



DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

CBL: 044 1008

BUILDING PERMIT # 2011-01-203

BUILDING PERMIT

This is to certify that MATHEW J TRESOTT has permission to INSTALL NEW BASEMENT FOOTINGS TO REINFORCE FLOOR SYSTEM provided that the person or persons, firm or corporation, accepting this permit, comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission must be completed before this building or part thereof is lathed or closed-in. 48 HOUR NOTICE IS REQUIRED.	A fire inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be procured prior to occupancy.
--	---

Fire Prevention Officer

James Burke 1/5/11
Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY.
PENALTY FOR REMOVING THIS CARD.

PERMIT ISSUED

JAN - 5 2011

City of Portland

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Permit No: 2011-01-203	Issue Date: 1/5/2011	CBL: 044 1008001
---------------------------	-------------------------	---------------------

Location of Construction: 58 Gray St	Owner Name: Mathew J Trescott	Owner Address: Same	Phone:
Business Name:	Contractor Name: Rick Romano	Contractor Address: PO Box 1079, Portland ME	Phone: 797-3381
Lessee/Buyer's Name:	Phone:	Permit Type: Interior Alterations	Zone: R-6 Historic
Past Use: Two Family	Proposed Use: Two Family	Cost of Work: 6.000	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Inspection: Use Group: R-3 Type: 5B
		Signature:	Signature: JMB 1/5/11
Proposed Project Description: Pour new footings in basement, add new columns and 1 steel beam		Pedestrian Activities District (P.A.D.)	

Permit Taken By: Ld	Date Applied For: 1/3/11	Zoning Approval		
<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building Permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work. 		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Min <input type="checkbox"/> MM <input type="checkbox"/>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input type="checkbox"/> Not in Dist or Landmark <input checked="" type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
		Date: MES	Date:	Date:

PERMIT ISSUED

JAN - 5 2011

CERTIFICATION

City of Portland

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING CONDITIONS OF APPROVAL

1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
2. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

ZONING CONDITIONS OF APPROVAL

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District. It is understood that all proposed work is interior.
3. This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. without special approvals.
4. This property shall remain a two family dwelling. Any change of use shall require a separate permit application for review and approval.

PERMIT ISSUED

JAN - 5 2011

City of Portland

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693(ONLY)

Or email buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
 - **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
 - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**
1. **Footing inspection prior to pour**
 2. **Final inspection at completion of work**

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

PERMIT ISSUED

JAN - 5 2011

City of Portland

✓ 1/3/11

Two Family



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>58 Gray Street Portland ME</u>		
Total Square Footage of Proposed Structure/Area <u>600 sq FT.</u>	Square Footage of Lot <u>Unknown</u>	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>044 1008</u>	Applicant *must be owner, Lessee or Buyer* Name <u>Dobrow</u> Address <u>58 Gray St.</u> City, State & Zip <u>Portland ME 04102</u>	Telephone:
Lessee/DBA (if applicable) RECEIVED <u>JAN - 3 2011</u> Dept. of Building Inspections City of Portland Maine	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>6000.00</u> C of O Fee: \$ <u>4</u> Total Fee: \$ <u>480.00</u>
Current legal use (i.e. single family) <u>Single Family</u> ^{two families} If vacant, what was the previous use? <u>Residence</u> Proposed Specific use: <u>pouring Footings and Reinforcing First Floor WITH Steel Beam + Columns</u> Is property part of a subdivision? <u>no</u> If yes, please name _____ Project description: <u>pouring Footings and Reinforcing First Floor WITH Steel Beam + Columns</u>	Number of Residential Units <u>2</u> <u>appt with Rick Romano in the use 1/4/11</u>	
Contractor's name: <u>Papi + Romano Builders</u>		
Address: <u>P.O. Box 1079</u> call & mail		
City, State & Zip <u>Portland ME 04103-1079</u>		Telephone: <u>797-3381</u>
Who should we contact when the permit is ready: <u>Rick Romano</u>		Telephone: <u>797-3381</u>
Mailing address: _____		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

