

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

# CITY OF PORTLAND

## BUILDING INSPECTION

# PERMIT

Please Read Application And Notes, If Any, Attached

PERMIT ISSUED

Permit Number: 080364  
JUN 20 2008

CITY OF PORTLAND

This is to certify that HATHAWAY BARBARA E THOMAS W THOMSEN JES Bob

has permission to Additon of Shed Dormer - 7' 10"

AT 52 GRAY ST 044 H006001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is laid or covered or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_  
Department Name

*Jamie Bourke 6/20/08*  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

*Scanned*

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0364	Issue Date:	CBL: 044 H006001
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Location of Construction: 52 GRAY ST <i>15417 winter</i>	Owner Name: HATHAWAY BARBARA E & TH	Owner Address: 163 DANFORTH ST	Phone:
Business Name:	Contractor Name: Bobs Coastal Contracting LLC / Ro	Contractor Address: PO Box 2323 South Portland	Phone 2074006924
Lessee/Buyer's Name	Phone:	Permit Type: <i>Alteration</i> Additions - Duplex	Zone: <i>R-6</i>

Past Use: 2 Family Home	Proposed Use: 2 Family Home - Additon of Shed Dormer <i>17' long</i>	Permit Fee: \$170.00	Cost of Work: \$14,950.00	CEO District: 2
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FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>R-3</i> Type: <i>SB</i> <i>IRC-2003</i> Signature: <i>JMB 6/20/08</i>
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Proposed Project Description: Additon of Shed Dormer <i>17' long</i> <i>Dormer on #17 side</i> <i>#2nd FL Bath remodel #17</i>
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PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions	<input type="checkbox"/> Denied
Signature:	Date:	

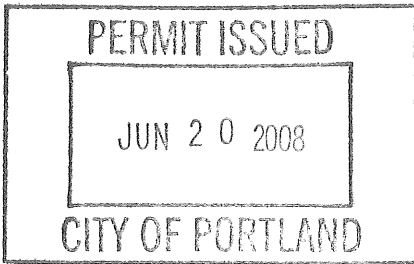
Permit Taken By: Idobson	Date Applied For: <del>04/17/2008</del> <i>5.1.08</i>	<b>Zoning Approval</b>
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews
<input type="checkbox"/> Shoreland <i>using 1A-436</i>
<input type="checkbox"/> Wetland <i>80% Alloway</i>
<input type="checkbox"/> Flood Zone <i>only using B, 456</i>
<input type="checkbox"/> Subdivision
<input type="checkbox"/> Site Plan
Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>
Date: <i>5/12/08</i>

Zoning Appeal
<input type="checkbox"/> Variance
<input type="checkbox"/> Miscellaneous
<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Interpretation
<input type="checkbox"/> Approved
<input type="checkbox"/> Denied
Date: <i>5/12/08</i>

Historic Preservation
<i>to D A</i>
<input type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Requires Review
<input checked="" type="checkbox"/> Approved <i>as per H.P. Board approval</i>
<input type="checkbox"/> Approved w/Conditions
<input type="checkbox"/> Denied
Date: <i>5/13/08</i>



**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT \_\_\_\_\_ ADDRESS \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

- 5/21/08 - Met on site with Owners & contractor.  
Reviewed code issues - will check with historic approvals.
- Photos show this ~~area~~ attic area was finished w/ plaster
  - existing stairs match those on other levels - curved and not to code
  - Headroom is 7' at ridge - exterior dormer wall 6'1"
  - distance to adjacent house 34 1/2" - in Alley
  - Egress window Framed in bathroom on Alley side
  - Dormer constructed without approved permit
- Stop WORK order issued - JMB
- Roof framing 2x6 - needs to be assessed structurally.
- Also covers the winter st. Entrance steps & deck that are to be rebuilt, JMB

06/26/08 Required Ltr. to amend permit / ok to plumb/electrical in 2nd floor bathroom. Advised to not continue work on steps/ 3rd floor until permits are approved.  
JGR & CH

7/31/08 See Engineered plans JMB

08/21/08 close - In  
Not ready, no new work done to engineered specs, advised to pull after-the-fact permit for plumbing & call when windows/ Framing/ elect. & Plumbing are ready for close - In. JGR.

8/28/08 See Engineers Revisions JMB

9/3/08 Progress on Framing  
Eng. + O.K. per CH  
Plumbing Revisions ok  
Need Elect. -

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0364	Issue Date:	CBL: 044 H006001
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Lessee/Buyer's Name	Phone:	Permit Type: <i>Alteration</i> Additions - Duplex	Zone: <i>R-6</i>

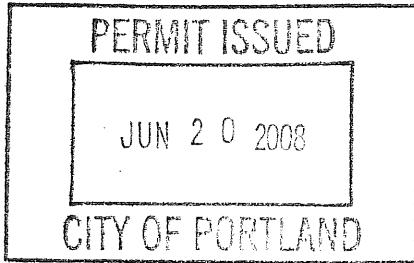
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Proposed Project Description: Additon of Shed Dormer <i>17' long</i> <i>Dormer on #17 side</i> <i>#2nd FL Bath remodel #17</i>	Signature:	Signature: <i>JMB 6/20/08</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature: _____ Date: _____		

Permit Taken By: Idobson	Date Applied For: <del>04/17/2008</del> <i>5.1.08</i>	<b>Zoning Approval</b>
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Special Zone or Reviews <input type="checkbox"/> Shoreland <i>using 14-436</i> <input type="checkbox"/> Wetland <i>80% Allowance</i> <input type="checkbox"/> Flood Zone <i>only using 8,456 (B54)</i> <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>5/12/08</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <i>to DA</i> <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input checked="" type="checkbox"/> Approved <i>as per H.P. Board approval</i> <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>5/13/08</i>
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SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

3/21/11 Meeting with new contractor, Nick Burnett

He will be finishing this work as approved, will have a close in inspection to reassess the situation.

House was sold in early 2011. Gave him the approval docs. There will only be 1 bedroom on 3rd FL with new gable end egress window. Skylight in open area will not be egress - This is not a sleeping room. JMB  
Work will not deviate from original approved plans.

**City of Portland, Maine - Building or Use Permit**

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Permit No: 08-0364	Date Applied For: 04/17/2008	CBL: 044 H006001
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<b>Business Name:</b>	<b>Contractor Name:</b> Bobs Coastal Contracting LLC / Rob	<b>Contractor Address:</b> PO Box 2323 South Portland	<b>Phone</b> (207) 400-6924
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Duplex	

<b>Proposed Use:</b> 2 Family Home - Additon of Shed Dormer	<b>Proposed Project Description:</b> Additon of Shed Dormer -17' long
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**Dept:** Historic      **Status:** Approved with Conditions      **Reviewer:** Deborah Andrews      **Approval Date:** 05/13/2008  
**Note:** **Ok to Issue:**

- 1) Approved as per Historic Preservation Board decision

**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 05/12/2008  
**Note:** **Ok to Issue:**

- 1) The 17' dormer expansion is allowed under 14-436 which for this property only allows an 80% expansion once during the lifetime of the building. This expansion is using only 8.45% (85 sq ft). Future expansions will be limited based on this current permit.
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 3) This property shall remain a two (2) family dwelling. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Jeanine Bourke      **Approval Date:** 06/20/2008  
**Note:** **Ok to Issue:**

- 1) This approves the waiver request for a reduction in headroom based on the existing conditions of the finished attic space and restrictions by historic preservation on the dormer height to not exceed the existing ridge.
- 2) All penetrations between dwelling units and dwelling units and common areas shall be protected with approved firestop materials, and recessed lighting/vent fixtures shall not reduce the (1 hour) required rating.
- 3) There must be a 2" clearance maintained between the chimney and any combustible material, with draft stopping per code at each level
- 4) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 5) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.

**Comments:**

- 4/17/2008-ldobson: Need floor plan change, need window detail (egress) etc
- 5/1/2008-lmd: Received floor plan and window detail,
- 5/5/2008-ldobson: Moved on to Zoning 5/5/2008 New date of app 05/01/2008

<b>Location of Construction:</b> 52 GRAY ST	<b>Owner Name:</b> HATHAWAY BARBARA E & TH	<b>Owner Address:</b> 163 DANFORTH ST	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Bobs Coastal Contracting LLC / Rob	<b>Contractor Address:</b> PO Box 2323 South Portland	<b>Phone</b> (207) 400-6924
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Duplex	

5/12/2008-mes: using section 14-436 allowing no more than 80% expansion - this 17' dormer is only using 8.45% (for 85 sq ft)

5/16/2008-jmb: Spoke to Bob G. This is an attic space and historic will not allow to bump up the roof to meet headroom code. Other required details, headroom not adequate, need existing stair details, structural beam, fasteners, lumber dimensions, load of existing attic floor. Bob says they are sistering the floor joists to create a 100 psf load....need details. Doesn't look hopeful for approval per code.

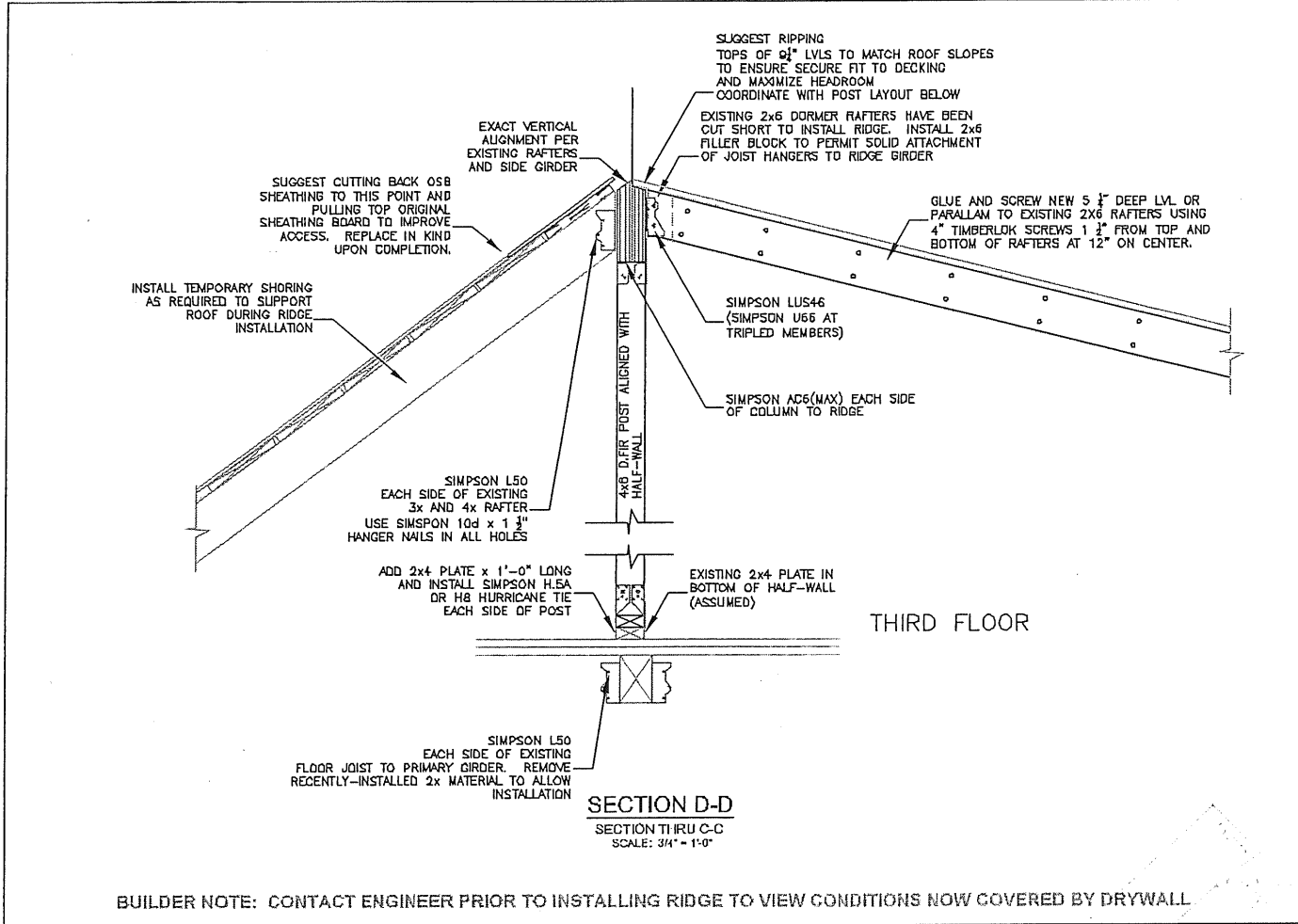
5/20/2008-jmb: Barbara Ward called to discuss the permit. The work has already started, the dormer walls are installed. The contractor thought the permit was issued. I will place a stop work order on the property and inspect. Barbara claims the attic had been used for living space for many years, I explained that it probably did not have approvals to do so.

5/27/2008-jmb: I met with Deb Andrews to discuss historic approval process and this job. See printed email of her comments. See Bob G. Email and my response.

5/29/2008-jmb: Bob G. Came in with more narrative and photos, I asked that detailed drawings be submitted for review of items discussed previously. He also had historic approval drawings for the granite side entry, but I advised this will require a separate permit to review.

5/30/2008-jmb: Bob G dropped off another written description of details and said drawings would be submitted on Monday.

6/20/2008-jmb: Bob G. Came in with drawings and details, ok to issue



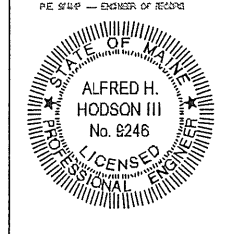
**RESURGENCE**  
 ENGINEERING & PRESERVATION, INC.  
 132 PINEWOOD STREET  
 PORTLAND, ME 04103  
 V/P (207) 773-4880  
 RESURGENCE@VERIZON.NET

CLIENT: BARBARA WARD  
 17 WINTER STREET  
 PORTLAND, ME 04101

DATE: 30 JUL 08 SCALE: AS NOTED

DRAWN BY: A. HODSON CHECKED BY: A. HODSON

PROJECT NUMBER: 08-025 CAD FILE: WARD.DWG



PROJECT: 17 WINTER STREET  
 3rd FLOOR DORMER AND ROOF  
 STRUCTURAL DESIGN

27 AUG 08  
 CLARIFICATIONS AND  
 FIELD MODIFICATIONS

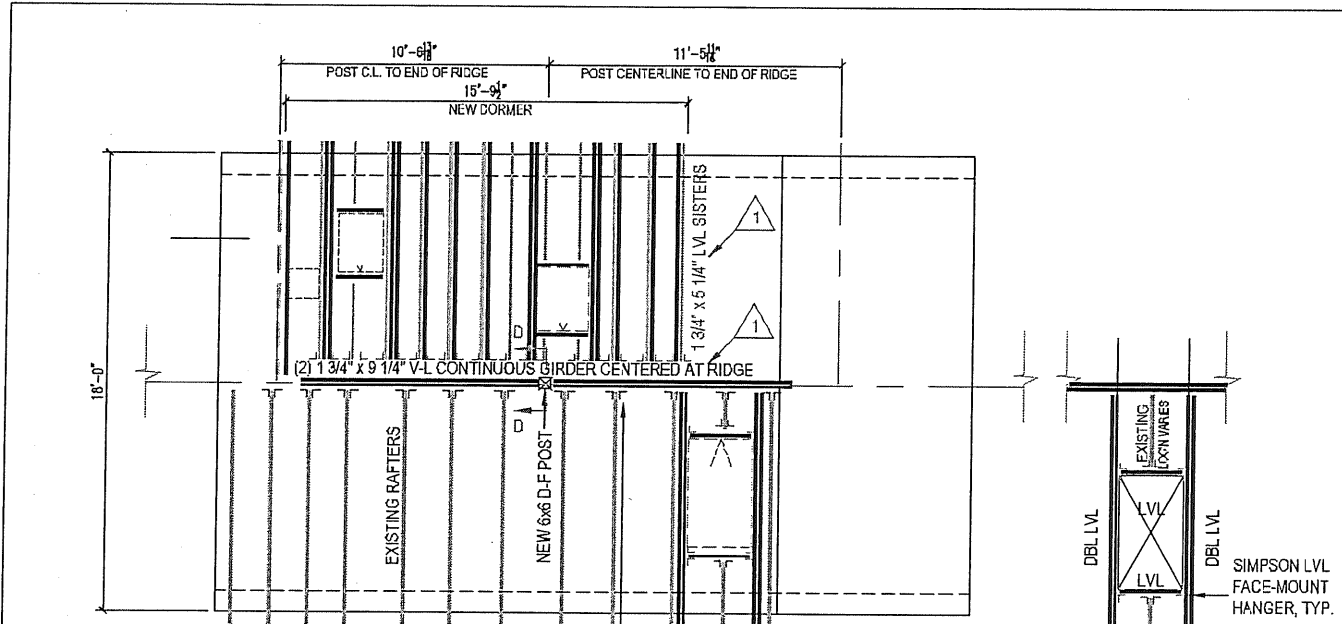
**SECTION D-D**  
 SECTION THRU C-C  
 SCALE: 3/4" = 1'-0"

