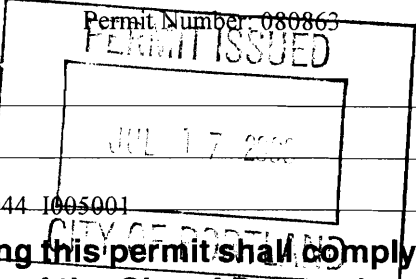


DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Please Read
Application And
Notes, If Any,
Attached



This is to certify that DANFORTH-BRACKETT PROPERTIES / Joe Lucey

has permission to Enlarge 7 Windows on 3rd floor rear of building

AT 73 BRACKETT ST

provided that the person or persons performing or causing to be performed any work accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is altered or service is closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Carrie Bank 7/16/08
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0863	Issue Date:	CBL: 044 I005001
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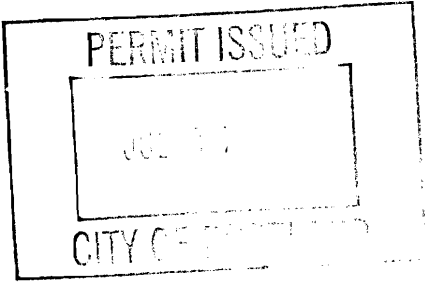
Location of Construction: 73 BRACKETT ST	Owner Name: DANFORTH-BRACKETT PROPE	Owner Address: 174 DANFORTH ST	Phone:
Business Name:	Contractor Name: Joe Lucey	Contractor Address: 482 Walnut Hill Rd No Yarmouth	Phone 2076714249
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone:

Past Use: 7 Residential Condo units	Proposed Use: 7 Residential Condo units - Enlarge 7 Windows on 3rd floor rear of building <i>1 legal use - 7 residential condos.</i>	Permit Fee: \$70.00	Cost of Work: \$4,700.00	CEO District: 2
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: <i>R2</i> Type: <i>3B</i> <i>IBC-2003</i>	

Proposed Project Description: Enlarge 7 Windows on 3rd floor rear of building	Signature: <i>JMB 7/15/08</i>	Signature: <i>JMB 7/15/08</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: Idobson	Date Applied For: 07/15/2008	Zoning Approval	
-----------------------------	---------------------------------	------------------------	--

<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK w/ conditions</i> Date: <i>7/15/08 JMB</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>D. Andrews</i> <i>7/15/08</i>
---	---	---	--



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0863	Date Applied For: 07/15/2008	CBL: 044 1005001
------------------------------	--	----------------------------

Location of Construction: 73 BRACKETT ST	Owner Name: DANFORTH-BRACKETT PROPE	Owner Address: 174 DANFORTH ST	Phone:
Business Name:	Contractor Name: Joe Lucey	Contractor Address: 482 Walnut Hill Rd No Yarmouth	Phone (207) 671-4249
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use: 7 Residential Condo units - Enlarge 7 Windows on 3rd floor rear of building	Proposed Project Description: Enlarge 7 Windows on 3rd floor rear of building
---	---

Dept: Historic **Status:** Approved **Reviewer:** Deborah Andrews **Approval Date:** 07/15/2008
Note: **Ok to Issue:**

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 07/15/2008
Note: **Ok to Issue:**

- 1) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.
- 2) This property shall remain as seven residential condominiums. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 07/16/2008
Note: **Ok to Issue:**

- 1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.

Comments:
7/15/2008-jmb: Left voicemsg with Ed H. About tempered glazing in the window replaced in the stairwell if it is below 60"
7/16/2008-jmb: Ed called back and said the window in the stairwell was over 8' above the landing, it does not need to be tempered



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 23 Bracket 23 Bracket		
Total Square Footage of Proposed Structure/Area 2475 #		Square Footage of Lot 16,014
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 44 I 5	Applicant * <u>must be owner</u> , Lessee or Buyer* Name DANFORTH BRACKETT PROPERTIES Address 174 DANFORTH ST City, State & Zip PORTLAND 04102	Telephone: 828 0100
Lessee/DBA (If Applicable) JUL 14 2008	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ 4,700⁰⁰ C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) 7-FAMILY If vacant, what was the previous use? _____ Proposed Specific use: NO CHANGE Is property part of a subdivision? NO If yes, please name _____ Project description: ENLARGE 7 WINDOWS ON 3RD (TOP) FLOOR OF REAR ADDITION		
Contractor's name: JOE LUCY CARPENTRY Address: 482 WARMOUTH HILL RD City, State & Zip: N. YARMOUTH ME 04096 Telephone: 671.4249 Who should we contact when the permit is ready: OWNER Telephone: 232.0557 Mailing address: _____		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: *[Signature]* Edw. 1 to 3622 Date: **11 July 08**

This is not a permit; you may not commence ANY work until the permit is issue

257.5

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.


