pan LLC	Contractor Address: 18 Cottage Lane Cape Elizabeth	Phone 2077995221
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B3

Past Use: Pizza Restaurant	Proposed Use: Pizza Restaurant w/walk-in cooler in basement	Permit Fee: \$39.00	Cost of Work: \$1,200.00	CEO District: 2
Proposed Project Description: walk-in cooler in basement		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group. A3 Type: 2C 5/28/04 <i>[Signature]</i>	
		Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>	

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action:	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Signature:	Date:	

Permit Taken By: kwd	Date Applied For: 0512512004	Zoning Approval	
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 5/27/04	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
	<i>All previous conditions still apply</i>		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
KESONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

040671

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 650 A CONGRESS ST. Bethany, Me 04011

Total Square Footage of Proposed Structure: 90 S.F. AT. Square Footage of Lot: _____

Tax Assessor's Chart, Block & Lot: Chart# 045 Block# A Lot# 003 Owner: X PAN LLC Telephone: 7995 2211
774-411

Lessee/Buyer's Name (If Applicable): _____ Applicant name, address & telephone: X PAN LLC cost Of Work: \$ 1200
18 COTTAGE LANE Fee: \$ 39
CAPE ELIZ ME 04017

Current use: Res
If the location is currently vacant, what was prior use: _____
Approximately how long has it been vacant: _____
Proposed use: Amendment to permit # 040447
Project description: 8' X 12' WALK IN CLOSER IN BASEMENT

Contractor's name, address & telephone: _____
Who should we contact when the permit is ready: GABRIEL 7995221
Mailing address: 18 COTTAGE LANE
CAPE ELIZ ME 04017
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: _____

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature] Date: MAY 25 2004
5/21/04

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

IN THE BASEMENT (SEE ATTACHED FLOOR PLAN) WE
PLAN TO BUILD A 8'x12" WALK IN COOLER - BUILD TO SPECS
ON ATTACHED PLANS.



CITY OF PORTLAND, MAINE
Department of Building Inspections

Received from _____ *20* _____

Received from *X. ...* _____

Location of Work *FOA...* _____

Cost of Construction \$ _____

Permit Fee \$ _____

Building (11) Plumbing (15) _____ Electrical (12) _____ Site Plan (U2) _____

Other _____

CBL: *121-2503*

Check #: _____ Total Collected \$ *100.00*

THIS IS NOT A PERMIT

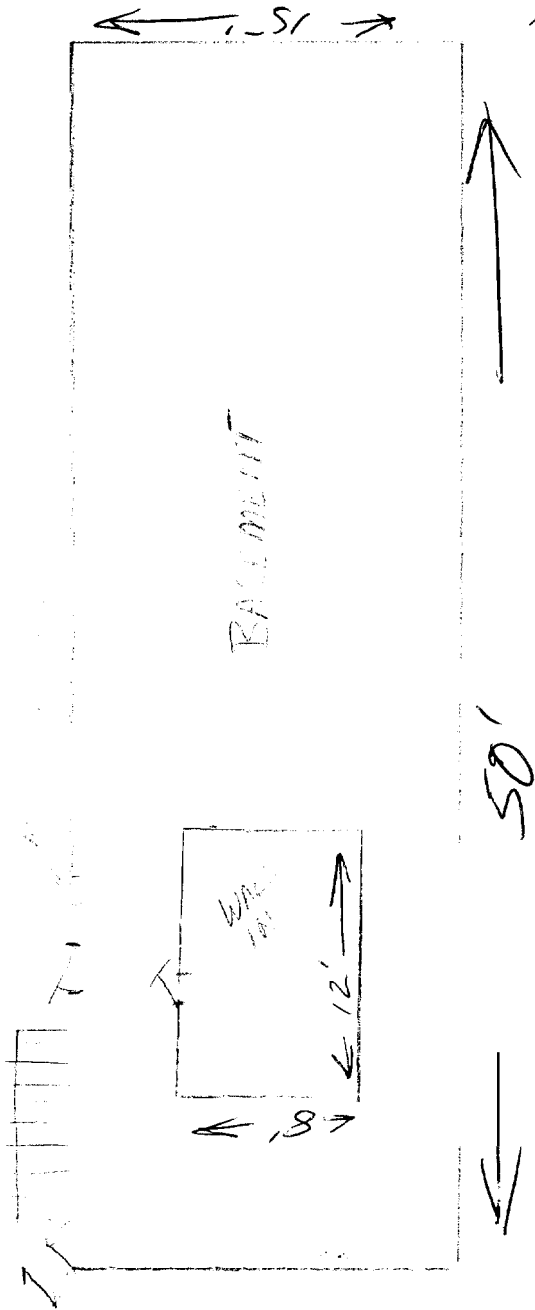
No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