**BUILDER NOTE: CONTACT ENGINEER PRIOR TO INSTALLING RIDGE TO VIEW CONDITIONS NOW COVERED BY DRYWALL**

1  
 DESIGN NUMBER:  
**SK-S1**  
 SHEET 1 OF 1

AUG 28 2008





SIMPSON HU 26-2 OR HU46 HANGER AS REQUIRED AT EXIST. RAFTERS

VELUX MODEL GPL M08 EGRESS WINDOW  
 31 1/2" x 55 1/2" ROUGH OPENING  
 REMOVE DRYWALL FINISH IN SURROUNDING AREA TO PERMIT ADJACENT FRAMING INSPECTION  
 SEE SHEET S1.2 FOR OTHER WINDOWS

NOTE: LOCATIONS SHOWN APPROXIMATE. FIELD VERIFY ALL DIMENSIONS.  
 NOTE: FOR CONSTRUCTABILITY, TWO 1 3/4" x 9 1/4" LVL MAY BE SUBSTITUTED FOR RIDGE

1 PART PLAN - DORMER AND ROOF FRAMING PLAN  
 1/4" = 1'-0"

2 FRAMING DETAIL AT EGRESS WINDOW/SKYLIGHT OPENINGS  
 1/4" = 1'-0"

NOTE: RIDGE ADEQUATE FOR UP TO 12' SPANS  
 NOTE: USE CONCEALED-FACE JOIST HANGERS (SIMPSON HUCQ) WHERE REQUIRED  
 NOTE: CONDITIONS MAY VARY SLIGHTLY DUE TO EXACT LAYOUT OF EXISTING FRAMING ON SITE.  
 NOTE: SUGGEST REMOVAL OF SHEATHING EITHER SIDE OF EXISTING RIDGE TO FACILITATE INSTALLATION.

NOTE: DETAIL APPLIES FOR ALL SKYLIGHT OPN'GS 14" WIDE TO 36" WIDE

**RESURGENCE**  
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 132, GREENTWOOD STREET  
 PORTLAND, ME 04103  
 V/R (207) 778-4530  
 RESURGENCE@VERIZON.NET

CLIENT: BARBARA WARD  
 15-17 WINTER STREET  
 PORTLAND, ME 04101

DATE: 30 JUL 08 SCALE: AS NOTED  
 DRAWN BY: A. HODSON CHECKED BY: A. HODSON  
 PROJECT NUMBER: 08-025 CAD FILE: WARD.DWG

P.E. STAFF - OWNER OF RECORD

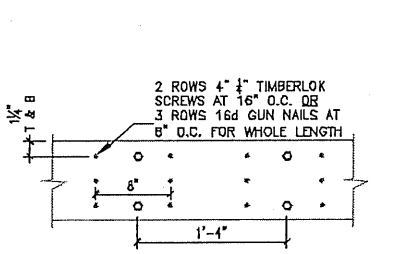
STATE OF MAINE  
 ALFRED H. HODSON III  
 No. 9246  
 LICENSED PROFESSIONAL ENGINEER

PROJECT: 17 WINTER STREET  
 3rd FLOOR DORMER  
 STRUCTURAL DESIGN

27 AUG 08  
 CLARIFICATIONS AND  
 FIELD MODIFICATIONS

DRAWING NUMBER  
**S1.3**  
 SHEET 3 OF 4

AUG 28 2008



CONTRACTOR MAY USE TRIPLE 7 1/4" OR DOUBLE 8 1/4"

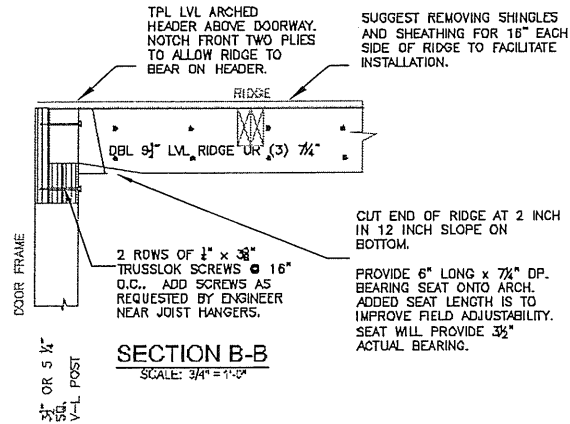
**SECTION A-A**

SCALE: 3/4" = 1'-0"

TYPICAL VERSA-LAM RIDGE SISTERING DETAIL

**NOTES:**

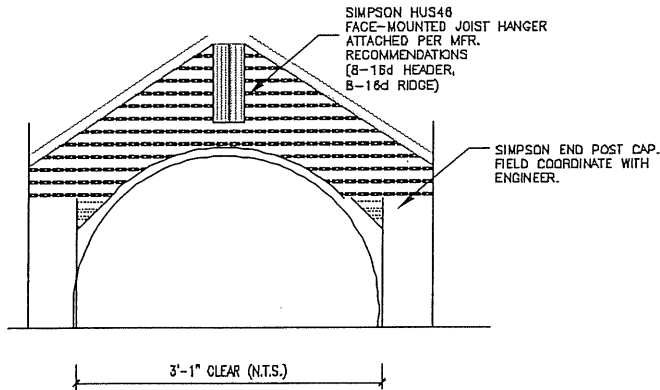
1. IT MAY BE ADVANTAGEOUS TO REMOVE EXISTING RIDGE SHINGLES AND TOP ROOF SHEATHING BOARDS TO INSTALL RIDGE.
2. APPLY LIQUID NAILS CONSTRUCTION ADHESIVE TO EACH CONNECTED GIRDER SURFACE.
3. TOP SURFACES OF OUTERMOST FACE GIRDERS MAY BE CUT AT SLOPES TO MATCH EXISTING ROOF SLOPES. NOTE SLOPE CHANGE FROM 3:12 AT WESTER TO 6:12 AT EAST SIDE OF NORTH-MOST RIDGE MEMBER.



**SECTION B-B**

SCALE: 3/4" = 1'-0"

CUT END OF RIDGE AT 2 INCH IN 12 INCH SLOPE ON BOTTOM.  
 PROVIDE 6" LONG x 7/4" DP. BEARING SEAT ONTO ARCH. ADDED SEAT LENGTH IS TO IMPROVE FIELD ADJUSTABILITY. SEAT WILL PROVIDE 3/2" ACTUAL BEARING.



**ELEVATION B-B**

SCALE: 3/4" = 1'-0"

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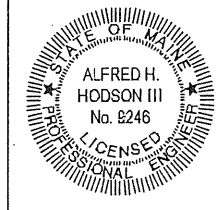
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FILE SETUP -- ENGINEER OF RECORD



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REVISION NUMBER:  
**S1.4**  
 SHEET 4 OF 4

AUG 28 2008

**STRUCTURAL GENERAL NOTES**

1. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS.
2. NO PROVISIONS HAVE BEEN MADE FOR ANY TEMPORARY CONDITIONS THAT MAY ARISE DURING CONSTRUCTION PRIOR TO THE COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE DESIGN AND CONSTRUCTION OF ALL FORMS, SHORING, AND TEMPORARY BRACING DURING THE PROJECT.
3. NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS THAT MAY AFFECT THE WORK. BECAUSE THIS PROJECT INVOLVES RETROFITTING AND MODIFICATIONS OF EXISTING STRUCTURES, THE CONTRACTOR SHALL TAKE THE NECESSARY MEASURE TO FIELD VERIFY EXISTING CONDITIONS AS SHOWN ON THE DRAWINGS.
4. ANY MODIFICATION OR ALTERATION OF THESE CONSTRUCTION DOCUMENTS OR CHANGES IN CONSTRUCTION FROM THE INTENT OF THESE DOCUMENTS BY THE CONTRACTOR WITHOUT WRITTEN APPROVAL OF THE ENGINEER SHALL REMOVE ALL PROFESSIONAL AND LIABILITY RESPONSIBILITY ON THE PART OF THE ENGINEER. ALTERNATE CONNECTION DETAILS MAY BE USED IF SUBMITTED TO THE ENGINEER FOR REVIEW, AND ACCEPTANCE GRANTED.
5. DO NOT SCALE FROM THE DRAWINGS.

**DESIGN CRITERIA**

1. INTERNATIONAL BUILDING CODE, 2003 EDITION; INCLUDING CONSIDERATION OF CHAPTER 34, EXISTING BUILDINGS.

ADDRESS: 17 WINTER STREET, PORTLAND, MAINE

SNOW LOAD: HEATED ROOF STRUCTURE  
 35 POUNDS PER SQUARE FOOT, UNIFORM  
 50 POUNDS PER SQUARE FOOT, ONE SIDE ONLY  
 30 POUND PER SQUARE FOOT TRIANGULATED DRIFT CHARGE ON DORMER  
 PER DRIFT REQUIREMENTS OF ASCE 7-02.

LIVE LOADS: 40 PSF, (30 PSF IN SLEEPING ROOMS)

WIND LOAD: PER IBC SECTION 1609.0/ASCE 7-02 CHAPTER 6

BASIC WIND SPEED, (3 SEC GUST)	100 mph
IMPORTANCE FACTOR $I_w$	1.00
EXPOSURE CATEGORY	C
BUILDING CLASSIFICATION	II
BASIC WIND PRESSURE	20 psf
COMPONENT/CLADDING PRESSURE	30 psf

SEISMIC LOAD: PER IBC SECTION 1615.0;  
 EARTHQUAKE DESIGN DATA PER SECTION 1616.3:

SEISMIC IMPORTANCE FACTOR, $I_e$	1.0
SEISMIC USE GROUP	I
SHORT-PERIOD RESPONSE ACCELERATION	0.37
1-SECOND RESPONSE ACCELERATION	0.10
SEISMIC DESIGN CATEGORY	C
BASIC SEISMIC FORCE-RESISTING SYSTEM	SHEAR WALLS
RESPONSE MODIFICATION FACTOR	1.5
ANALYSIS PROCEDURE:	EQUIVALENT LATERAL FORCE

**LUMBER AND JOIST HANGERS**

1. ALL COMPOSITE LUMBER USED ON THIS JOB SHALL BE VERSA-LAM MANUFACTURED BY BOISE ENGINEERED WOOD PRODUCTS. BENDING STRESS  $F_b = 3100$  psi, ELASTIC MODULUS  $E = 2,000$  ksi. FRAMING LUMBER USED FOR OTHER WALL AND ROUGH CARPENTRY APPLICATIONS SHALL BE SPRUCE-PINE-FIR NO. 2 OR BETTER, KILN DRIED TO A MOISTURE CONTENT OF LESS THAN 19 PERCENT.
2. FASTENERS TO ATTACH VERSA-LAM MEMBERS ARE TO BE  $\frac{3}{8}$ " TRUSSLOK FASTENERS, MANUFACTURED BY FASTENMASTER INC., AGAWAM, MA (1-800-518-3569, www.fastenmaster.com)
3. ALL JOIST HANGERS, HURRICANE TIES, AND ATTACHMENT HARDWARE ARE TO BE AS SPECIFIED, MANUFACTURED BY SIMPSON STRONG-TIE. CONNECT ALL JOIST HANGERS PER SIMPSON STRONG-TIE REQUIREMENTS.
4. SPECIAL ATTENTION SHOULD BE TAKEN TO INSTALL FASTENERS AS INDICATED ON THE DRAWINGS.
5. WHEN FASTENING INTO EXISTING LUMBER, IT MAY BE NECESSARY TO PREDRILL HOLES SO THAT NAILS OR SCREWS DO NOT CRACK EXISTING FRAMING. TO ACHIEVE PROPER FASTENER ALIGNMENT, TEMPORARILY PIN JOIST HANGER IN PLACE WHILE DRILLING HOLES.
6. NEW STRUCTURAL FRAMING INSTALLATION SHOULD OCCUR WHILE TEMPORARY SHORING IS IN PLACE. FINISH CARPENTRY AND FINISH PAINTING SHOULD OCCUR AFTER TEMPORARY SHORING IS REMOVED.
7. KEEP LUMBER STORED ON SITE OFF OF THE GROUND BY USING SPACER BLOCKS. STORE OUT OF DIRECT SUNLIGHT TO DIMINISH UNEVEN DRYING EFFECTS.
8. DO NOT NOTCH JOISTS IN THE MIDDLE-THIRD OF THEIR SPAN. REPAIR EXISTING, NOTCHED JOISTS AND RAFTERS BY "SISTERING" THEM WITH NEW MATERIAL OF THE SAME DEPTH. GLUE AND SCREW NEW MATERIAL TO THE EXISTING MATERIAL. PREDRILL HOLES INTO ADDED PIECES TO PROVIDE PRE-DRILLING TEMPLATE FOR EXISTING MATERIAL. REFER TO PLANS AND DETAILS FOR OVERLAP LENGTHS.

**SPECIAL NOTES TO BUILDER**

1. THE SCOPE FOR THIS PROJECT ENTAILS MODIFYING THE EXISTING FRAMING TO PROVIDE A STRUCTURALLY SOUND THIRD-FLOOR DORMER, WHILE SUPPORTING CODE-REQUIRED LIVE LOADS ON THE ROOF, AS NECESSARY.
2. IN ORDER TO NOT SIGNIFICANTLY PRESTRESS THE NEW FRAMING AND DAMAGE EXISTING INTERIOR FINISHES, THE EXISTING FRAMING SHOULD NOT BE SIGNIFICANTLY JACKED, DESPITE THE VARYING LEVEL OF THE FLOOR FRAMING. ANY JACKING THAT OCCURS SHOULD OCCUR SLOWLY, SO AS NOT TO CRACK EXISTING FINISHES. MINIMAL JACKING, UP TO  $\frac{1}{4}$ ", MAY OCCUR BENEATH SUGGESTED TEMPORARY SHORING, PROVIDED THAT VERY LITTLE RESISTANCE IS ENCOUNTERED WHEN JACKING.
3. BECAUSE OF THE ANTICIPATED MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS INTENDED FOR THIS HOUSE, THE ENGINEER SHOULD BE NOTIFIED BEFORE SUBCONTRACTORS DRILL HOLES INTO THE FRAMING OR NOTCH FRAMING.
4. ALTHOUGH MENTION IS MADE OF EGRESS WINDOW INSTALLATION, THIS DESIGN DOES NOT CONSIST OF A FULL SET OF ARCHITECTURAL FRAMING PLANS AND CODE COMPLIANCE REVIEWS. THIS SET OF CONSTRUCTION DOCUMENTS CONSIDERS ONLY STRUCTURAL ISSUES.