A Pre-construction Meeting will take place upon receipt of your building permit.

 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling, when windows are installed so we can check the egress opening in the bedroom**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee/

7/17/08

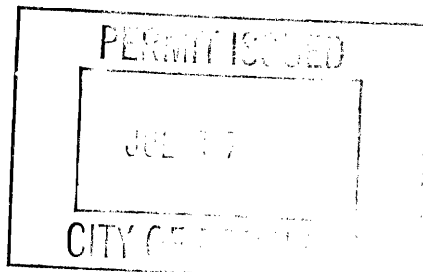
Date

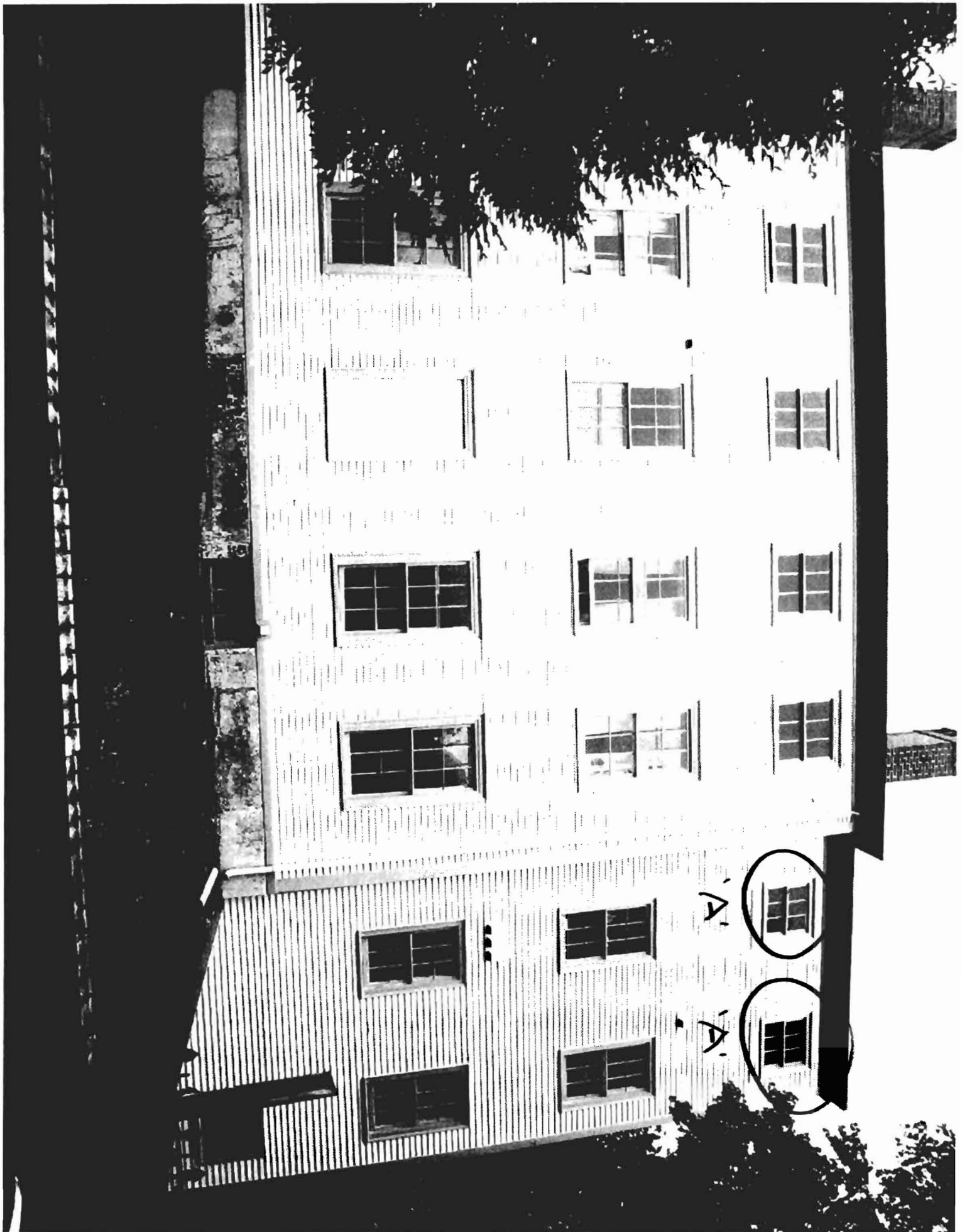


Signature of Inspections Official

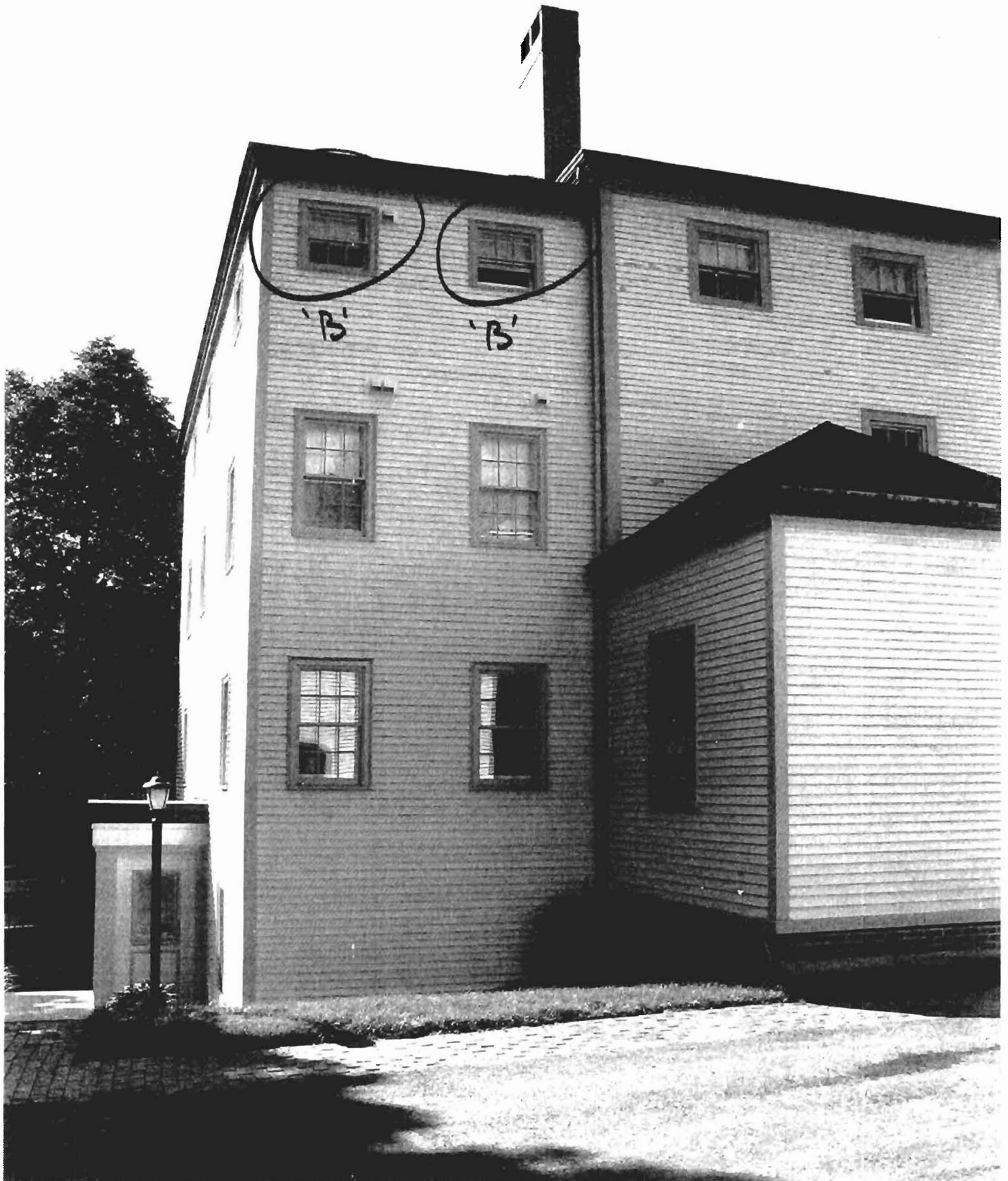
7/16/08

Date



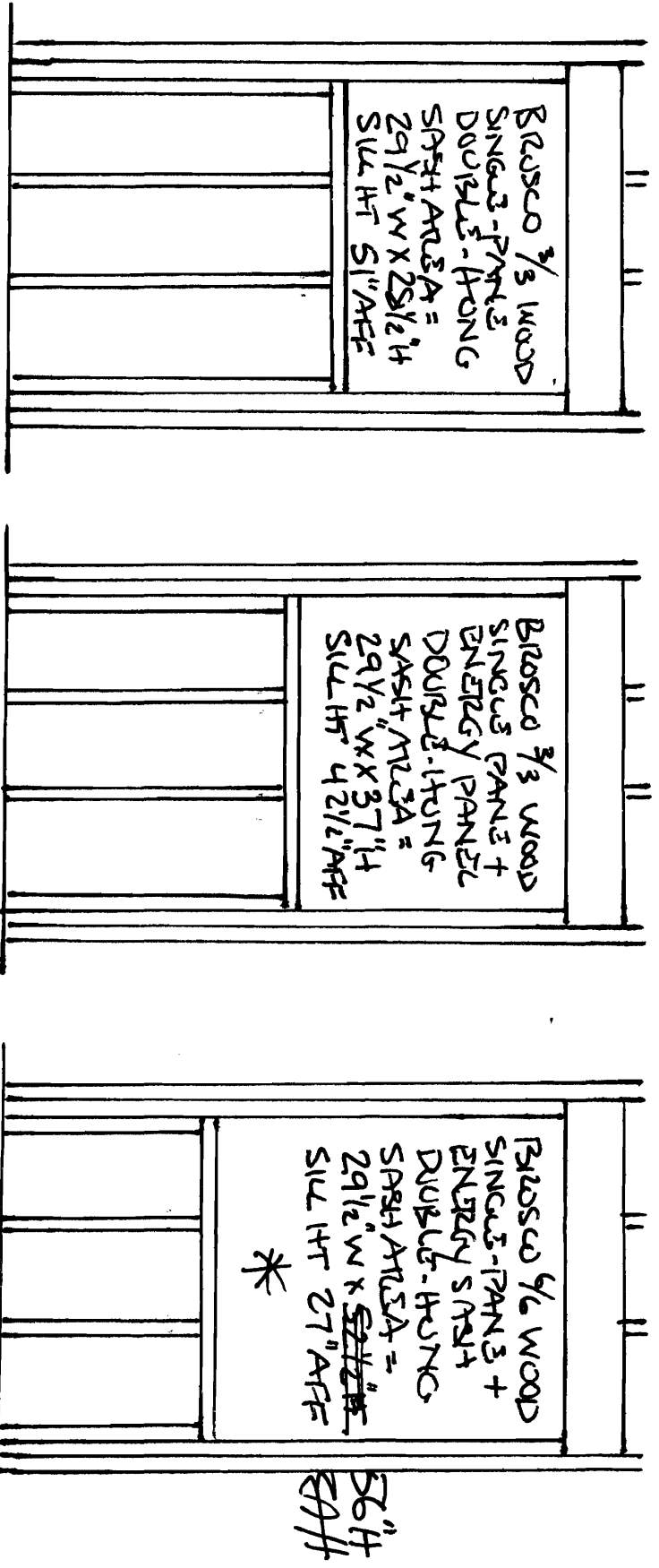






FRAMING DIAGRAMS FOR PROPOSED ENLARGED WINDOWS
 73 BRACKET ST. - REAR ADDITION
 SCHEMATIC / NOT TO SCALE

EXTERIOR:
 SHUTTING
 + CLAPS