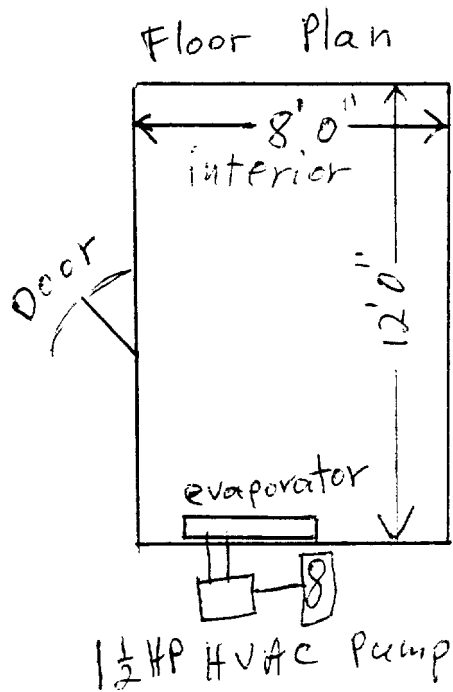
WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

Handwritten signature

Revised Building Permit 650 A Congress St

WALK IN COOLER
XPAN LLC



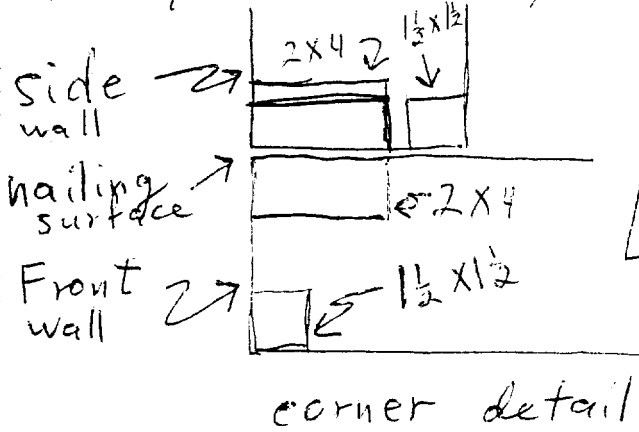


- Built in place using wood frame, fiberglass insulation, plastic vapor barrier, and vinyl bathtub siding for inside wall covering.
- Door is standard insulated door.