**RESURGENCE**  
 ENGINEERING & PRESERVATION, INC.  
 132 BRENTWOOD STREET  
 PORTLAND, ME 04103  
 V/F (207) 773-4880  
 RESURGENCE@VERIZON.NET

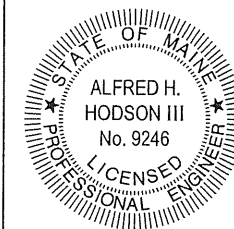
CLIENT: BARBARA WARD  
 17 WINTER STREET  
 PORTLAND, ME 04101

DATE: 25 JUL 08 SCALE: AS NOTED

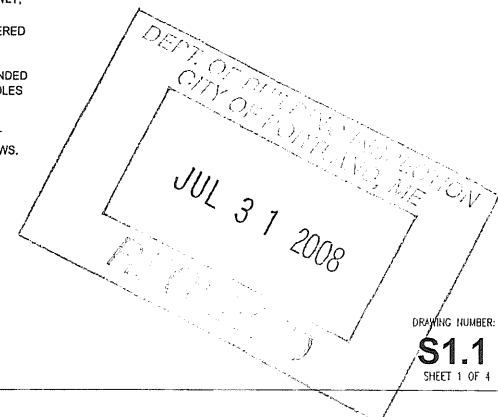
DRAWN BY: A. HODSON CHECKED BY: A. HODSON

PROJECT NUMBER: 08-025 CAD FILE: WARD.DWG

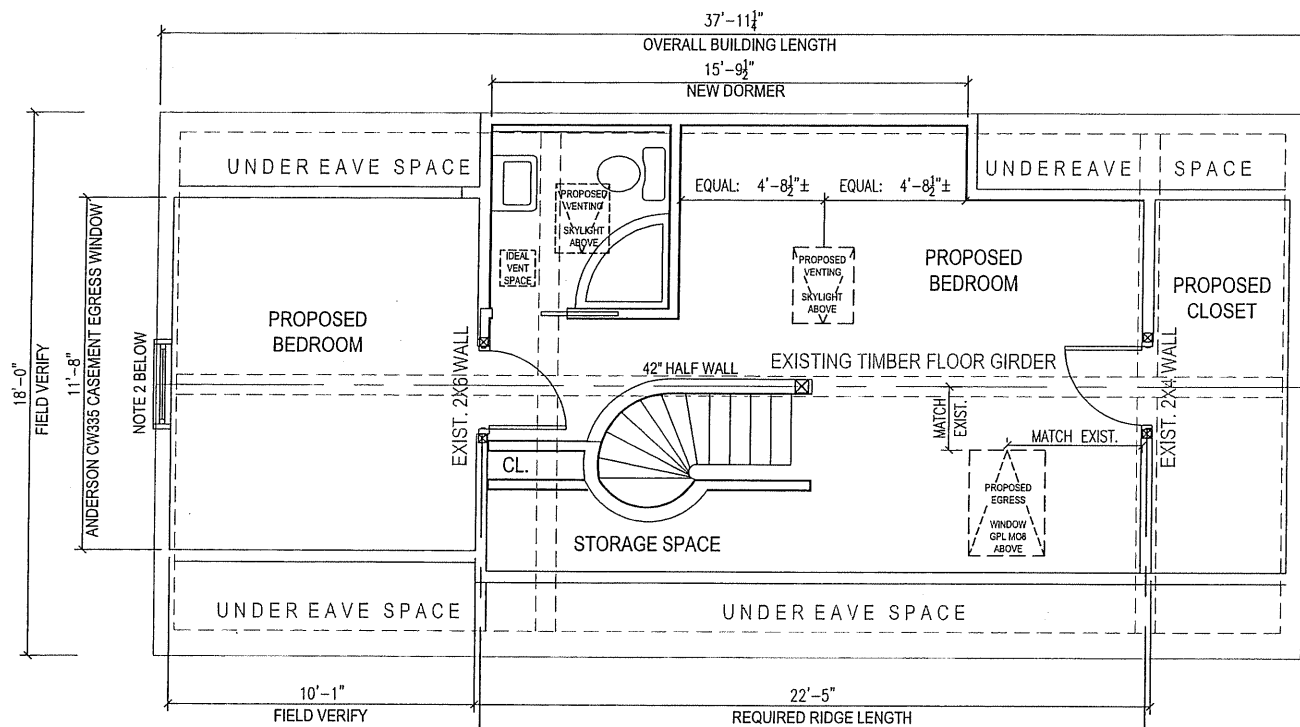
P. E. STAMP -- ENGINEER OF RECORD



PROJECT: 17 WINTER STREET  
 3rd FLOOR DORMER AND ROOF  
 STRUCTURAL DESIGN



DRAWING NUMBER:  
**\$1.1**  
 SHEET 1 OF 4



**NOTE**

1. THIS PLAN IS PROVIDED FOR REFERENCE PURPOSES ONLY AND IS BASED UPON LAYOUT DESCRIBED BY OWNER AND CONTRACTOR. EGRESS DESIGN CONSISTS OF WINDOWS SHOWN ON PLANS. OTHER DESIGN IS FOR STRUCTURAL CONSIDERATIONS ONLY.
2. GRAY STREET EGRESS WINDOW IS ANDERSON CW335 CASEMENT, WITH MULLION TO MATCH EXISTING HISTORIC PROFILE.
3. WINTER STREET EGRESS WINDOW IS VELUX GPL M08, CENTERED ON EXISTING SKYLIGHT OPENING. BOTTOM OF NEW EGRESS WINDOW APPROX. 2'-6" A.F.F. (<44" REQUIRED).
4. BATHROOM SKYLIGHT IS VELUX MODEL VS101 (R.O. 21 1/2" x 27 1/2").
5. BEDROOM SKYLIGHT IS VELUX MODEL FS302 (R.O. 30 1/8" x 31").
6. BATHROOM EXHAUST IS BROAN QTR070 ULTRA-SILENT VENT FAN.

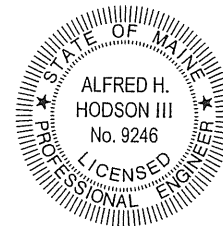
1 PROPOSED THIRD FLOOR PLAN  
1/4" = 1'-0"

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ENGINEERING & PRESERVATION, INC.  
132 BRENTWOOD STREET  
PORTLAND, ME 04103  
V/F (207) 773-4880  
RESURGENCE@VERIZON.NET

CLIENT: BARBARA WARD  
15-17 WINTER STREET  
PORTLAND, ME 04101

DATE: 30JUL 08	SCALE: AS NOTED
DRAWN BY: A. HODSON	CHECKED BY: A. HODSON
PROJECT NUMBER: 08-025	CAD FILE WARD.DWG

P.E. STAMP -- ENGINEER OF RECORD



PROJECT: 17 WINTER STREET  
3rd FLOOR DORMER  
STRUCTURAL DESIGN



DRAWING NUMBER:  
**S1.2**  
SHEET 2 OF 4

**BUILDING PERMIT INSPECTION PROCEDURES**

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.


X  Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

X  Final inspection required at completion of work.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, **REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.**



Signature of Applicant/Designee

6/20/08

Date



Signature of Inspections Official

6/20/08

Date



# General Building Permit Application

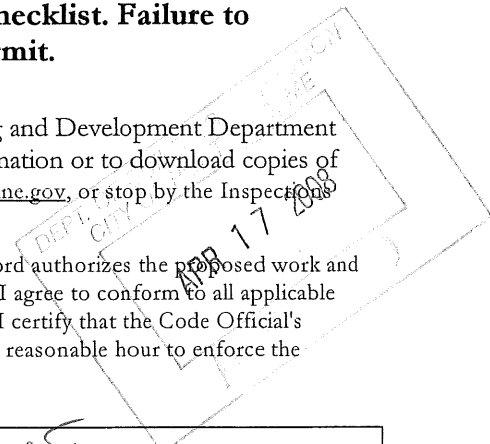
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>15 &amp; 17 WINTER ST</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot <u>3444</u>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>44-14-6</u>	Applicant * <b>must be owner, Lessee or Buyer</b> * Name <u>BARBARA WARD</u> Address <u>163 DANFORTH ST</u> City, State & Zip <u>PORTLAND</u>	Telephone: <u>879-8754</u> <u>14950</u>
Lessee/DBA (If Applicable) <u>N/A</u>	Owner (if different from Applicant) Name <u>N/A</u> Address <u>N/A</u> City, State & Zip	Cost Of Work: \$ <u><del>20,000</del></u> C of O Fee: \$ <u>/</u> Total Fee: \$ <u>2000</u>
Current legal use (i.e. single family) <u>TWO FAMILY</u> If vacant, what was the previous use? <u>N/A</u> Proposed Specific use: <u>SAME</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>ADDITION OF SHED DORMER 17' long</u>		
Contractor's name: <u>ROBERT GRAMM - BOBS COASTAL CONTRACTING LLC</u> Address: <u>PO BOX 2323</u> City, State & Zip <u>S. PORTLAND ME 04114-2323</u> Telephone: <u>400-6924</u> Who should we contact when the permit is ready: <u>ME</u> Telephone: _____ Mailing address: <u>SAME AS ABOVE</u>		

**Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.**

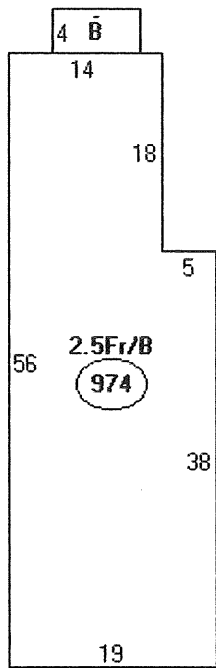
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.



Signature: [Signature] Date: 4-17-08

**This is not a permit; you may not commence ANY work until the permit is issued**



Descriptor/Area
A: 2.5Fr/B 974 sqft
B: wD 32 sqft
1006

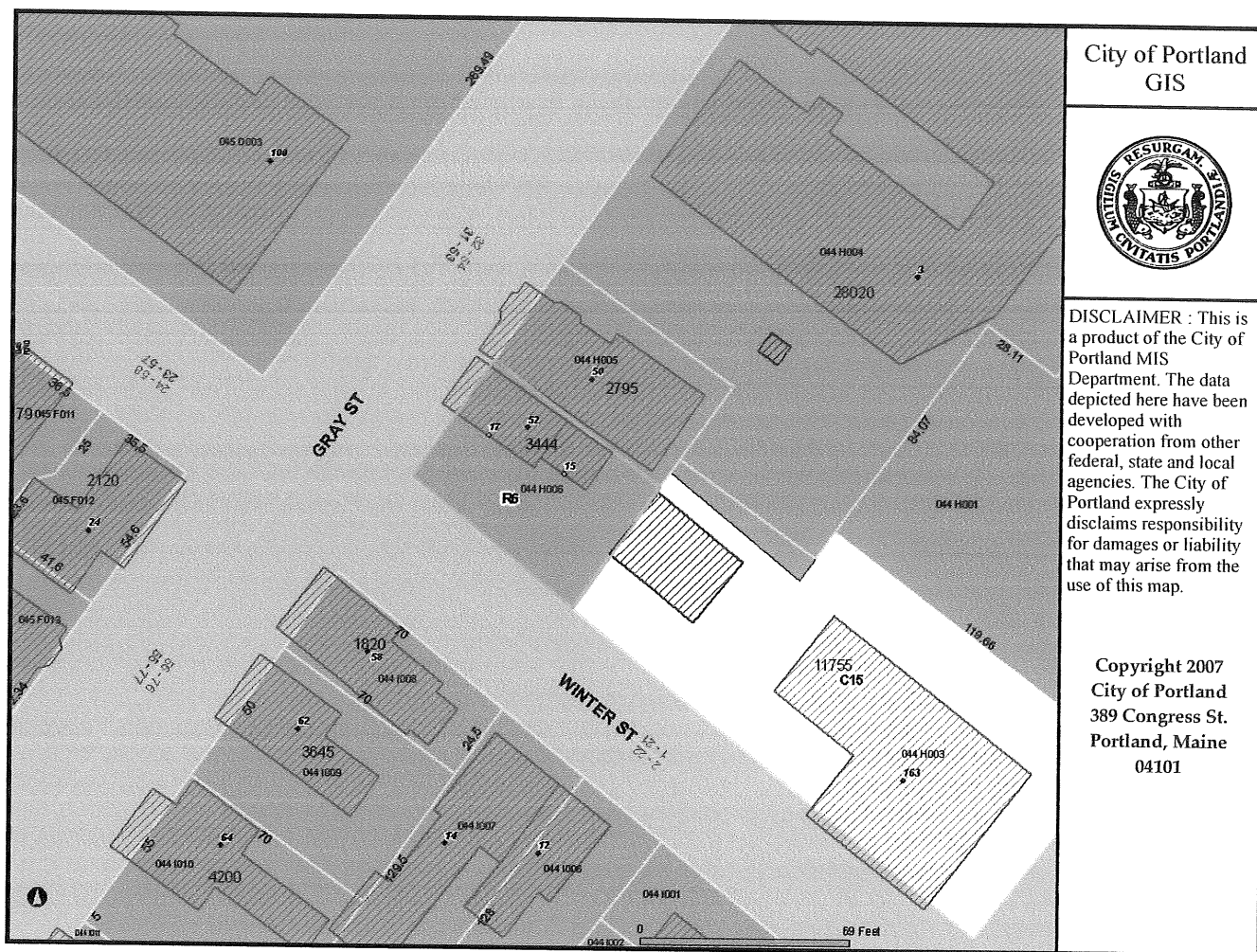
R-6 Zone - 2 unit  
using 14-436 80% Allowance

1st floor footprint ~~974~~ 1006<sup>#</sup> x 80% max. Allowed Expansion  
= 804.8<sup>#</sup> max

Showing 5' x 17' = 85<sup>#</sup> Expansion of 8.45% being used







**From:** Deb Andrews  
**To:** Barbara Hathaway  
**Date:** 5/27/2008 3:52:41 PM  
**Subject:** Re: 15-17 Winter AHHHHHHHHH

Barbara:

Jeanie Bourke and I have met to discuss the identified life safety requirements as they affect your recent Historic Preservation Board approval. This is what we have determined would satisfy both approval processes:

1. Skylights. You are free to return to your previous approval to install skylights in lieu of the windows.
2. Egress for 3rd floor bedroom, south end: The existing skylight on the Winter St.-facing roof plane can be replaced with an egress skylight, provided the size of the skylight is not increased. Jeanie thought that the existing size might meet the requirement, but this will have to be confirmed.
3. Egress for 3rd floor bedroom, north end: The existing gable window facing Gray Street may be replaced with a casement window that matches the divided-light appearance of the rest of the windows on the building. Your contractor will need to provide a catalogue cut or measured drawing of the proposed window. He should also provide a measured drawing of the existing window, for comparison purposes.

All of these revisions could be reviewed and approved by staff.

Hope this is helpful.

Deb Andrews

>>> Barbara Hathaway <[parker\\_1@hotmail.com](mailto:parker_1@hotmail.com)> 5/22/2008 9:04:16 AM >>>  
Good Morning Deb,

I hope all is well.

Update: According to Jeanie Bourke in Inspections we have some issues that link us back to your department. Despite Bob's best intention and conversations with Inspections prior to our submission to HP, a few points were missed. We cannot have operable windows on the east facade of the new dormer, and we cannot have an egress window in the bathroom. (Any window needs to be fire rated and inoperable, due to the proximity of the adjacent building.) We hope to have operable windows to provide ventilation...that brings back to skylights.

We are hopeful that because skylights had previously been approved that this can be handled by an administrative decision. We would like somewhat smaller skylights but are concerned that any significant change from the previous approval would result in a time delay. Inspections has also raised, and may insist, that we have an egress window put in the gable end bedroom...because it was used as a pre-existing bedroom, (not new construction), and is on a principal street facade in an Historic district, we are hoping that can be grandfathered. Our alternative would be to install a casement window that looks like and fits the same opening as the existing double hung. If we need to replace the existing window with an egress window would that require an HP Hearing?

This email is also a follow up to the letter we received from HP dated 4.4.08, signed by Scott Hanson, granting approval of our application. The address is correct but the scope of work is for another property.

Please let me know how we should proceed.

One day soon we'll get this right!

**From:** Barbara Hathaway <parker\_1@hotmail.com>  
**To:** "jmb@portlandmaine.gov" <jmb@portlandmaine.gov>, LOAL <rnward@dwmlaw.com>  
**Date:** 8/27/2008 2:17:24 PM  
**Subject:** FW: 15-17 Winter Sketches with added detail

Jeannie,

Enclosed please find revised drawings produced by Al Hodgson..the substance has not changed. We requested more detail to include location of the support pole as it relates to the half wall, location of the bath vent fan, and construction detail for our builder.

Thank you.