 INTERIOR:
 SHEATHING



EXISTING
 (FRAMING ASSUMED)
 7 WINDOWS

ENLARGED - TYPE 'A'
 5 WINDOWS
 (SEE PLAN)

ENLARGED - TYPE 'B'
 2 WINDOWS
 (SEE PLAN)

* EGRESS
 OPENING
 (SASH OPEN)
 = 29 1/2" W X 28" H
 OR 826 SQ IN

- NOTE THAT JACK STUDS AND HEADERS WILL REMAIN UNALTERED
- TYPE 'B' REPLACEMENTS WILL MATCH ALL 1ST & 2ND FLOOR WINDOWS IN THE 1986 BUILDING ADDITION
- SASH IN REPLACEMENTS REVERSE & TURN FOR CLEANING

2325 Broadway, Suite 1
So. Portland, ME 04106
Phone: (207) 772-2223
Fax: (207) 773-3261

**LORANGER DOOR
AND WINDOW**

Fax

To: Ed **From:** Adam Loranger
Co.: West End Properties, Inc. **Date:** July 11, 2008
Fax: 761-0366 **Pages:** 7
Re: Brosco SSB Window: Shop Drawings **CC:**

Urgent **For Review** **Please Comment** **Please Reply** **Please Recycle**

-Comments

Ed,

Please see the attached shop drawings that you requested for the Brosco SSB windows with Energy Panel.

Let me know if you have any questions.

Regards,

Adam Loranger
(207) 772-2223 Ext. 46
aloranger@lorangerdoor.com



Double-Hung Wood Windows

LORANGER DOOR AND WINDOW
2325 BROADWAY, SUITE 1
SO. PORTLAND, MAINE 04106
207-772-2223 OR 1-800-427-8787

www.lorangerdoor.com



Crafting Products that Fit
Northeast Lifestyles Since 1890



Create Dramatic Living Spaces with BROSCO Wood Windows.