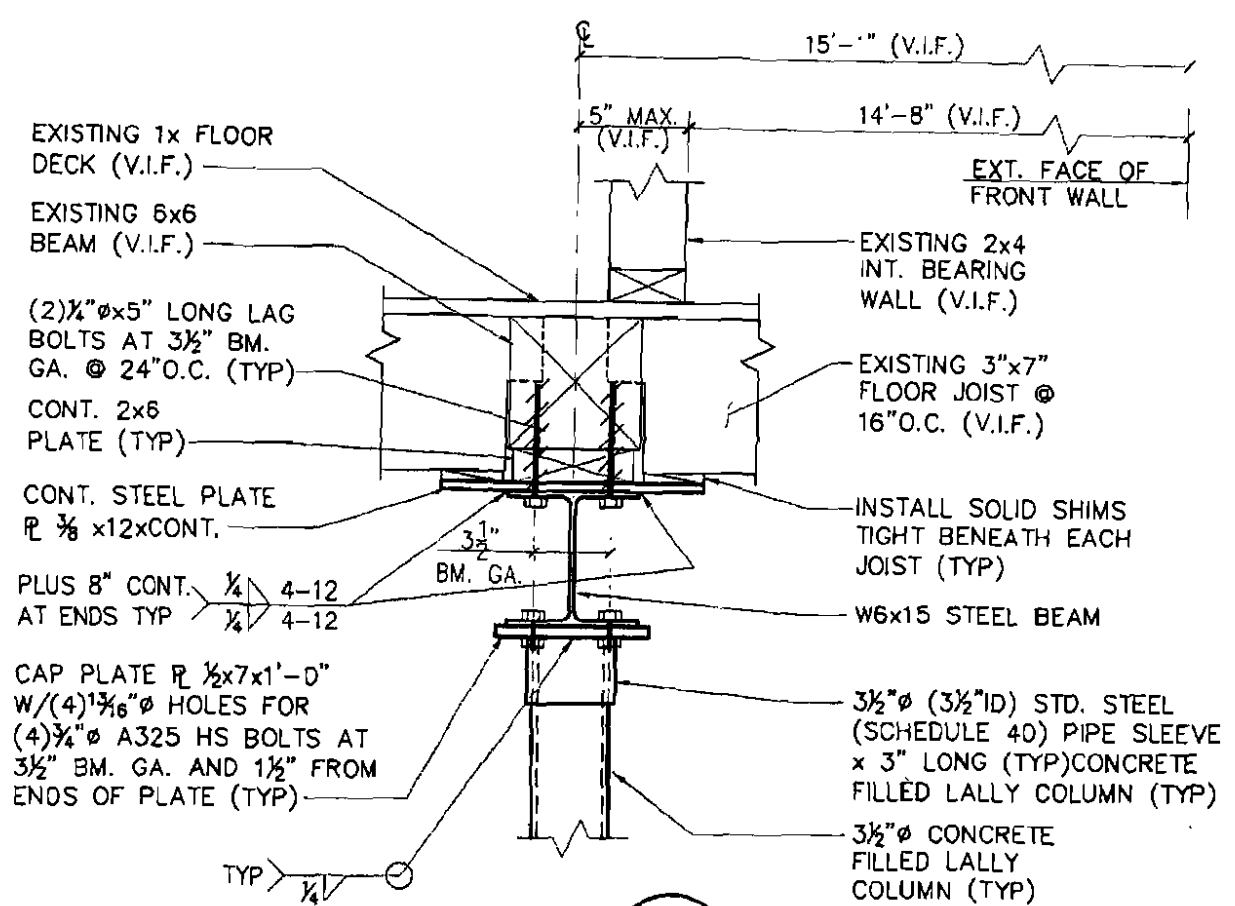
Signature: Wayne Irony

Date: 1-3-2011

This is not a permit; you may not commence ANY work until the permit is issued

58 GRAY ST - Zoning Conditions

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District. It is understood that all proposed work is interior.
3. This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
4. This property shall remain a two family dwelling. Any change of use shall require a separate permit application for review and approval.



EXISTING 1x FLOOR DECK (V.I.F.)

EXISTING 6x6 BEAM (V.I.F.)

(2) 1/4" x 5" LONG LAG BOLTS AT 3 1/2" BM. GA. @ 24" O.C. (TYP)

CONT. 2x6 PLATE (TYP)

CONT. STEEL PLATE P 3/8 x 12 x CONT.

PLUS 8" CONT. 1/4" 4-12 AT ENDS TYP

CAP PLATE P 1/2 x 7 x 1'-0" W/(4) 1 1/4" x 3/4" HOLES FOR (4) 3/4" A325 HS BOLTS AT 3 1/2" BM. GA. AND 1 1/2" FROM ENDS OF PLATE (TYP)

15'-0" (V.I.F.)