Barbara Ward

44-H-6

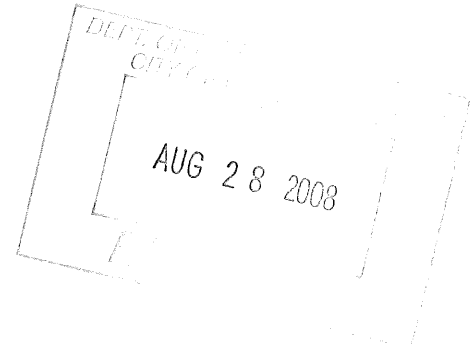
Date: Wed, 27 Aug 2008 11:02:48 -0400  
 From: resurgence@verizon.net  
 Subject: Re: 15-17 Winter Sketches with added detail  
 To: parker\_1@hotmail.com  
 CC: rnw@dwmlaw.com

Barbara and Ron,

Please find attached some revised sketches per my last site visit, calling out a few more details of the ridge construction.

Please forward to Jeannie Bourque, as I cannot find her edress and have to go to a jobsite now.

Al



----- Original Message -----

From: Barbara Hathaway  
 To: ALFRED HODSON ; LOAL  
 Sent: Tuesday, August 26, 2008 7:58 PM  
 Subject: RE: 15-17 Winter

Hello Al, Bob has been terminated. We start tomorrow with a new GC.. Will look to you for completeness of material order for and execution of the ridge beam if your time allows. Many Thanks, BW

Date: Tue, 26 Aug 2008 18:05:33 -0400  
 From: resurgence@verizon.net  
 Subject: Re: 15-17 Winter  
 To: parker\_1@hotmail.com

Update????

STRUCTURAL GENERAL NOTES

- 1. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS.
- 2. NO PROVISIONS HAVE BEEN MADE FOR ANY TEMPORARY CONDITIONS THAT MAY ARISE DURING CONSTRUCTION PRIOR TO THE COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE DESIGN AND CONSTRUCTION OF ALL FORMS, SHORING, AND TEMPORARY BRACING DURING THE PROJECT.
- 3. NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS THAT MAY AFFECT THE WORK. BECAUSE THIS PROJECT INVOLVES RETROFITTING AND MODIFICATIONS OF EXISTING STRUCTURES, THE CONTRACTOR SHALL TAKE THE NECESSARY MEASURE TO FIELD VERIFY EXISTING CONDITIONS AS SHOWN ON THE DRAWINGS.
- 4. ANY MODIFICATION OR ALTERATION OF THESE CONSTRUCTION DOCUMENTS OR CHANGES IN CONSTRUCTION FROM THE INTENT OF THESE DOCUMENTS BY THE CONTRACTOR WITHOUT WRITTEN APPROVAL OF THE ENGINEER SHALL REMOVE ALL PROFESSIONAL AND LIABILITY RESPONSIBILITY ON THE PART OF THE ENGINEER. ALTERNATE CONNECTION DETAILS MAY BE USED IF SUBMITTED TO THE ENGINEER FOR REVIEW, AND ACCEPTANCE GRANTED.
- 5. DO NOT SCALE FROM THE DRAWINGS.

DESIGN CRITERIA

1. INTERNATIONAL BUILDING CODE, 2003 EDITION, INCLUDING CONSIDERATION OF CHAPTER 34, EXISTING BUILDINGS

ADDRESS: 17 WINTER STREET, PORTLAND, MAINE

SNOW LOAD: HEATED ROOF STRUCTURE  
 20 POUNDS PER SQUARE FOOT, UNIFORM  
 25 POUNDS PER SQUARE FOOT, ONE SIDE ONLY  
 25 POUNDS PER SQUARE FOOT TRIANGULATED DIRT CHARGE ON DORMER  
 PER DRAFT REQUIREMENTS OF ASCE 7-02

LIVE LOADS: 40 PSF, (20 PSF IN SLEEPING ROOMS)

WIND LOADS: PER DED SECTION 1603.5 SEE CHAPTER 8

BASIC WIND SPEED, (S & G 3 SECT)	100 mph
IMPORTANCE FACTOR, $w$	1.00
EXPOSURE CATEGORY	C
BUILDING CLASSIFICATION	I
BASIC WIND PRESSURE	25 psf
COMPONENT & CLADDING PRESSURE	20 psf

SEISMIC LOADS: PER DED SECTION 1613.0  
EARTHQUAKE DESIGN DATA PER SECTION 1615.2

SEISMIC IMPORTANCE FACTOR, $I_e$	1.0
SEISMIC USE GROUP	I
SPECTRAL PERIOD RESPONSE ACCELERATION	0.57
1-SECOND RESPONSE ACCELERATION	0.10
SEISMIC DESIGN CATEGORY	C
BASIC SEISMIC FORCE-RESISTING SYSTEM	2-BEAR WALLS
RESPONSE MODIFICATION FACTOR	1.5
ANALYSIS PROCEDURE:	EQUIVALENT LATERAL FORCE

LUMBER AND JOIST HANGERS

- 1. ALL COMPOSITE LUMBER USED ON THIS JOB SHALL BE VERSA-LAM MANUFACTURED BY BOISE ENGINEERED WOOD PRODUCTS. BENDING STRESS IS  $\leq 3100$  PSI, ELASTIC MODULUS  $E = 2,600,000$  PSI. FRAMING LUMBER USED FOR OTHER WALL AND ROUGH CARPENTRY APPLICATIONS SHALL BE SPRUCE-PINE-FIR NO. 2 OR BETTER, KILN DRIED TO A MOISTURE CONTENT OF LESS THAN 19 PERCENT.
- 2. FASTENERS TO ATTACH VERSA-LAM MEMBERS ARE TO BE 3/8" TRUSS-LOCK FASTENERS, MANUFACTURED BY FASTENMASTER INC., AGRIVAL, MA (1-800-416-3564, www.fastenmaster.com)
- 3. ALL JOIST HANGERS, HURRICANE TIES, AND ATTACHMENT HARDWARE ARE TO BE AS SPECIFIED, MANUFACTURED BY SIMPSON STRONG-TIE. CONNECT ALL JOIST HANGERS PER SIMPSON STRONG-TIE REQUIREMENTS.
- 4. SPECIAL ATTENTION SHOULD BE TAKEN TO INSTALL FASTENERS AS INDICATED ON THE DRAWINGS.
- 5. WHEN FASTENING INTO EXISTING LUMBER, IT MAY BE NECESSARY TO PRE-DRILL HOLES SO THAT NAIL OR SCREWS DO NOT CRACK EXISTING FRAMING. TO ACHIEVE PROPER FASTENER ALIGNMENT, TEMPORARILY PIN JOIST HANGER IN PLACE WHILE DRILLING HOLES.
- 6. NEW STRUCTURAL FRAMING INSTALLATION SHOULD OCCUR WHILE TEMPORARY SHORING IS IN PLACE. FINISH CARPENTRY AND FINISH PAINTING SHOULD OCCUR AFTER TEMPORARY SHORING IS REMOVED.
- 7. KEEP LUMBER STORED ON SITE OFF OF THE GROUND BY USING SPACER BLOCKS. STORE OUT OF DIRECT SUNLIGHT TO DIMINISH UNEVEN DRYING EFFECTS.
- 8. DO NOT NOTCH JOISTS IN THE MIDDLE THIRD OF THEIR SPAN. REPAIR EXISTING, NOTCHED JOISTS AND RAFTERS BY "SISTERING" THEM WITH NEW MATERIAL OF THE SAME DEPTH. GLUE AND SCREW NEW MATERIAL TO THE EXISTING MATERIAL. PRE-DRILL HOLES INTO ADDED PIECES TO PROVIDE PRE-DRILLING TEMPLATE FOR EXISTING MATERIAL. REFER TO PLANS AND DETAILS FOR OVERLAP LENGTHS.

SPECIAL NOTES TO BUILDER

- 1. THE SCOPE FOR THIS PROJECT INCLUDES MODIFYING THE EXISTING FRAMING TO PROVIDE A STRUCTURALLY SOUND THIRD-FLOOR DORMER, WHILE SUPPORTING CODE-REQUIRED LIVE LOADS ON THE ROOF, AS NECESSARY.
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- 3. BECAUSE OF THE ANTICIPATED MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS INTENDED FOR THE HOUSE, THE ENGINEER SHOULD BE NOTIFIED BEFORE SUBCONTRACTORS DRILL HOLES INTO THE FRAMING OR NOTCH FRAMING.
- 4. ALTHOUGH MENTION IS MADE OF GRESSS WINDOW INSTALLATION, THIS DESIGN DOES NOT CONSIST OF A FULL SET OF ARCHITECTURAL FRAMING PLANS AND CODE COMPLIANCE REVIEWS. THIS SET OF CONSTRUCTION DOCUMENTS CONSIDERS ONLY STRUCTURAL ISSUES.

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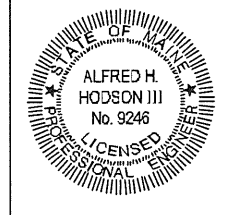
CLIENT: BARBARA WARD  
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 PORTLAND, ME 04101

DATE: 25 JUL 08 SCALE: AS NOTED

DRAWN BY: A. HODSON CHECKED BY: A. HODSON

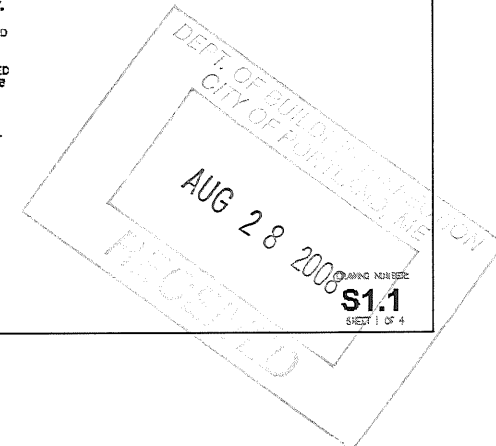
PROJECT NUMBER: 08-025 CAD FILE: WARD.DWG

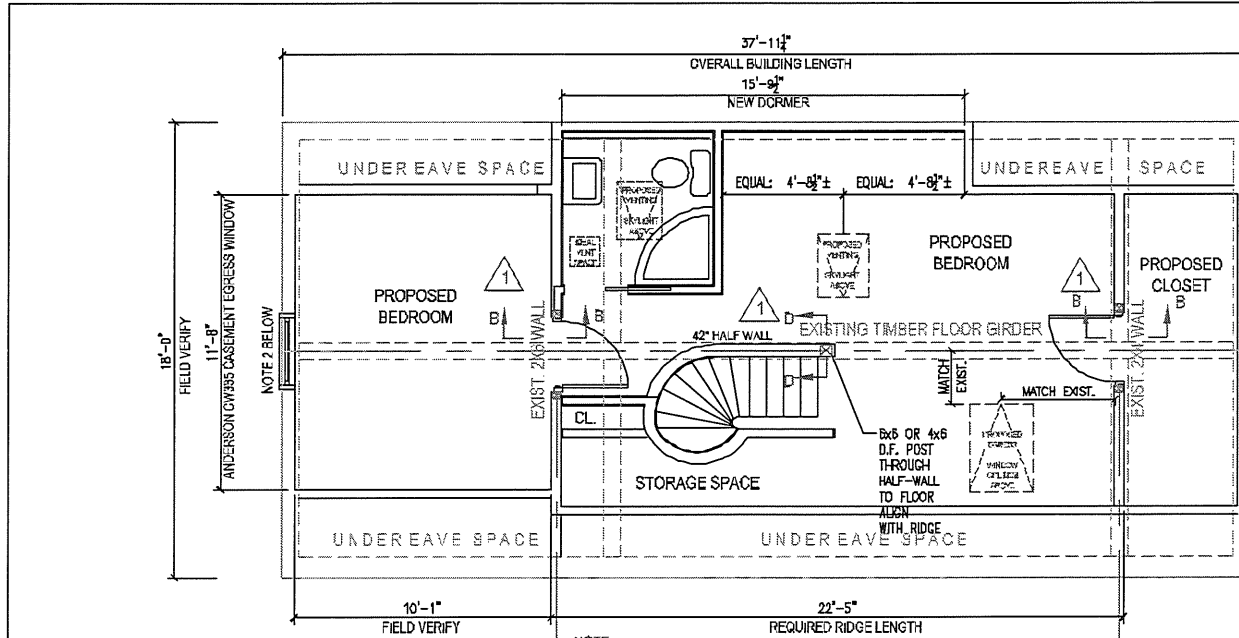
P.E. SEINF -- DESIGNER OF RECORD



PROJECT: 17 WINTER STREET  
 3rd FLOOR DORMER AND ROOF  
 STRUCTURAL DESIGN

27 AUG 08  
 CLARIFICATIONS AND  
 FIELD MODIFICATIONS





- NOTE**
1. THIS PLAN IS PROVIDED FOR REFERENCE PURPOSES ONLY AND IS BASED UPON LAYOUT DESCRIBED BY OWNER AND CONTRACTOR. EGRESS DESIGN CONSISTS OF WINDOWS SHOWN ON PLANS. OTHER DESIGN IS FOR STRUCTURAL CONSIDERATIONS ONLY.
  2. GRAY STREET EGRESS WINDOW IS ANDERSON CW395 CASEMENT, WITH MULLION TO MATCH EXISTING HISTORIC PROFILE.
  3. WINTER STREET EGRESS WINDOW IS VELUX GPL 100, CENTERED ON EXISTING SKYLIGHT OPENING. BOTTOM OF NEW EGRESS WINDOW APPROX. 2'-6" A.F.F. (4" REQUIRED).
  4. BATHROOM SKYLIGHT IS VELUX MODEL V3101 (R.O. 20" x 27 1/2").
  5. BEDROOM SKYLIGHT IS VELUX MODEL F5007 (R.O. 30 3/4" x 31").
  6. BATHROOM EXHAUST IS BROWN QTR870 ULTRA-SILENT VENT FAN.
  7. 6x6 OR 4x6 DOUGLAS FIR POST. ALIGN WITH RIDGE AND EXTEND DOWN TO FLOOR AT BASE OF HALF-WALL. MAINTAIN WITHIN EXISTING HALF-WALL TO EXTENT POSSIBLE.

**1** PROPOSED THIRD FLOOR PLAN  
1/4" = 1'-0"

**RESURGENCE**  
ENGINEERING & PRESERVATION, INC.  
132 BRENTWOOD STREET  
PORTLAND, ME 04103  
V/P (207) 773-4880  
RESURGENCE@VERIZON.NET

CLIENT: BARBARA WARD  
15-17 WINTER STREET  
PORTLAND, ME 04101

DATE: 30 JUL 08 SCALE: AS NOTED

DRAWN BY: A. HODSON CHECKED BY: A. HODSON

PROJECT NUMBER: 08-025 CAD FILE: WARD.DWG

P.L.E. STAMP -- DRAWN BY DESIGNER



PROJECT: 17 WINTER STREET  
3rd FLOOR DORMER  
STRUCTURAL DESIGN

27 AUG 08  
CLARIFICATIONS AND  
FIELD MODIFICATIONS

REVISIONS

AUG 28 2008

DRAWING NUMBER:  
**S1.2**  
SHEET 2 OF 4

**Jeanie Bourke - 15-17 Winter Street**

---

**From:** "The Danforth Inn" <danforth@maine.rr.com>  
**To:** <JMB@portlandmaine.gov>  
**Date:** 6/16/2008 6:21 AM  
**Subject:** 15-17 Winter Street  
**CC:** "Barbara Hathaway" <parker\_1@hotmail.com>

---

Good Morning Jean,

Attached please find the request for a waiver regarding the ceiling height on the dormer.  
Please let me know if there is anything else you need in order to process the permit.  
If you could offer a time frame when the permit would issue it would be helpful.

Thank you for working with us.

Barbara Ward

**163 DANFORTH STREET  
PORTLAND, ME 04102**

June 15, 2008

Inspections Department  
City of Portland  
Portland City Hall  
489 Congress Street  
Portland, ME 04101  
ATTN: Jean Bourke, Director

RE: 15-17 Winter Street

Ladies and Gentlemen:

Please consider this my request for a waiver relating to the above-captioned premises. Specifically, we are requesting a waiver for the ceiling height for the bathroom being added to the third floor dormer to allow that ceiling height to remain at its currently-framed height which apparently falls short of the code requirements by 1-2 inches. The restraining condition prompting this situation is the terms of the approval by the Historic Preservation Committee limiting the height of the roof and the achievable slope for the dormer.

Any construction details should be directed to the contractor, Bob Graham.

Thank you for your consideration of this request.