Three Different Double-Hung Windows to Fit Your Needs

BROSCO Double-Hung Wood Windows are designed to fit the needs of any new construction or renovation project. Choose our energy efficient Low "E" Insulating Glass to reduce winter heat loss or summer heat gain. These units are available with optional wood grilles, contoured grilles between the glass or Simulated Divided Lites. Where energy savings is not a concern, such as a garage or storage shed, select our Single Thick Glass units. Low "E" Insulating Glass and Single Thick Glass units are available with optional removable wood grilles to create traditional light patterns.

For classic designs select Authentic Divided Light units which feature historically correct, true divided light muntin bars. Add our optional Low-E Energy Panel to our single thick glass units for maximum energy efficiency.

Wood Windows with a Written Warranty

We back every BROSCO Wood Window with our exclusive BROSCO Wood Window Written Warranty. This limited warranty includes ten years coverage against manufacturing defects on all glass and one year protection on all other window component parts. A complete copy of the BROSCO Window Warranty is available from your local retailer.

AUTHENTIC DIVIDED LIGHT

Double-Hung Window Units

- 2/1 LIGHT
- 2/2 LIGHT HORIZONTAL
- 2/2 LIGHT VERTICAL
- 3/3 LIGHT
- 4/4 LIGHT
- 6/6 LIGHT
- 9/9 & 12/12 LIGHT

- Available with:
- SINGLE THICK GLASS (SSB)
 - SINGLE THICK GLASS (SSB) with LOW-E ENERGY PANEL

Window Specifications

FRAME - Standard unit includes a basic jamb width of 4 9/16" and Brickmould style exterior casing. Frame and casing are treated with a moisture repellent wood preservative to protect against decay. All exposed exterior surfaces are sealed with a factory primer. All units are designed for stool cap application.

SILL - Composite Sill and Nosing is impervious to rot and decay and also resists termites and other insects.

SASH - Durable, mortise and tenon construction with a preservative treated, primed exterior. Sash is 1 3/8" thick with a clear natural wood interior featuring historically correct, divided light muntin bars in a variety of light layouts.

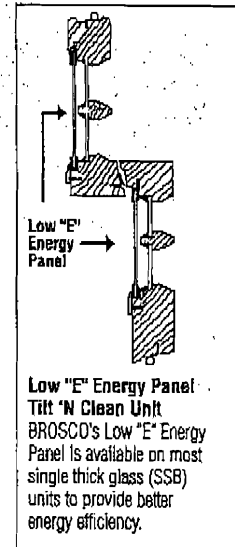
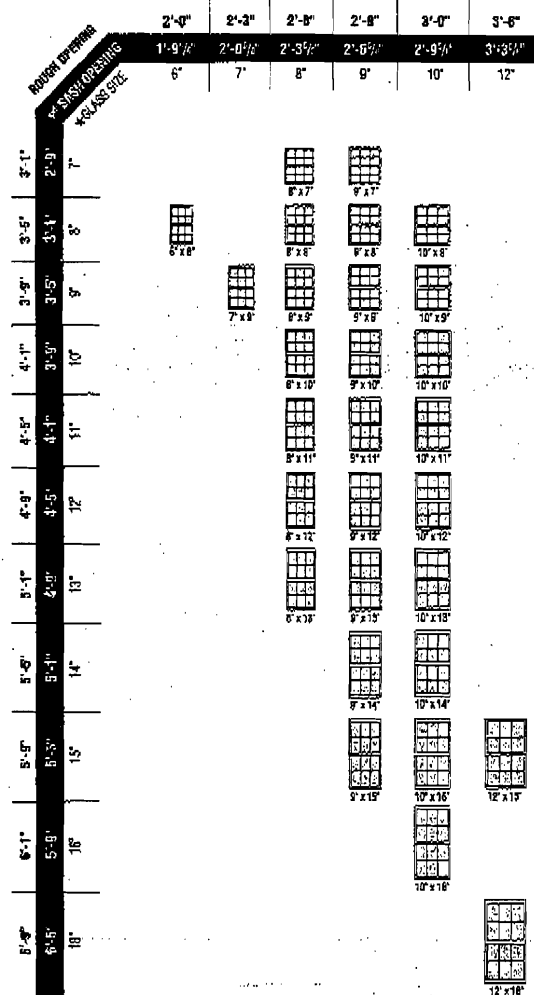
Low-E Energy Panel units feature Tilt-Lok tilt balances for easy operation and cleaning. Stylish cam sash lock is applied.

A weatherstripped head parting stop and applied interior pine side stops insure a tight seal.