Front wall

sides are exactly 8' long

front/back exactly $12' + 2w = 12' 11''$ long
 $w = 5\frac{1}{2}''$

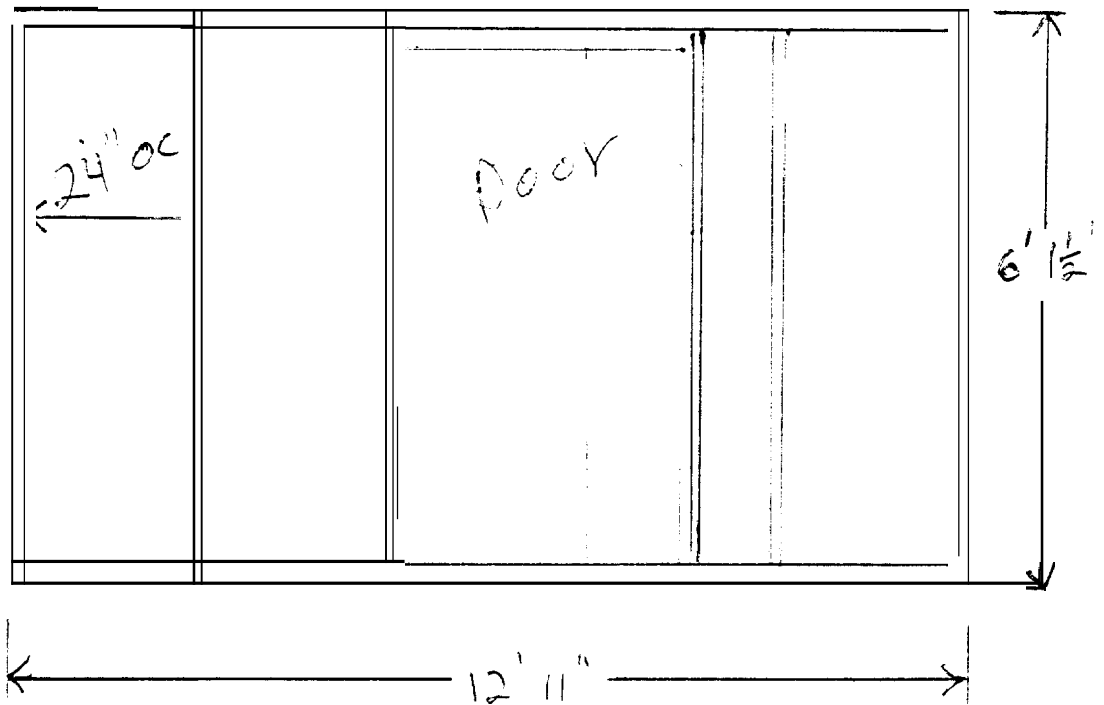


need ④ 14 # 2 X 6
 for front/back header/footer.

need ⑧ 2 X 4 for
 corners of walls

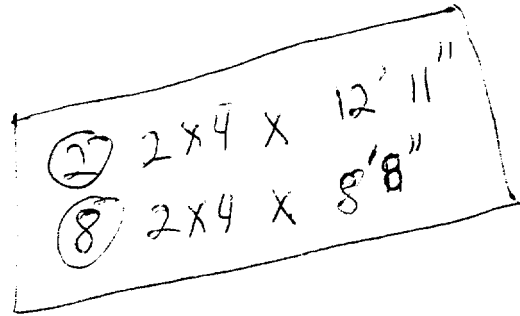
plastic 10' wide or 15' wide
 Staples
 insulation: 24" wide X 120'

uprights are 5' 10 1/2"