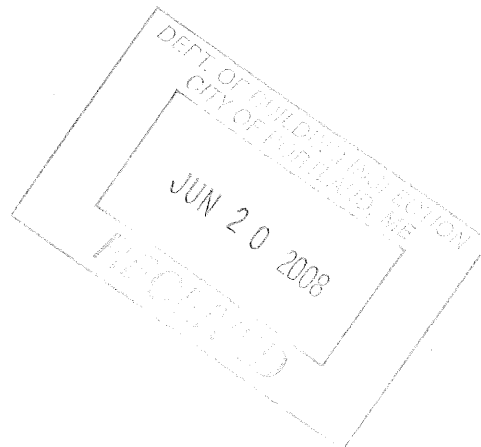
Sincerely,



Barbara H. Ward

BHW:kjl

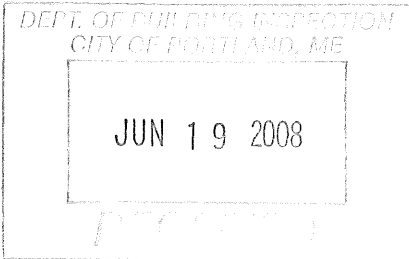
cc: Bob Graham



-16-08

GENE

I AM ENCLOSED A DRAWING OF THE SHED DRAWN & ITS STRUCTURAL DETAILS & WHAT I DID RE: THE RIDGE BEAM.



IT WILL BE INSTALLED, AT A MINIMUM  $5/8"$  1 HOUR RATED PLYWOOD ON THE EXT. CONT W/ID & THE 2 SHORT W/IDS. THE INSIDE WILL BE  $5/8"$  1 HOUR RATING (GYPSONUM) DRYWALL. THE EXTERIOR TRIM WILL BE AS EXISTING CLAPS ON THE SIDE & HORIZONTAL 1 & 6 1x6'S ON THE EAST SIDE.

Note:  
 $5/8"$  tydex &  
 $5/8"$  fire rated sheathing will equal 1 in assembly

THE PRODUCT FOR THE SHEATHING WILL BE  ~~$7/16"$~~  OR  $3/8"$  STRUCTURAL PANEES APPLIED TO THE VERTICAL SURFACE WITH JOINTS OVER STUDS.  $2 1/4"$  #6 TYPE S DRYWALL SCREWS FOR THE DRYWALL & 6d COMMON NAILS @ 6" EDGES.

THE #15 END STUDS WILL BE GRANITE - 5' WIDE AS THE GAR MAIN S ON THE LEFT & > 3' FROM CORNER SO 6' WONT BE EQUI DISTANCE.

Separate permit



## Casement Window Opening Specifications

*Replacement of Gable window for egress*

Unit No.	Clear Opg. Straight Arm		Clear Opg. Split Arm		Clear Opening in Full Open Position			Glass Sq. Ft. (m <sup>2</sup> )	Crack Opening Vent Sash Only Lineal Ft. (mm)	Straight Arm Vent Sq. Ft. (m <sup>2</sup> )	Split Arm Vent Sq. Ft. (m <sup>2</sup> )	Top of Subfloor to Top of Inside Sill Stop Inches (mm)	Overall Unit Area Sq. Ft. (m <sup>2</sup> )
	Sq. Ft. (m <sup>2</sup> )	Sq. Ft. (m <sup>2</sup> )	Sq. Ft. (m <sup>2</sup> )	Sq. Ft. (m <sup>2</sup> )	Straight Arm Width Inches (mm)	Split Arm Width Inches (mm)	Height Inches (mm)						
P3030	4.9 (.455)	4.0 (.372)	22 9/16" (567)	18 11/16" (475)	31 1/16" (789)	15.6 (1.449)	20' 6 3/8" (6258)	9.8 (.910)	9.6 (.892)	48 3/4" (1238)	21.1 (1.962)		
P3035	5.7 (.530)	5.1 (.474)	22 9/16" (567)	20" (508)	36 3/8" (924)	18.0 (1.672)	22' 1 7/8" (6753)	11.4 (1.059)	11.1 (1.031)	43 7/8" (1114)	24.0 (2.228)		
P3040	6.8 (.632)	6.0 (.557)	22 9/16" (567)	20" (508)	43 1/8" (1095)	21.6 (2.007)	24' 6 5/8" (7483)	13.6 (1.263)	13.1 (1.217)	36 13/16" (932)	28.2 (2.621)		
P3045	7.5 (.697)	6.7 (.622)	22 9/16" (567)	20" (508)	47 15/16" (1218)	24.0 (2.230)	26' 1 7/8" (7972)	15.0 (1.394)	14.6 (1.356)	31 7/8" (810)	31.0 (2.883)		
P3050	8.6 (.799)	7.6 (.706)	22 9/16" (567)	20" (508)	55" (1397)	27.6 (2.564)	28' 6 1/8" (8690)	17.2 (1.598)	16.7 (1.551)	24 13/16" (630)	35.2 (3.269)		
P3055	4.2 (.388)	3.5 (.330)	25 11/16" (653)	21 13/16" (554)	23 7/16" (595)	4.4 (.412)	9' 6" (2896)	4.2 (.388)	4.1 (.380)	56 5/8" (1432)	6.2 (.577)		
P3060	5.5 (.515)	4.7 (.437)	25 11/16" (653)	21 13/16" (554)	31 1/16" (789)	5.9 (.544)	10' 9 5/8" (3292)	5.5 (.515)	5.4 (.505)	48 3/4" (1238)	7.9 (.730)		
P3065	6.4 (.596)	5.4 (.505)	25 11/16" (653)	21 13/16" (554)	35 15/16" (913)	6.8 (.629)	11' 7 1/4" (3536)	6.4 (.596)	6.3 (.585)	43 7/8" (1114)	8.9 (.829)		
P3070	7.7 (.715)	6.5 (.607)	25 11/16" (653)	21 13/16" (554)	43 1/8" (1095)	8.1 (.755)	12' 9 5/8" (3901)	7.7 (.715)	7.6 (.703)	36 13/16" (932)	10.5 (.975)		
P3075	8.6 (.795)	7.3 (.674)	25 11/16" (653)	21 13/16" (554)	47 15/16" (1218)	9.0 (.839)	13' 7 1/4" (4145)	8.6 (.795)	8.4 (.781)	31 7/8" (810)	11.6 (1.073)		
P3080	9.8 (.912)	8.3 (.774)	25 11/16" (653)	21 13/16" (554)	55" (1397)	10.4 (.963)	14' 9 5/8" (4511)	9.8 (.912)	9.7 (.897)	24 13/16" (630)	13.1 (1.217)		
P3085	10.7 (.993)	9.1 (.843)	25 11/16" (653)	21 13/16" (554)	59 15/16" (1522)	11.3 (1.049)	15' 7 1/4" (4755)	10.7 (.993)	10.5 (.978)	19 1/8" (505)	14.2 (1.317)		
P3090	12.0 (1.111)	10.1 (.942)	25 11/16" (653)	21 13/16" (554)	67" (1702)	12.6 (1.172)	16' 9 5/8" (5121)	12.0 (1.111)	11.8 (1.094)	12 13/16" (325)	15.7 (1.461)		
P3095	5.5 (.515)	4.7 (.437)	25 11/16" (653)	21 13/16" (554)	31 1/16" (789)	11.7 (1.088)	21' 7 1/4" (6584)	11.1 (1.030)	10.9 (1.010)	48 3/4" (1238)	15.7 (1.455)		
P3100	6.4 (.596)	5.4 (.505)	25 11/16" (653)	21 13/16" (554)	35 15/16" (913)	13.6 (1.259)	23' 2 3/8" (7071)	12.8 (1.191)	12.6 (1.170)	43 7/8" (1114)	17.8 (1.652)		
P3105	7.7 (.715)	6.5 (.607)	25 11/16" (653)	21 13/16" (554)	43 1/8" (1095)	16.3 (1.510)	25' 7 1/4" (7803)	15.4 (1.430)	15.1 (1.405)	36 13/16" (932)	20.9 (1.943)		
P3110	8.6 (.795)	7.3 (.674)	25 11/16" (653)	21 13/16" (554)	47 15/16" (1218)	18.1 (1.678)	27' 2 3/8" (8291)	17.1 (1.589)	16.8 (1.563)	31 7/8" (810)	23.0 (2.138)		
P3115	9.8 (.912)	8.3 (.774)	25 11/16" (653)	21 13/16" (554)	55" (1397)	20.7 (1.925)	29' 7 1/4" (9022)	19.6 (1.823)	19.3 (1.794)	24 13/16" (630)	26.1 (2.424)		
P3120	11.5 (1.068)	10.1 (.942)	25 11/16" (653)	21 13/16" (554)	67" (1702)	22.1 (2.049)	31' 1 7/8" (9513)	21.1 (1.963)	20.8 (1.937)	19 1/8" (505)	28.2 (2.621)		
P3125	12.6 (1.171)	10.7 (.993)	25 11/16" (653)	21 13/16" (554)	75" (1905)	24.0 (2.230)	33' 1 1/2" (10112)	23.0 (2.137)	22.7 (2.109)	12 13/16" (325)	31.0 (2.883)		
P3130	14.0 (1.301)	12.0 (1.111)	25 11/16" (653)	21 13/16" (554)	83" (2109)	26.4 (2.448)	35' 1 1/2" (10762)	25.0 (2.317)	24.7 (2.289)	12 13/16" (325)	34.0 (3.137)		
P3135	6.5 (.604)	5.6 (.526)	30 1/8" (765)	26 1/4" (667)	31 1/16" (789)	6.8 (.632)	11' 6 3/8" (3513)	6.5 (.604)	6.1 (.567)	48 3/4" (1238)	9.0 (.836)		
P3140	7.5 (.697)	6.6 (.613)	30 1/8" (765)	26 1/4" (667)	35 15/16" (913)	7.9 (.734)	12' 4 1/16" (3761)	7.5 (.697)	7.0 (.650)	43 7/8" (1114)	10.2 (.948)		
P3145	9.0 (.836)	7.9 (.734)	30 1/8" (765)	26 1/4" (667)	43 1/8" (1095)	9.5 (.883)	13' 6 1/16" (4126)	9.0 (.836)	8.4 (.780)	36 13/16" (932)	12.0 (1.115)		
P3150	10.0 (.929)	8.8 (.818)	30 1/8" (765)	26 1/4" (667)	47 15/16" (1218)	10.5 (.975)	14' 4 1/16" (4371)	10.0 (.929)	9.4 (.873)	31 7/8" (810)	13.2 (1.226)		
P3155	11.5 (1.068)	10.1 (.942)	30 1/8" (765)	26 1/4" (667)	55" (1397)	12.1 (1.124)	15' 6 13/16" (4729)	11.5 (1.068)	11.1 (1.042)	24 13/16" (630)	14.9 (1.384)		
P3160	12.6 (1.171)	10.7 (.993)	30 1/8" (765)	26 1/4" (667)	63" (1626)	13.1 (1.217)	16' 4 1/16" (4980)	12.6 (1.171)	12.2 (1.145)	19 1/8" (505)	16.2 (1.505)		
P3165	14.0 (1.301)	12.0 (1.111)	30 1/8" (765)	26 1/4" (667)	71" (1803)	14.7 (1.366)	17' 6 13/16" (5339)	14.0 (1.301)	13.6 (1.263)	12 13/16" (325)	17.9 (1.663)		
P3170	6.5 (.604)	5.6 (.526)	30 1/8" (765)	26 1/4" (667)	31 1/16" (789)	13.6 (1.263)	23' 0 3/8" (7026)	13.0 (1.208)	12.2 (.567)	48 3/4" (1238)	17.9 (1.661)		
P3175	7.5 (.699)	6.5 (.608)	30 1/8" (765)	26 1/4" (667)	35 5/16" (913)	15.8 (1.468)	24' 8 1/8" (7522)	15.0 (1.394)	14.0 (.567)	43 7/8" (1114)	20.3 (1.886)		
P3180	9.0 (.838)	7.9 (.730)	30 1/8" (765)	26 1/4" (667)	43 1/8" (1095)	19.0 (1.765)	27' 0 7/8" (8252)	18.0 (1.672)	16.8 (.567)	36 13/16" (932)	23.9 (2.218)		
P3185	10.0 (.932)	8.7 (.811)	30 1/8" (765)	26 1/4" (667)	47 15/16" (1218)	21.0 (1.951)	28' 8 1/8" (8738)	20.0 (1.858)	18.8 (.567)	31 7/8" (810)	26.3 (2.440)		
P3190	11.5 (1.069)	10.1 (.942)	30 1/8" (765)	26 1/4" (667)	55" (1397)	24.2 (2.248)	31' 1 5/8" (9490)	23.0 (2.137)	22.7 (2.109)	24 13/16" (630)	29.8 (2.767)		

These units meet or exceed the following dimensions: Clear Openable Area of 5.7 sq. ft., Clear Openable Width of 20" and Clear Openable Height of 24" when appropriate hardware (straight arm or split arm) is specified.

NOTE: Floor to sill heights are calculated based upon a structural header height of 6' 10-1/2"

*SPLIT 6-4*

### Picture Square Feet Glass/Unit Area

Unit Number	Glass Area sq. ft. (m <sup>2</sup> )	Overall Unit Area sq. ft. (m <sup>2</sup> )
P3030	6.8 (.632)	9.0 (.836)
P3035	7.8 (.725)	10.2 (.948)
P3040	9.4 (.873)	12.0 (1.115)
P3045	10.4 (.966)	13.2 (1.226)
P3050	12.0 (1.115)	14.9 (1.384)
P3055	13.0 (1.208)	16.2 (1.505)
P3060	14.6 (1.356)	17.9 (1.663)
P3530	7.8 (.725)	10.2 (.948)
P3535	9.0 (.836)	11.6 (1.078)
P3540	10.8 (1.003)	13.6 (1.263)
P3645	12.1 (1.124)	15.0 (1.394)
P3560	13.8 (1.282)	17.0 (1.579)
P3555	15.1 (1.403)	18.4 (1.709)
P3560	16.8 (1.561)	20.4 (1.895)
P4030	9.4 (.873)	12.0 (1.115)
P4035	10.8 (1.003)	13.6 (1.263)
P4040	13.0 (1.208)	16.0 (1.486)
P4045	14.5 (1.347)	17.6 (1.635)
P4050	16.6 (1.542)	20.0 (1.858)
P4055	18.1 (1.682)	21.6 (2.007)
P4060	20.2 (1.877)	24.0 (2.230)
P4530	10.4 (.966)	13.2 (1.226)
P4535	12.1 (1.124)	15.0 (1.394)

### Transom Square Feet Glass/Unit Area

Unit Number	Glass Area sq. ft. (m <sup>2</sup> )	Overall Unit Area sq. ft. (m <sup>2</sup> )
CTR1510	0.7 (.065)	1.4 (.130)
CTR1810	0.8 (.074)	1.7 (.158)
CTR2010	1.0 (.093)	2.0 (.186)
CTR2410	1.2 (.111)	2.4 (.223)
CTR2810	1.4 (.130)	2.6 (.242)
CTR/PTR3010	1.6 (.149)	3.0 (.279)
CTR2910	1.5 (.139)	2.8 (.260)
CTR3410	1.8 (.167)	3.4 (.316)
CTR/PTR4010	2.2 (.204)	4.0 (.372)
CTR4810	2.6 (.242)	4.7 (.437)
CTR5210	2.9 (.269)	5.2 (.483)
CTR5110	3.4 (.316)	6.0 (.557)
CTR/PTR6010	3.4 (.316)	6.0 (.557)
CTR7010	4.0 (.372)	7.1 (.660)
PTR3510	1.8 (.167)	3.4 (.316)
PTR4510	2.4 (.223)	4.4 (.409)
PTR5010	2.8 (.260)	5.0 (.465)
PTR5510	3.0 (.279)	5.4 (.502)

DEVELOPMENT INSPECTION  
PORTLAND, ME  
JUN 20 2008  
RECEIVED

**Jeanie Bourke - 15-17 Winter - correction on 2 skylights and one model number**

---

**From:** Barbara Hathaway <parker\_1@hotmail.com>  
**To:** "jmb@portlandmaine.gov" <jmb@portlandmaine.gov>, Deb Andrews <dga@ci.portland.me.us>  
**Date:** 9/10/2008 10:29 AM  
**Subject:** 15-17 Winter - correction on 2 skylights and one model number

---

Despite extensive review of the design for the third floor we have several more corrections to make.