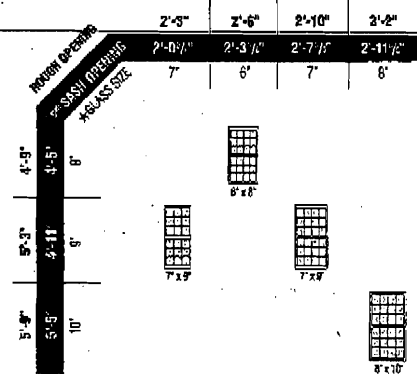
*Specify White or Brass



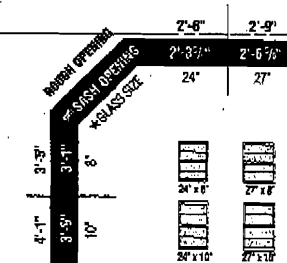
6/6 LIGHT



9/9 & 12/12 LIGHT



2/2 LIGHT HORIZONTAL



→ Glass sizes are approximate.
 * Actual sash width = sash opening width minus 1%.

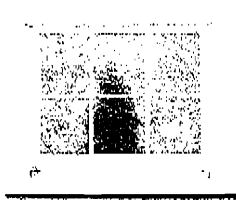


OPTIONS

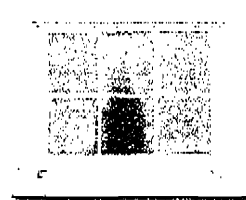
Wood
Replacement
Windows

STATIONARY WINDOWS

Set-up Stationary Windows to be used as a "stand alone" unit. Use any Bottom sash or Cellar Sash to create a Stationary window that is sure to let in the natural light you desire and will complement all your Double-Hung windows.

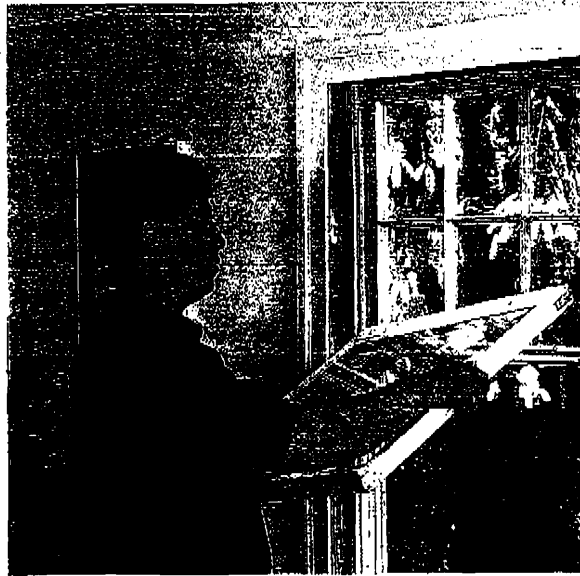


Shown with Brickmould Casing



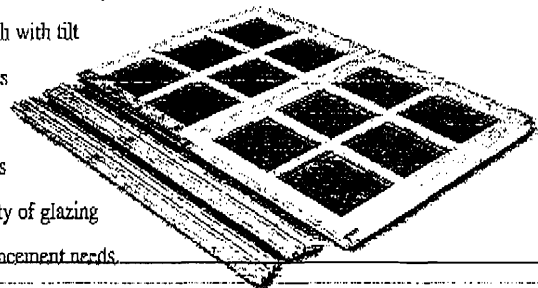
Shown with Flat Casing

New York Layout	SSB Glass & SSB with Low "E" Panel & Cellar Sash	
	Width	Height
Rough Opening = Sash Opening plus	2 1/4"	3 3/4"
Unit Dimension = Sash Opening plus	1 1/4"	3 3/4"
Brickmould Casing = Sash Opening plus	4"	4 1/2"
Flat Casing - 3/4" = Sash Opening plus	7 1/4"	6 1/4"



DOUBLE-HUNG REPLACEMENT SASH KITS

BROSCO's Replacement Sash Kits are ideal for double hung windows with worn out sash that do not operate smoothly, will not seal tight, have been painted shut, or are simply old and worn. As long as the frame is solid and in good condition, the sash can be replaced without disturbing the frame or the original trim. Our Replacement Sash Kit includes a set of insulated glass sash with tilt hardware applied, Tru-Lok balances and a weatherstripped head parting stop. All the windows shown in this brochure are available with a variety of glazing options designed to meet your replacement needs.



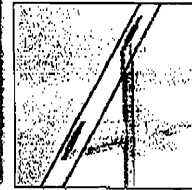
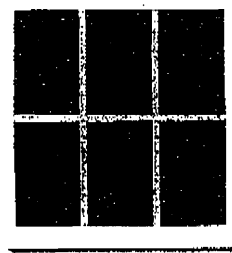


OPTIONS

Double-Hung
Window Options

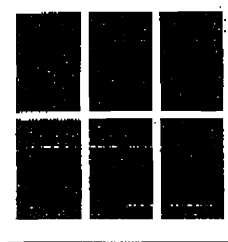
GRILLES-BETWEEN-THE GLASS

Our Grilles-Between-The-Glass option features white, contoured aluminum grilles located between the panes of insulating glass. The contoured grille bar creates the look of traditional detailing without sacrificing energy efficiency and offers ease of cleaning.