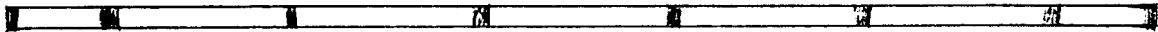


ceiling

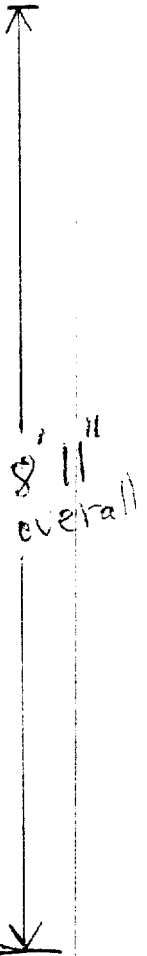
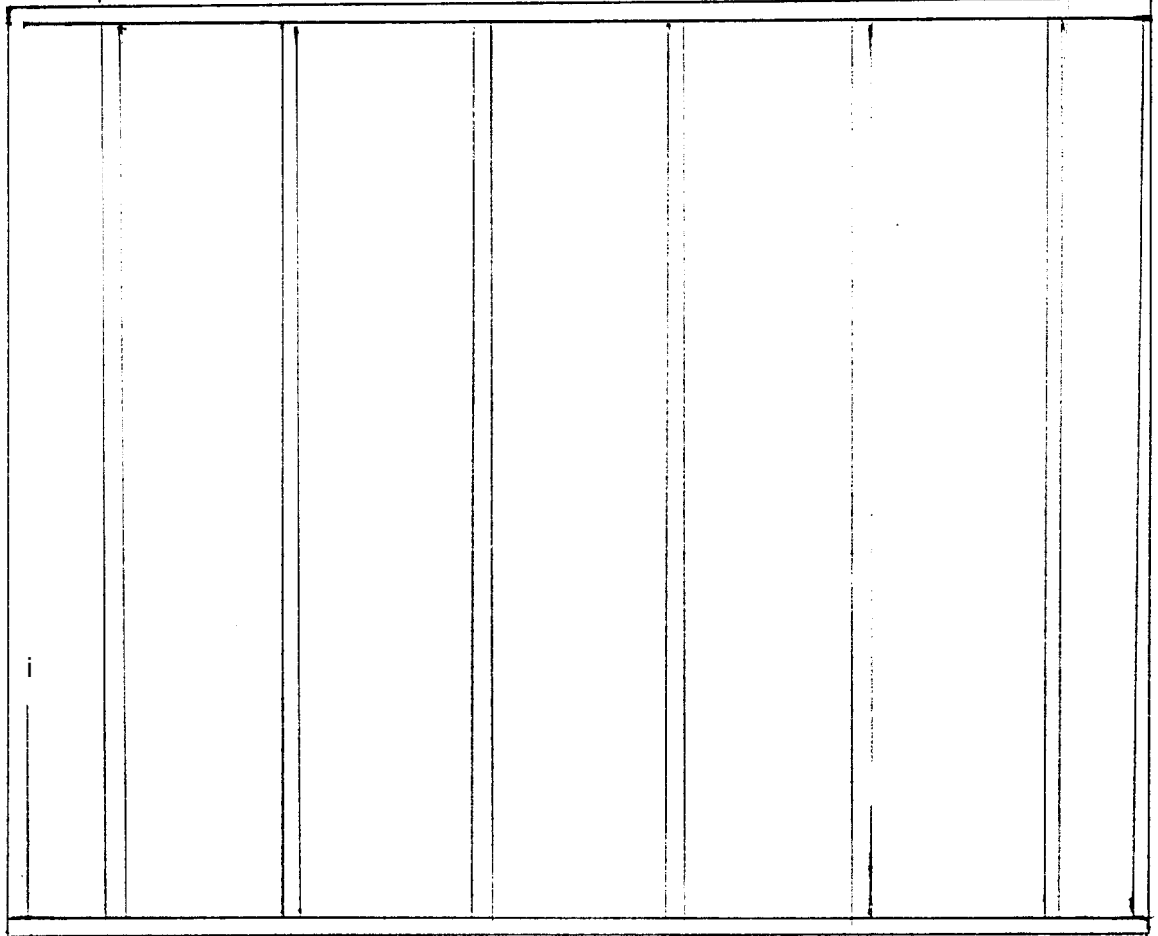
8' 11" x 12' 11"
2x4 construction