Correction and your approval is needed on the 2 (two) skylights that are within the new dormer's roof, the gable bedroom window and western egress skylight remain unchanged from the last submission from Al Hodgson of Resurgence Engineering., dated August 27, 2008.

The original model numbers/windows selected were not designed for a rubber roof installation (they are "deck mounted" and not raised off the roof to accommodate a box mounting of about 3.5 inches above the surface of the rubber roof. The model numbers we propose are both slightly smaller. I will confirm what the box mount is. They will be installed in the same locations.

The correct model numbers are:



1. The bath skylight: VCM 2222 ( 22 1/2 in x 22 1/2 in) replacing VS101 (21 .5 x 27 3/8)
2. The dormer bedroom: VCM 3030 ( 30 1/2 x 30 1/2) replacing FS302 (30 9/18 x 31)

The gable bedroom easement window dimensions and specs are correct, the model should be corrected to CW 135 NOT CW 335.

Will you need need drawings, catalog cuts?

We have terminated Bob's Coastal Contracting. Do we need to make any changes to the building permit to reflect a new contractor?

Many Thanks,

Barbara Ward

44-H-6

Please have Mr. Richl Call me - important,

Form # P 04

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Please Read Application And Notes, If Any, Attached

Permit Number: 080364

This is to certify that HATHAWAY BARBARA E & THOMAS W THOMSEN ITS/Bob

has permission to Additon of Shed Dormer - 17' wing

AT 52 GRAY ST CBL 044 H006001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept.

Health Dept.

Appeal Board

Other

Department Name

Handwritten signature of Annie Bonke 6/26/08

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD



**CITY OF PORTLAND, MAINE**  
**Department of Building Inspections**

7-7 20 08

Received from

Bob's Electrical

Location of Work

12 17 street

Cost of Construction

\$ 111,500 170

Permit Fee

\$ 170

Building (IL)  Plumbing (I5)  Electrical (I2)  Site Plan (U2)

Other \_\_\_\_\_

CBL: 44-116

Check #: 2674

**Total Collected \$ 170**

# THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy



**CITY OF PORTLAND, MAINE**  
**Department of Building Inspections**

June 20 2008

Received from Bob's Coastal Cont. LLC

Location of Work 52 Gray

Cost of Construction \$ 2,000

Permit Fee \$ 40.00

Building (IL)  Plumbing (IS)  Electrical (I2)  Site Plan (U2)

Other SWO Removal \$10.00

CBL: 44-H-6

Check #: 0719 Total Collected \$ 140.00

**THIS IS NOT A PERMIT**

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.



# CITY OF PORTLAND, MAINE

Department of Building Inspections

## Original Receipt

\_\_\_\_\_ 6-3 20 09 \_\_\_\_\_

Received from Barbara Wood

Location of Work Grey St.

Cost of Construction \$ \_\_\_\_\_ Building Fee: \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_ Site Fee: \_\_\_\_\_

Certificate of Occupancy Fee: \_\_\_\_\_

Total: 140

Building (I1) \_\_\_\_\_ Plumbing (I5) \_\_\_\_\_ Electrical (I2) \_\_\_\_\_ Site Plan (U2) \_\_\_\_\_

Other \_\_\_\_\_

CBL: \_\_\_\_\_

Check #: CC Total Collected \$ 140

**No work is to be started until permit issued.  
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

<b>Card Number</b>	1 of 1
<b>Parcel ID</b>	044 H006001
<b>Location</b>	52 GRAY ST
<b>Land Use</b>	TWO FAMILY
<b>Owner Address</b>	HATHAWAY BARBARA E & THOMAS W THOMSEN JTS 163 DANFORTH ST PORTLAND ME 04102
<b>Book/Page</b>	20858/018
<b>Legal</b>	44-H-6 GRAY ST 52-54 WINTER ST 15-19 3444 SF

Current Assessed Valuation

<b>Land</b>	<b>Building</b>	<b>Total</b>
\$143,200	\$191,100	\$334,300

Property Information

<b>Year Built</b>	<b>Style</b>	<b>Story Height</b>	<b>Sq. Ft.</b>	<b>Total Acres</b>	
1875	Colonial	2	2237	0.079	
<b>Bedrooms</b>	<b>Full Baths</b>	<b>Half Baths</b>	<b>Total Rooms</b>	<b>Attic</b>	<b>Basement</b>
2	2		6	Full Finsh	Full

Outbuildings

<b>Type</b>	<b>Quantity</b>	<b>Year Built</b>	<b>Size</b>	<b>Grade</b>	<b>Condition</b>
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Sales Information

<b>Date</b>	<b>Type</b>	<b>Price</b>	<b>Book/Page</b>
02/11/2004	LAND + BLDING	\$316,000	20858-18
09/01/2002	LAND + BLDING	\$287,500	18159-251
09/25/2000	LAND + BLDING	\$170,000	15746-063

Picture and Sketch

<a href="#">Picture</a>	<a href="#">Sketch</a>	<a href="#">Tax Map</a>
-------------------------	------------------------	-------------------------

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

**New Search!**



**City of Portland  
Inspection Services  
RETURN OF SERVICE**

On the 20th day of May, 2008 I made service of the stop work order no building permit upon, Ron & Barbara Ward, at 52 Gray ST (15-17 winter)



By delivering a copy in hand.

By leaving copies at the individual's dwelling house or usual place of abode with a person of suitable age or discretion who resides therein and whose name is \_\_\_\_\_.

By delivering a copy to an agent authorized to receive service of process, and whose name is \_\_\_\_\_.

By (describe other manner of service) \_\_\_\_\_  
\_\_\_\_\_

Signature of Person Making Service

DATED: 5/21/08

*Jeanne Bonke*

I have received the above referenced documents

Person Receiving Service

*J. d. del*

Refused to sign

Unable to sign



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life • [www.portlandmaine.gov](http://www.portlandmaine.gov)*

*Lee Urban - Director of Planning and Development  
Jeanie Bourke - Inspections Division Director*

May 21, 2008

HATHAWAY BARBARA E &  
163 DANFORTH ST  
PORTLAND , ME 04102

**CBL: 044 H006001**  
**Located at 52 GRAY ST**

**Hand Delivery**

Dear DEAR MRS. WARD,

## STOP WORK ORDER

An evaluation of the above-referenced property on 05/21/2008 revealed that building construction was being conducted without benefit of a valid building permit as required by Section 105.1 of the 2003 International Building Code and the 2003 International Residential Code of the City of Portland.

Appropriate permitting has not been issued for the property listed above, therefore all construction activity at that property must STOP immediately. This is a STOP WORK ORDER pursuant to Section 114. of 2003 International Building Code and the 2003 International Residential Code of the City of Portland.

You may resume construction activity only after issuance of the appropriate building permit and the subsequent lifting of this order. Building Permit Applications are available in this office, Room 315 at Portland City Hall, from 8:00 a.m. to 4:00 p.m. weekdays except holidays.

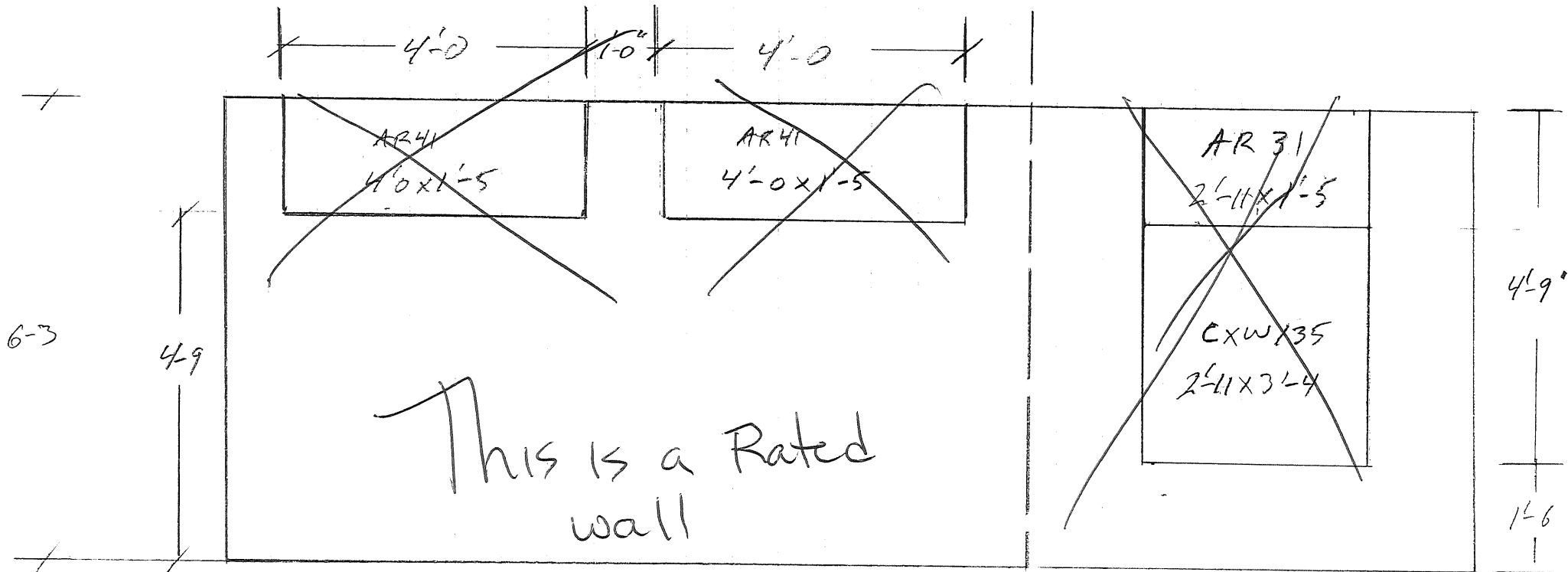
Failure to comply will result in this office referring the matter to the City of Portland Corporation Counsel for legal action and possible civil penalties, as provided for in Section 1-15 of the Code and in Title 30-A of M.R.S.A. Section 4452. This constitutes an appealable decision pursuant to Section 112 of the City of Portland Building Code.

If you wish to discuss this matter, or you have any questions, please feel free to contact me.

Sincerely,

Jeanie Bourke @ (207) 874-8715  
Inspections Division Director

Not allowed



< 36" between buildings

PERMIT ISSUED  
REF 44-4-6  
15 & 17 WINTER  
WINDOW SCHEDULE

DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME  
MAY 21 2008  
RECEIVED

electric outlets / skylight

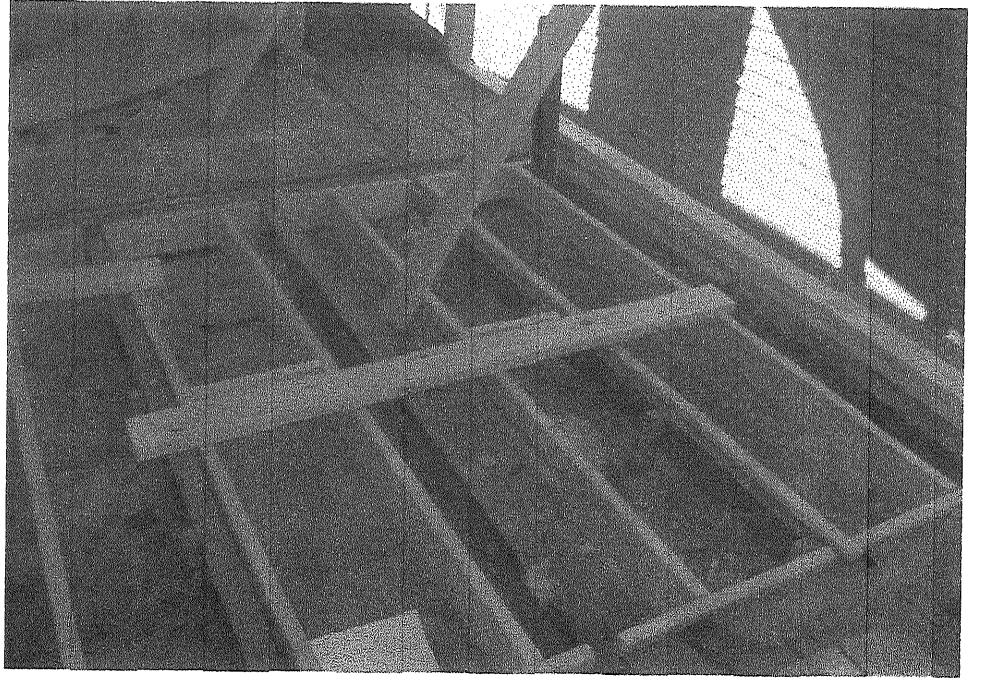
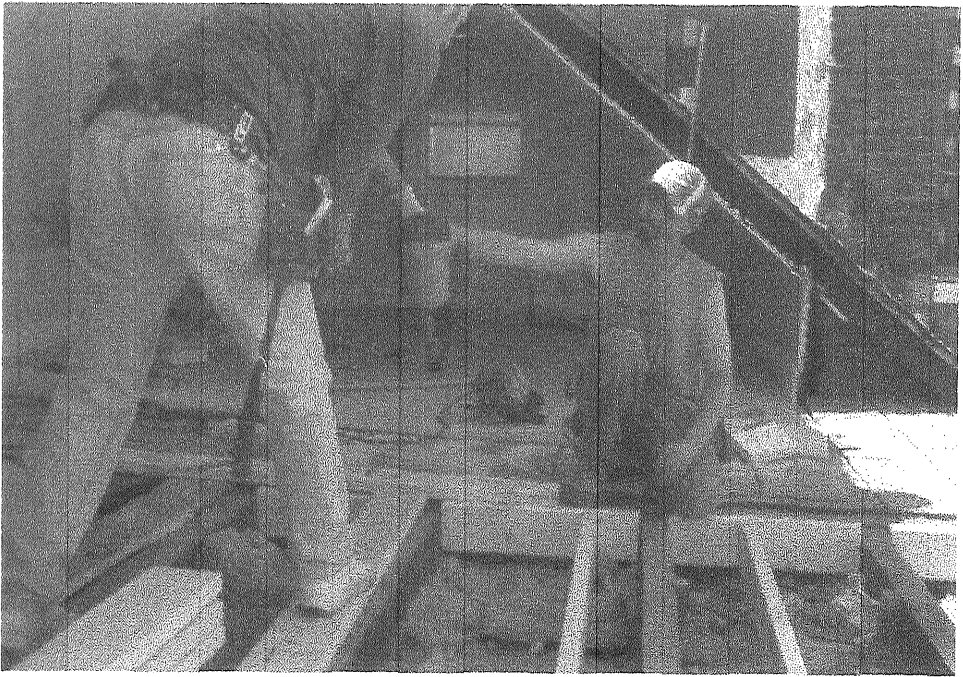
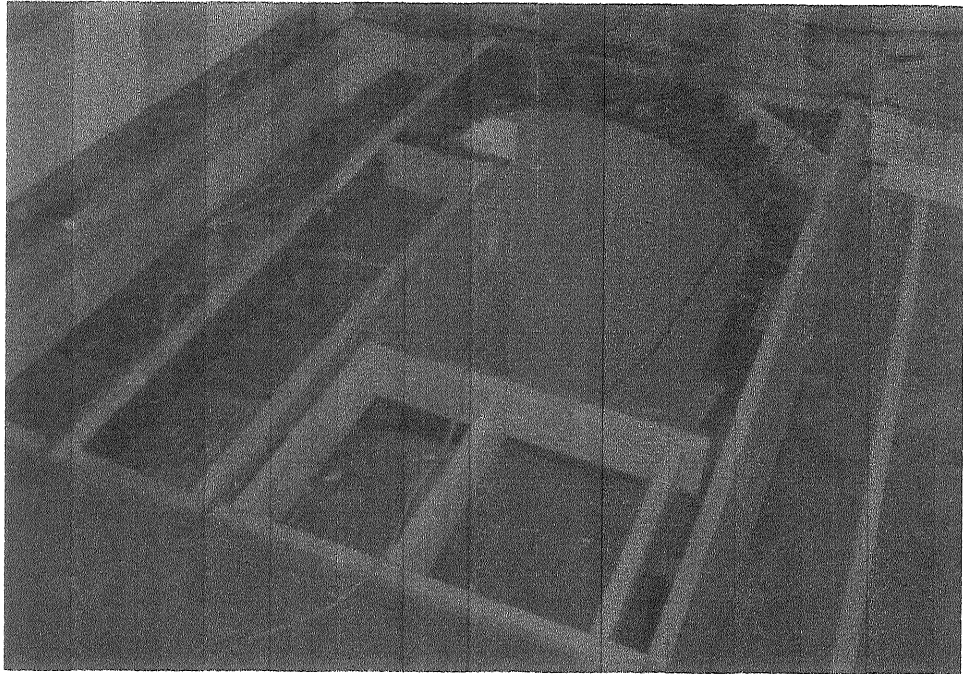
*cable  
bed room*