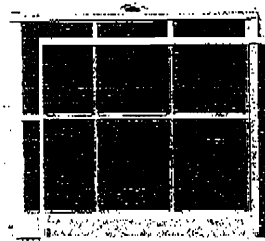
SIMULATED DIVIDED LIGHT

The Simulated Divided Light Option is an authentically designed bar applied to the interior and exterior of the glass which creates the look of a traditional true divided light window while maintaining the energy performance of our Low-E Insulating glass.



LOW-E ENERGY PANEL

Low-E stands for low emissivity. It is a coating applied to the glass to reduce ultraviolet transmission and the transmission of radiated heat. Low-E Energy Panel can be used with Authentic Divided Light Windows to achieve maximum energy efficiency.



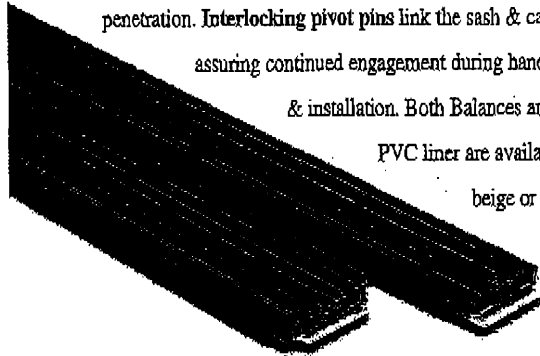
WOOD GRILLES

Solid pine, removable interior grilles snap out for easy window cleaning. Use with 1/1 (one-over-one) light windows. Shipped in complete sets only, poly-bagged, complete with fasteners and ready for assembly. (Picture Windows grilles are assembled).



TRU-LOK TILT 'N CLEAN BALANCES

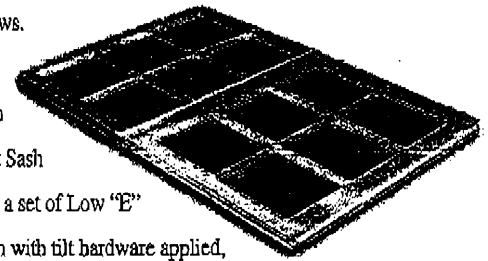
The ultimate in tilt weatherstrip balances. The Tru-Lok Tilt 'n Clean Balances feature **reliable locking carriers** providing user friendly sash removal & reinstallation. **Sound Deadners** eliminate spring noise and the **Rigid PVC liner** offers abrasion resistance, low thermal conductivity & weatherability. The **backer foam** closed cell edge inhibits air & water penetration. **Interlocking pivot pins** link the sash & carrier assuring continued engagement during handling & installation. Both Balances and PVC liner are available in beige or white.



DOUBLE-HUNG REPLACEMENT SASH

Replacement Sash can be used to upgrade old, worn out double-hung windows.

Choose from a complete set of sash or our Replacement Sash Kit, which includes a set of Low "E" insulating glass sash with tilt hardware applied,



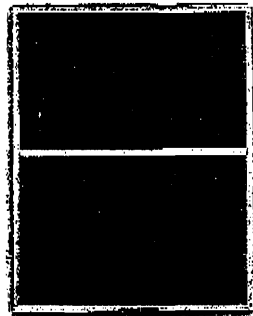
Tru-Lok balances and a weatherstripped head parting stop. All windows shown in this brochure are available to satisfy your replacement needs.

INTERIOR ROSETTE



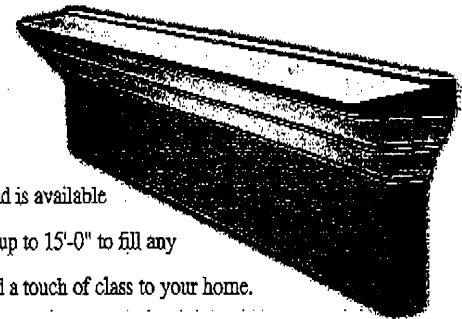
Wood Rosettes are available as an interior casing accessory for use with Round Top Window units.

INSECT SCREEN



Removable, exterior mounted white aluminum full screen with PVC reinforced corners and charcoal colored fiberglass mesh.

HAMPTON PEDIMENT HEAD



Pediment Head is available in any length up to 15'-0" to fill any desire and add a touch of class to your home.

SILL NOSING CONNECTORS



Standard sill nosing connector is 1/4" thick.



Optional "Historic" sill nosing connector is 1/4" thick.