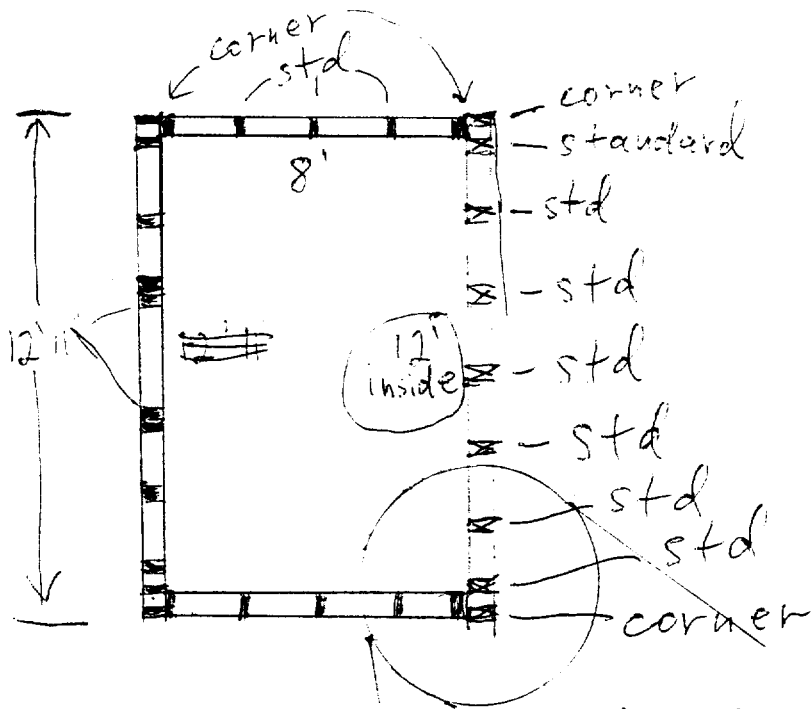
side
~~top~~ view



top view



Upright location & Type

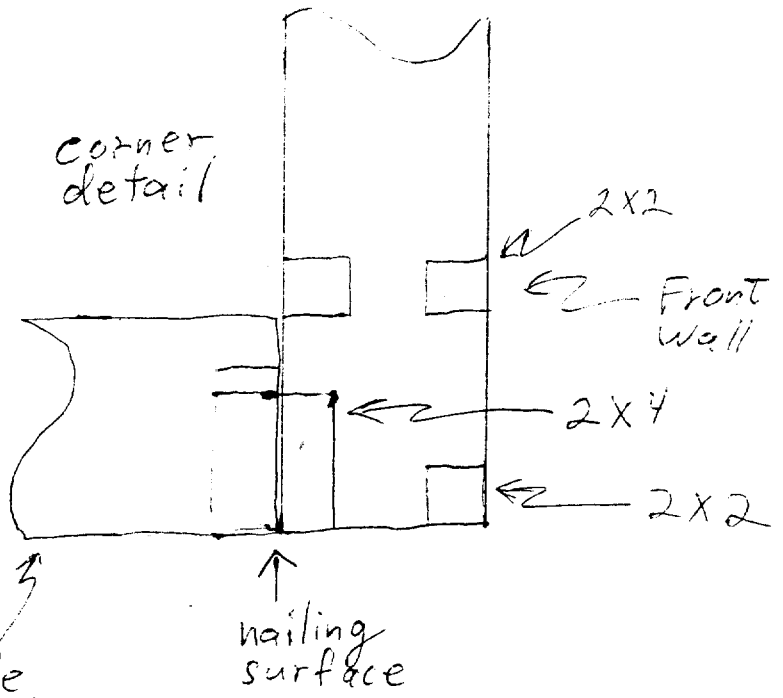


- back wall:
 - 2 corners
 - 7 std uprights

- Front wall:
 - 2 corners
 - 4 Solid 6x6 (door)
 - 5 std

- Sides:
 - 2 corners } left
 - 3 std } right
 - 2 corners } left
 - 3 standard } right

Total uprights
 8 Corners
 18 Standard
 4 Solid



Materials:

Corner = ① 2x4 + ① 2x2 x 8 corners = ⑧ 2x4 ⑧ 2
 Standard = ② 2x2 x 18 std = ③⑥ 2
 Solid = ① 2x6 x 4 = ④ 2x6

also header/footers

Totals: ⑧ 2x4 ⑧ 2x6
 ④⑤ 2x2 ④ 2x6

42 SHEETS 2 SQUARE
 42 SHEETS 3 SQUARE
 42 SHEETS 4 SQUARE
 42 SHEETS 5 SQUARE
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 42 SHEETS 7 SQUARE
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 42 SHEETS 41 SQUARE
 42 SHEETS 42 SQUARE

Materials

roof (2) 2 x 12' 11"

(8) 2x4 8 8

walls: (8) 2x4

(44) 2x2

(8) 2x6

(4) 14' x 2x6

insulation - 120 linear ft 2 ft wide
gcap - to seal joints, tubes.

3" screws to assemble

Floor: (3) 1" x 4' x 8' Foam. High Density, hard. ~~13~~

(3) $\frac{1}{2}$ " 4' x 8' exterior Grade Marine Ply

(1) insulated door & Jam. - wide!

gorilla glue
6" clamps

nails

(15) vinyl 4' x 8' for interior surfaces



typical cross section