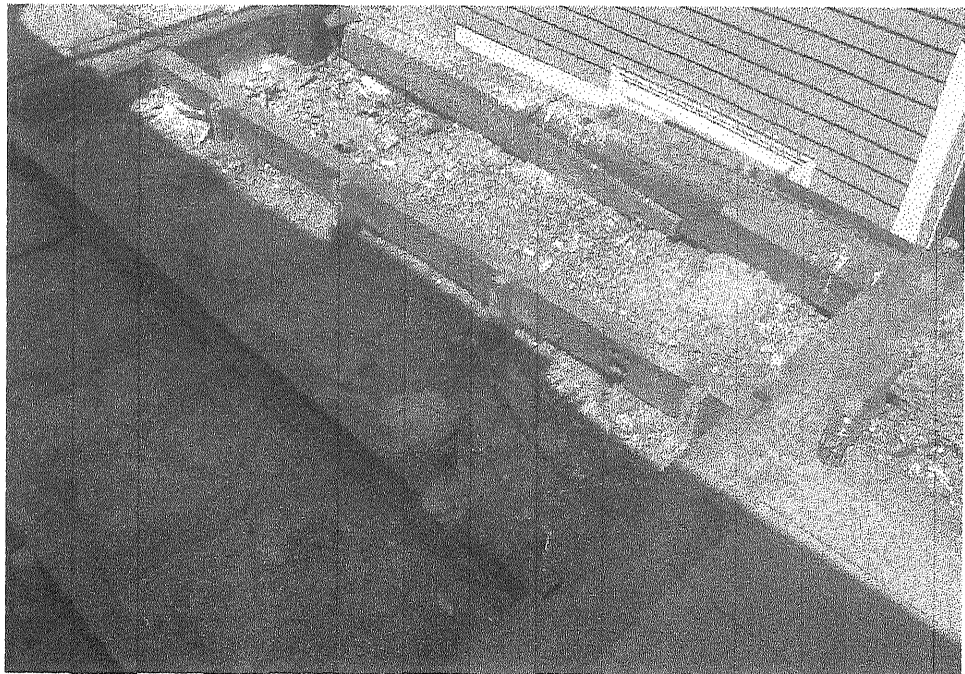
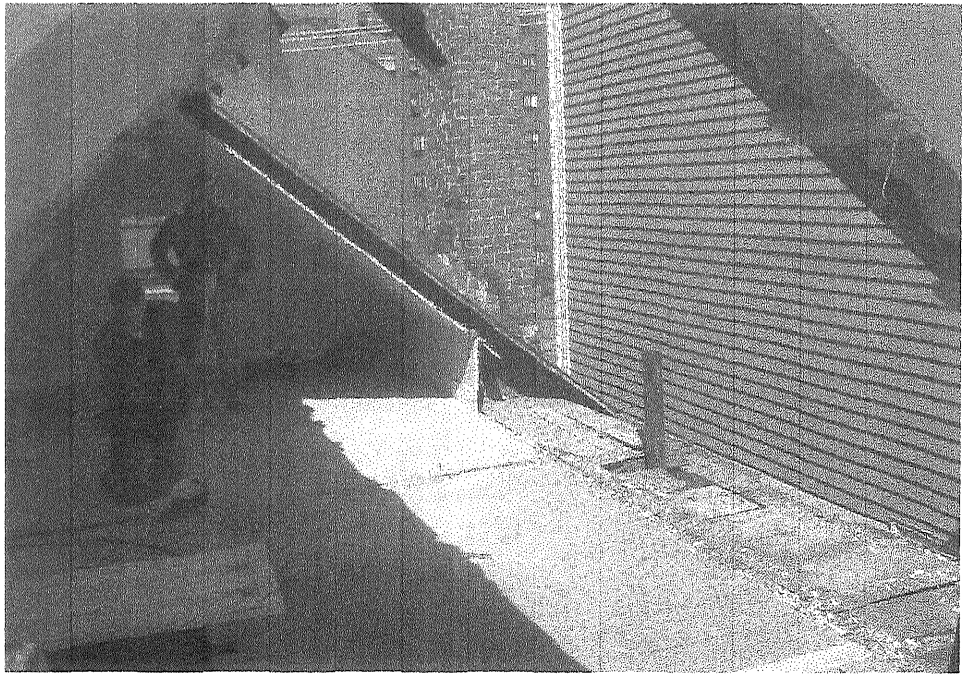
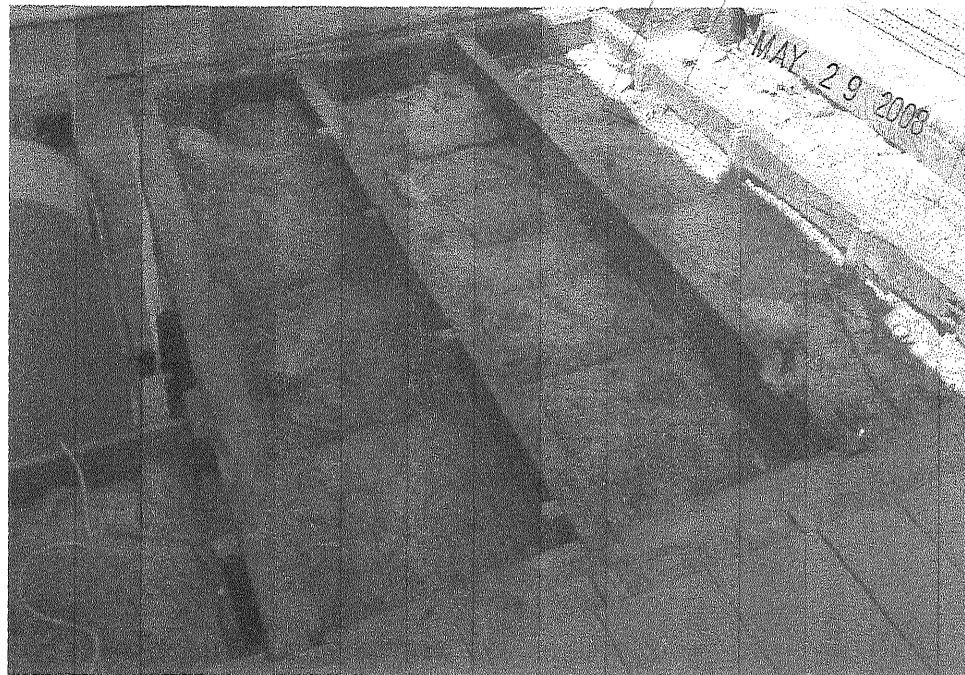
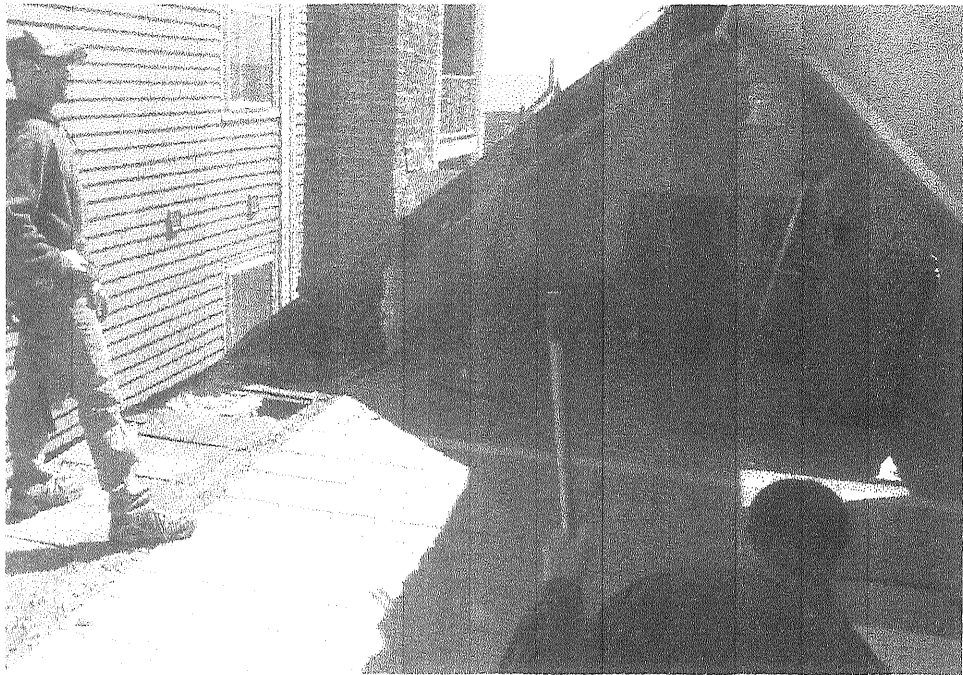


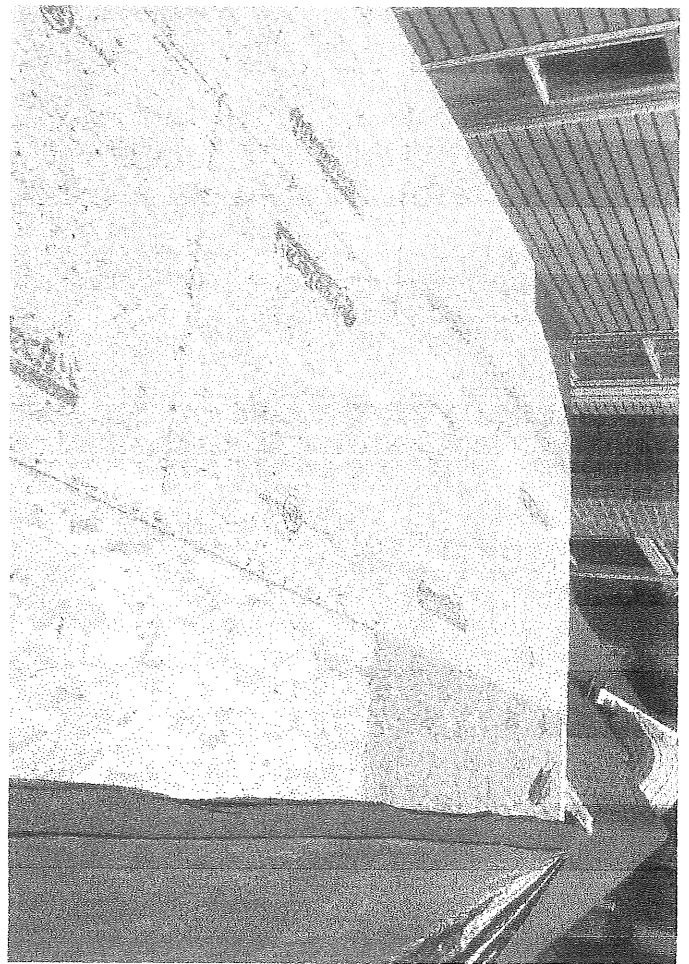
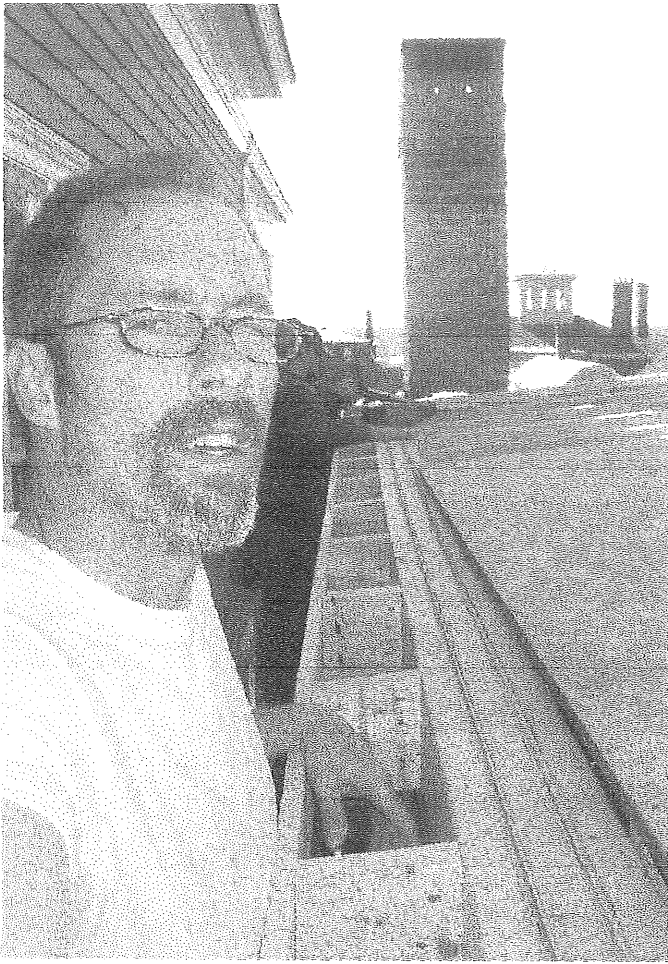
DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME  
MAY 21 2008  
RECEIVED

cable outlet









DEPT. OF...  
CITY OF...  
MAY 29 2008



# BOB'S COASTAL CONTRACTING, LLC.

Established 1989

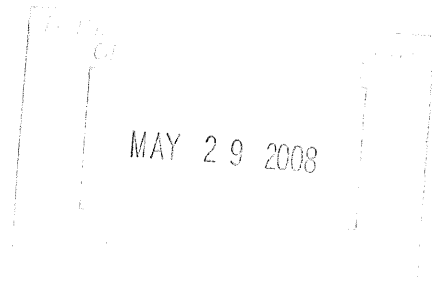
JENNIE: 5/29

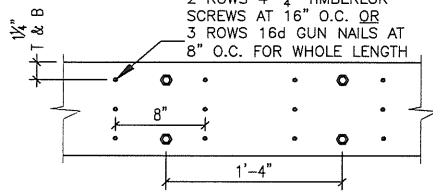
Needs Amendment

- ENCLOSED PLEASE FIND THE ORIGINAL "APPROVED DRAWING" BY THE HP'S MTD ON 3/19. AS WE SPoke OF, I MAY NOT NEED A RAILING BUT WILL PROVIDE IF REQUIRED.
- ALSO I'VE ENCLOSED THE FRAMING OF THE 3RD FLOOR. WHAT'S GOOD ABOUT THE EXISTING FRAMING IS THAT IT IS OF LOG TYPE RUNNING EAST-WEST (8-9" DIA) RUNNING NORTH-SOUTH ARE 4X5'S APPROX 24" OC, SOME MORE SOME LESS THAN. THE FLOOR SLOPED EAST TO WEST ABOUT 1.25" SO I SISTERED THE "LOG BEAMS" AND RAN A NEW FLOOR JOISTS PERPENDICULAR TO THAT. I TIED THAT IN TOGETHER W/ CONST. ADH. & 3/4" T & G ADH. JOIST HANGERS WERE & ARE USED.
- I'M GETTING SKY LITES SIZED & THE NORTH GABLE END W/ R/S SIZED FOR EGRESS.