Available in composite or cedar (composite)

2325 Broadway, Suite 1
So. Portland, ME 04106
Phone: (207) 772-2223
Fax: (207) 773-3261

**LORANGER DOOR
AND WINDOW**

Fax

To: Ed **From:** Adam Loranger

Co.: West End Properties **Date:** July 11, 2008

Fax: 761-0366 **Pages:** 2

Re: Mathew's Brothers: Shop Drawing **CC:**

Urgent **For Review** **Please Comment** **Please Reply** **Please Recycle**

•Comments

Ed,

Please see the following page with a drawing of the sash with an energy panel applied provided by Mathew's Brothers. This is the only new piece of information I spoke with Brosco also and they had the same materials that I had.

Let me know if you have any questions.

Regards,

Adam Loranger
(207) 772-2223 Ext. 46
aloranger@lorangerdoor.com

JUL-11-08

12:39

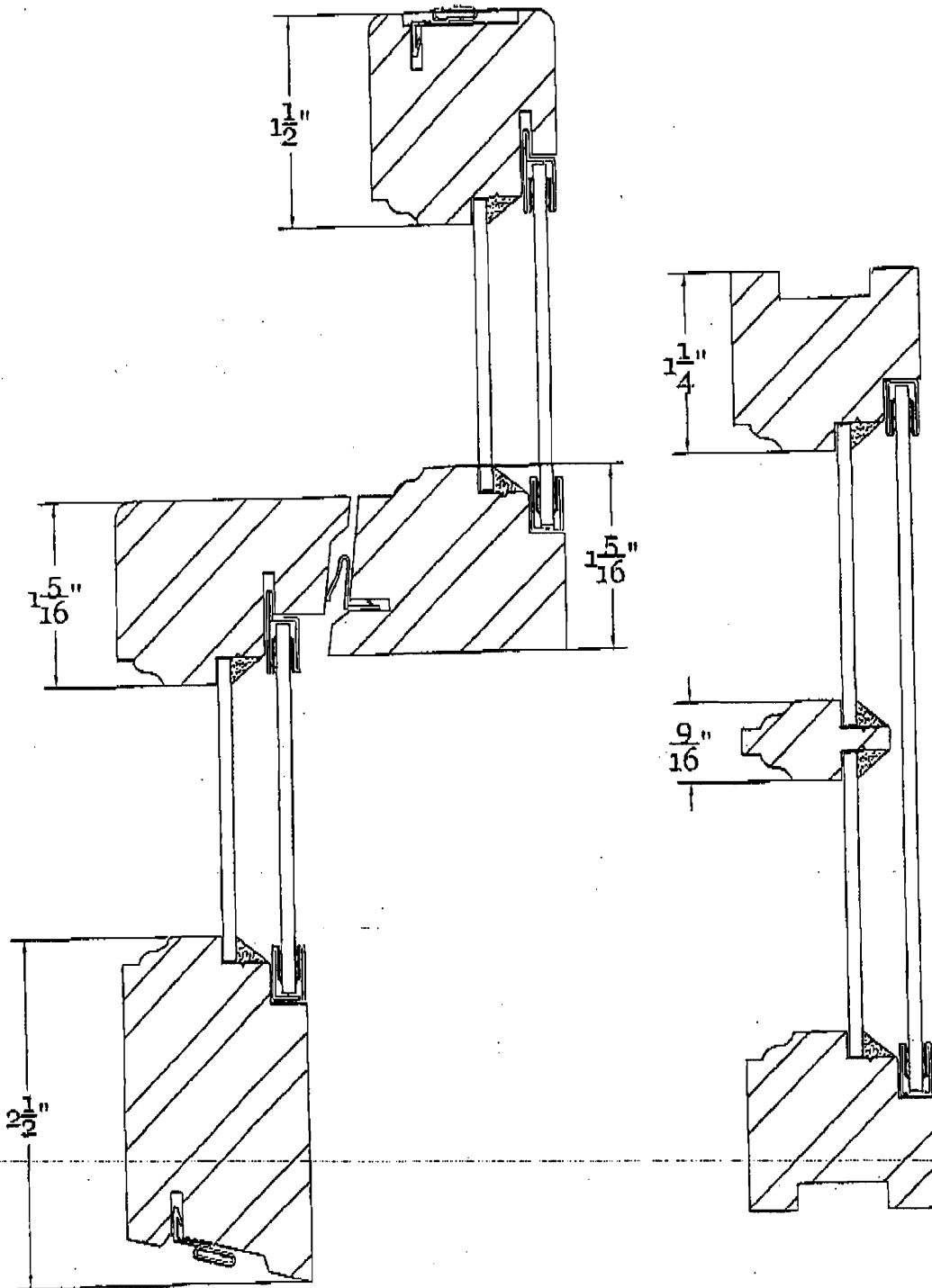
FROM-Mathew Brothers Belfast HQ

.207-338-6300

T-575

P.002/002

F-775



Mathews Brothers
Boston Energy Panel Sash only