14'-8" (V.I.F.)

5" MAX. (V.I.F.)

EXT. FACE OF FRONT WALL

EXISTING 2x4 INT. BEARING WALL (V.I.F.)

EXISTING 3"x7" FLOOR JOIST @ 16" O.C. (V.I.F.)

INSTALL SOLID SHIMS TIGHT BENEATH EACH JOIST (TYP)

W6x15 STEEL BEAM

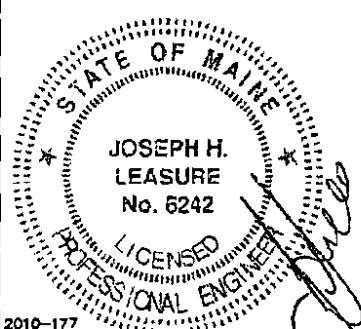
3 1/2" x 3" (3 1/2" ID) STD. STEEL (SCHEDULE 40) PIPE SLEEVE x 3" LONG (TYP) CONCRETE FILLED LALLY COLUMN (TYP)

3 1/2" CONCRETE FILLED LALLY COLUMN (TYP)

SECTION 1

1 1/2" = 1'-0"

S2



2010-177

designed by: JHL

drawn by: AKB

checked by: JHL

scale: AS NOTED

date: 12-23-10

58 GRAY STREET
 PORTLAND, MAINE
 FIRST FLOOR FRAMING REINFORCEMENT
 SECTIONS AND DETAILS

L & L STRUCTURAL
 ENGINEERING SERVICES, INC.
 SIX Q STREET
 SOUTH PORTLAND, MAINE D4106

PHONE: (207) 767-4830
 FAX: (207) 799-5432

S3

GRAY STREET

FRONT

20-0 (V.I.F.)

8" BRICK
(TYP)

3'-8"
(V.I.F.)

2'-0" C
(V.I.F.)

13'-0" (V.I.F.)

8" BRICK
(TYP)

7'-10" (V.I.F.)

OMIT STEEL COL.
CAP HERE

EXISTING 2x7
BEAM (V.I.F.)

30'-0" (V.I.F.)

7'-3" (V.I.F.)

OMIT STEEL COL.
CAP HERE

EXISTING 2x7
BEAM (V.I.F.)

3'-8"
(V.I.F.)

EXISTING 8" BRICK
WALL (2 WYTHE)(V.I.F.)

EXISTING 4x8
BEAM (V.I.F.)

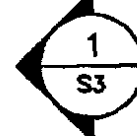
EXISTING 8"
BRICK PIER TO
BE REMOVED

EXISTING 6x6 BEAM
REINF. W/W6x15 CONT.
STEEL BEAM (TYP)

EXISTING 3"x7" @ 16" O.C. JOISTS
(V.I.F.) TYP.

Basement Footing
to Reinforce
FIRST FLOOR

15'-1" (V.I.F.)



6'-10"
(V.I.F.)

6'-10"
(V.I.F.)

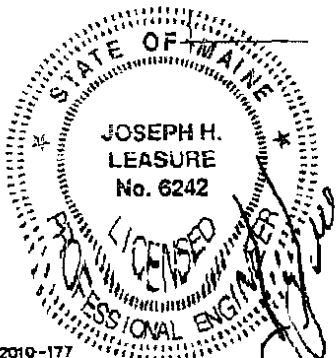
1'-4"
(V.I.F.)

14'-11"
(V.I.F.)

* INDICATES INSTALL NEW 3 1/2" Ø CONCRETE FILLED
LALLY COLUMN W/CAP PLATE SHOWN IN SECTION
1/S3 AND SUPPORTED ON FTG. INDICATED IN
FOOTING SCHEDULE ON S1 (TYP. 5 PLACES)

PARTIAL FIRST FLOOR FRAMING PLAN

1/4" = 1'-0"



2010-177

designed by: JHL

drawn by: AKB

checked by: JHL

scale: AS NOTED

date: 12-23-10

58 GRAY STREET
PORTLAND, MAINE

FIRST FLOOR FRAMING REINFORCEMENT

PARTIAL FIRST FLOOR FRAMING PLAN

L & L STRUCTURAL
ENGINEERING SERVICES, INC.
SIX Q STREET
SOUTH PORTLAND, MAINE 04108

PHONE: (207) 767-4830
FAX: (207) 799-5432

S2

GENERAL NOTES:

1. The notes on the drawings are not intended to replace specifications. In addition to general notes. See specifications for requirements
2. Structural drawings shall be used in conjunction with job specifications and architectural, mechanical, electrical, plumbing, and site drawings. Consult, openings, chases, inserts, reglets, sleeves, depressions, and other details not shown on structural drawings.
3. All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work.
4. Do not scale plans.
5. Sections and details shown on any structural drawings shall be considered typical for similar conditions.
6. All proprietary products shall be installed in accordance with the manufacturers written instructions.
7. The structure is designed to be self supporting and stable after the erection is complete. It is the contractor's sole responsibility to determine erection procedures and sequencing to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, sheeting temporary bracing, guys or tiedowns. Such material shall remain the property of the contractor after completion of the project.
8. All applicable federal, state, and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

TIMBER FRAMING:

1. All Timber framing shall be in accordance with the AITC timber construction manual or the national design specification (NDS) - latest edition
2. Individual timber framing members shall be visually graded, minimum grade #2 Spruce-Pine-Fir (SPF), kiln dried to 19% maximum moisture content.
3. Timber shall be southern yellow pine treated with ACQ water borne preservative in accordance with AWPA treatment C1 with 0.40 PCF retainage for items in contact with roofing, masonry or concrete with 0.60 PCF retainage for items in contact with earth.
4. Metal connectors shall be used at all timber to timber connections or as noted on the design drawings. All metal connectors in contact with pressure treated timber shall be stainless steel.
5. Provide Simpson H2.5 hurricane anchors where timber framing and/or trusses bear on bearing wall and structural beams.
6. Nailing not specified shall conform with IBC 2003. All nails in contact with pressure treated timber shall be stainless steel.

DESIGN LOADS:

1. Building code: IRC (2003) International Residential Building Code.
2. Design Live Loads: (Ground Snow load = 50 psf)
 Roof 45 psf + drift as applicable
 Dwelling Units 40 PSF
3. Design wind loads are based on exposure C using 100 mph basic wind speed.
4. Seismic Design per IBC 2003.

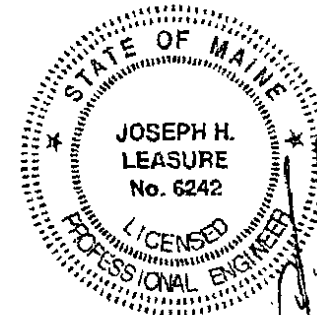
STRUCTURAL STEEL NOTES:

1. Structural steel fabrication, erection, and connection design shall conform to AISC "Specification for the design, fabrication, and erection of structural steel"-Ninth edition.
2. Structural steel:
 - a) Structural steel shall conform to ASTM A-36.
 - b) Structural tubing shall conform to ASTM A-500 GR-B
 - c) Structural pipe shall conform to ASTM A-53, TYPE E OR S
3. Design connections for the reactions shown on the drawings or the maximum end reaction that can be produced by a laterally supported uniformly loaded beam for each given beam size and span.
4. Field connections shall be bolted using 3/4" diameter ASTM A325 high strength bolts except where field welding is indicated on the drawings.
5. All welding shall conform to AWS D1.1-Latest edition. Welding electrodes shall be E70XX.

FOOTING SCHEDULE		
TYPE	SIZE	REINF
A	3'-0" x 3'-0" x 1'-0"	5#4 E.W.B.
B	2'-6" x 2'-6" x 1'-0"	4#4 E.W.B.
C	1'-6" x 1'-6" x 1'-0"	2#4 E.W.B.

REINF. TO BE 3" CLEAR FROM BOTTOM

DOBROW PROJECT



2010-177

designed by:	JHL
drawn by:	AKB
checked by:	JHL
scale:	NONE
date:	12-23-10

58 GRAY STREET
 PORTLAND, MAINE
 FIRST FLOOR FRAMING REINFORCEMENT
 GENERAL NOTES AND FOOTING SCHEDULE

L & L STRUCTURAL
 ENGINEERING SERVICES, INC.
 SIX Q STREET
 SOUTH PORTLAND, MAINE 04106

PHONE: (207) 787-4830
 FAX: (207) 789-5432

S1