Sincerely

BOB GAYLOR





CONTRACTOR MAY USE TRIPLE 7 1/4" OR DOUBLE 9 1/4"

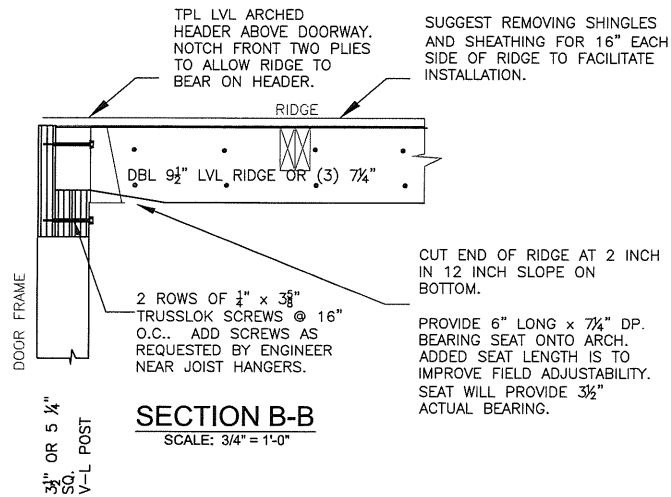
**SECTION A-A**

SCALE: 3/4" = 1'-0"

TYPICAL VERSA-LAM RIDGE SISTERING DETAIL

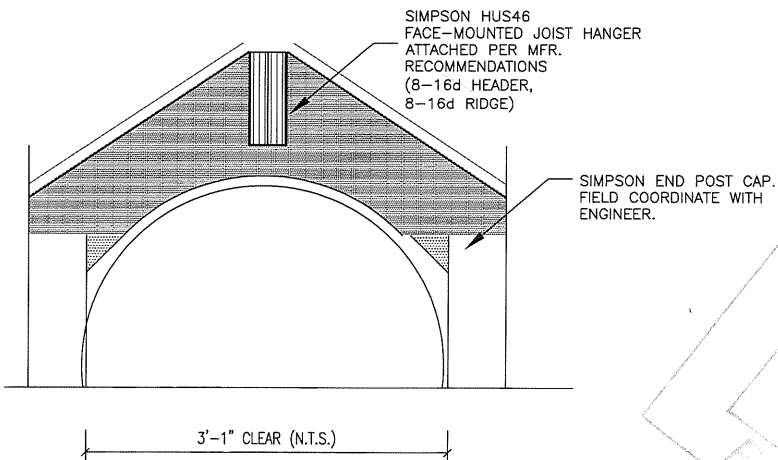
**NOTES:**

1. IT MAY BE ADVANTAGEOUS TO REMOVE EXISTING RIDGE SHINGLES AND TOP ROOF SHEATHING BOARDS TO INSTALL RIDGE.
2. APPLY LIQUID NAILS CONSTRUCTION ADHESIVE TO EACH CONNECTED GIRDER SURFACE.
3. TOP SURFACES OF OUTERMOST FACE GIRDERS MAY BE CUT AT SLOPES TO MATCH EXISTING ROOF SLOPES. NOTE SLOPE CHANGE FROM 3:12 AT DORMER TO 8:12 AT EAST SIDE OF NORTHMOST RIDGE MEMBER.



**SECTION B-B**

SCALE: 3/4" = 1'-0"



**ELEVATION B-B**

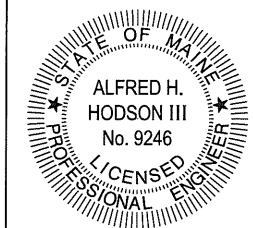
SCALE: 3/4" = 1'-0"

**BUILDER NOTE: CONTACT ENGINEER PRIOR TO INSTALLING RIDGE TO VIEW CONDITIONS NOW COVERED BY DRYWALL**

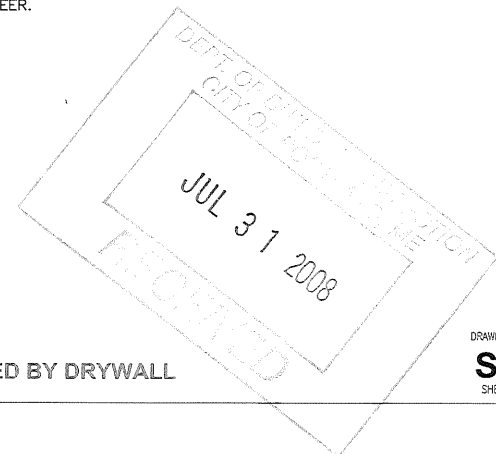
**RESURGENCE**  
ENGINEERING & PRESERVATION, INC.  
132 BRENTWOOD STREET  
PORTLAND, ME 04103  
V/F (207) 773-4880  
RESURGENCE@VERIZON.NET

CLIENT: BARBARA WARD 17 WINTER STREET PORTLAND, ME 04101	
DATE: 30JUL 08	SCALE: AS NOTED
DRAWN BY: A. HODSON	CHECKED BY: A. HODSON
PROJECT NUMBER: 08-025	CAD FILE: WARD.DWG

P.E. STAMP -- ENGINEER OF RECORD

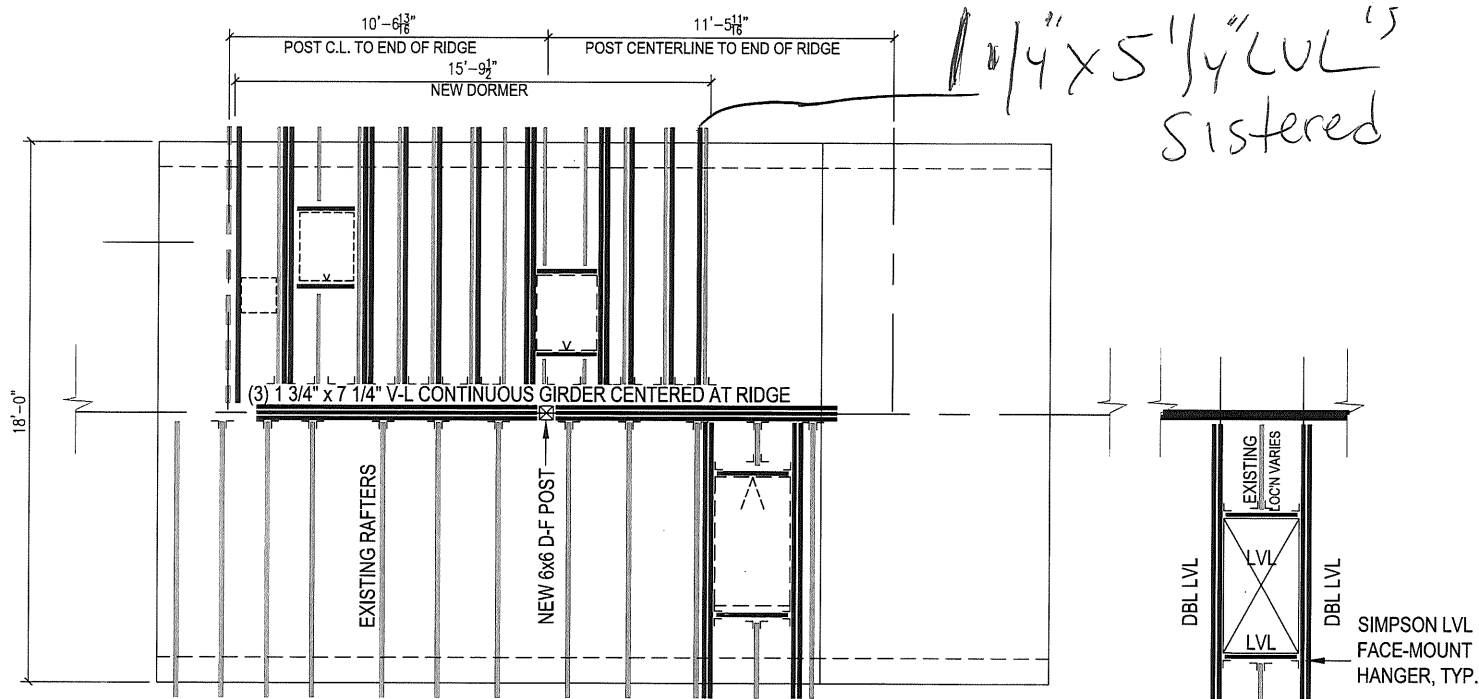


PROJECT: 17 WINTER STREET  
3rd FLOOR DORMER AND ROOF  
STRUCTURAL DESIGN



DRAWING NUMBER:

**S1.4**  
SHEET 4 OF 4



1 3/4" x 5 1/4" LVL's  
Sistered

NOTE: LOCATIONS SHOWN APPROXIMATE. FIELD VERIFY ALL DIMENSIONS.  
NOTE: FOR CONSTRUCTABILITY, TWO 1 3/4" x 9 1/4" LVL MAY BE SUBSTITUTED FOR RIDGE

VELUX MODEL GPL M08 EGRESS WINDOW  
31 1/4" x 55 1/2" ROUGH OPENING  
REMOVE DRYWALL FINISH IN SURROUNDING  
AREA TO PERMIT ADJACENT FRAMING  
INSPECTION  
SEE SHEET S1.2 FOR OTHER WINDOWS

1 PART PLAN - DORMER AND ROOF FRAMING PLAN  
1/4" = 1'-0"

2 FRAMING DETAIL AT EGRESS WINDOW/SKYLIGHT OPENINGS  
1/4" = 1'-0"

NOTE: RIDGE ADEQUATE FOR UP TO 12' SPANS  
NOTE: USE CONCEALED-FACE JOIST HANGERS (SIMPSON HUCQ) WHERE REQUIRED  
NOTE: CONDITIONS MAY VARY SLIGHTLY DUE TO EXACT LAYOUT OF EXISTING FRAMING ON SITE.  
NOTE: SUGGEST REMOVAL OF SHEATHING EITHER SIDE OF EXISTING RIDGE TO FACILITATE INSTALLATION.

NOTE: DETAIL APPLIES FOR ALL SKYLIGHT OPN'GS 14" WIDE TO 36" WIDE

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ENGINEERING & PRESERVATION, INC.  
132 BRENTWOOD STREET  
PORTLAND, ME 04103  
V/F (207) 773-4880  
RESURGENCE@VERIZON.NET

CLIENT: BARBARA WARD  
15-17 WINTER STREET  
PORTLAND, ME 04101

DATE: 30 JUL 08 SCALE: AS NOTED  
DRAWN BY: A. HODSON CHECKED BY: A. HODSON  
PROJECT NUMBER: 08-025 CAD FILE: WARD.DWG

P.E. STAMP --- ENGINEER OF RECORD

PROJECT: 17 WINTER STREET  
3rd FLOOR DORMER  
STRUCTURAL DESIGN

FILED  
JUL 31 2008

**Jeanie Bourke - Re: FW: PERMIT FOR 15/17 WINTER ST**

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**From:** Jeanie Bourke  
**To:** Bob Graham  
**Date:** 5/27/2008 5:00 PM  
**Subject:** Re: FW: PERMIT FOR 15/17 WINTER ST

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Thanks Bob....I will take a look at this, but the drawings will be most helpful. I'm not sure what your experience obtaining building permits is in other states/cities, but here in Portland, we require very detailed plans showing all phases of the work. In this instance some of the code issues may have been realized early in the process if a design professional had been involved.

Also, when a permit is approved and issued, you will be called to come in a pick it up. A building "B" Card is issued and we review with you when to call for the required inspections. Thanks

Jeanie Bourke  
Inspection Services Division Director

City of Portland  
Planning & Development Dept./ Inspections Division  
389 Congress St. Rm 315  
Portland, ME 04101  
[jmb@portlandmaine.gov](mailto:jmb@portlandmaine.gov)  
(207)874-8715

>>> Bob Graham <[graham963@hotmail.com](mailto:graham963@hotmail.com)> 05/27 8:41 AM >>>

Jeanie--Hope u had a fun w/e--I am "forwarding" this because when I started--i couldnt finish composing in my drafts---(village idiot here)--so this was done after we met--it isnt complets--as I will finish today--tues--I was hugely sick from sat till last nite--so thanks for ur patience--Bob Graham

---

From: [graham963@hotmail.com](mailto:graham963@hotmail.com)  
To: [parker\\_1@hotmail.com](mailto:parker_1@hotmail.com)  
Subject: PERMIT FOR 15/17 WINTER ST  
Date: Thu, 22 May 2008 18:04:54 +0000

JEANIE--FIRST AND FOREMOST i WANTED TO LET YOU KNOW HOW MUCH I APPRECIATED YOUR TIME YESTERDAY HELPING TO BRING THIS PERMIT TO A REALITY. AS YOU MAY OR MAY NOT KNOW I HAVE BEEN DOING BUSINESS AS

BOBS COASTAL CONTRACTING SINCE 1989. I AM A REGISTERED LLC W/THE STATE OF MAINE NH AND VT. I RELOCATED "BACK" TO MAINE ABOUT A YEAR AGO AFTER BUING IN VT FOR SOME 2 YEARS. DURING THAT TIME I BUILT (BY MYSELF) 2 LOG HOMES, 1 IN VT THE OTHER IN NY. I REALLY ENJOY MY WORK, AND EVEN THOUGH I AM APPROACHING 20 YEARS AS A BUILDER, I LOOK FORWARD TO EVERY DAY. WHAT REALLY MAKES MY DAY IS A HAPPY CLIENT-- ON A DAILY BASIS, AND RON AND BARBARA WARD ARE SO FAR VERY HAPPY, AND I LOOK FORWARD TO MANY SUCCESS STORIES IN THE FUTURE.

NOW FOR THE PERMIT REG'S WE SPOKE OF TODAY AND AT THE MEETING ON WEDS I WILL EXPLAIN IN DETAIL WHAT I HAVE DONE THUS FAR TO ENSURE A SAFE,STABLE AND UP TO CODE BUILDING AT 15 AND 17 WINTER ST.

SHED DORMER----UPON INSPECTION OF THE EXISTING FLOOR JOISTS, AND NOTING THAT THE FLOOR ITSELF SLOPED 1.5 " FROM THE EXT WALL TO THE CENTER OF THE ROOM--MUCH THE SAME ON THE OTHER SIDE. HENCE I MADE THE DECISION TO RESUPPORT THE FLOOR, AND GAVE BARBARA AB\ND RON A CHANGE ORDER TO DO SO. I BELIEVE THEY WERE GONE, SO I WENT AHEAD AND COMMENCED THE WORK TAKING PICS AS I WENT. I HAD 2 SUBS DOING THIS WITH ME, AND AFTER "FLOATING" THE FLOOR WITH A LASER LEVEL IN THE MIDDLE OF THE FLOOR I MARKED FROM EAST TO WEST THE TOTAL SLOPE TO THE CENTER OF THE ROOM. I DID THE SAME FROM WEST TO EAST. IT WAS DETERMINED THAT I NEEDED TO "REBLOCK" THE FLOOR AND SET F.G. SO TO SPEAK AT ZERO ON FAR EAST AND WEST AXIS. UPON LAYING A STRING FROM EAST TO WEST THE DEFLECTION AVERAGED 1.5 ". THERE IS SIGNIFICANT "BOTTOM PLATE" TIMBERS THAT ARE LOG TYPE, ROUNDED ON THE EXTERIOR AND SQUARED OFF ON OTHER EDGES. THE THICKNESS IS ABOUT 6-8". THE FLOOR CAVITY IS ABOUT 10 " AND AFTER SISTERING THE LOG BOTTOM PLATE AND THEN RUNNING PERPENDICULAR TO THAT W/OTHER DIM LUMBER I FOULD THAT THE FLOOR WAS FINALLY LEVEL FOR THE FIRST TIME IN PROBABLY 60 YEARS. I HAVE PICS FOR ALL OF THIS, AND THE INSULATION IF CELLULOSE, AND IS STATED TO HAVE AN R-FACTOR OF ABOUT 22. THE SUBFLOOR IS 3/5 " ADVANTECH T@G AT RIGHT ANGLE TO THE JOISTS, AND SECURED W/PL400 ADHESIVE NAILED W/PNEUMATIC NAILER USING RING SHANK NAILS 2.75" LONG WITH A NAILING PATTERN OF 6 " OR BETTER. THE THREE OF US JUMPED ON THE MIDDLE OF THE FLOOR--AND IT DIDNT DEFLECT A MILLIMETER

RIDGE----AFTER TEARING OUT THE FOOR I FOUND THAT THERE WAS VERY LITTLE RIDGE IS ANY,AND THE ROOF RAFTERS WERE ATTACHED TO THAT. I REMOVED ALL OF THAT--ATTACHED A NEW RIDGE BEAM OF 2X8 AND SCREWED IT TO THE ENDS OF THE RAFTERS AT THE RIDGE. I THEN CALCULATED THE RAFTER LENGTH W/OUT A TAIL AS I DIDNT WANT ANY WOOD CUT FROM THE RAFTERS. OF COURSE SOME OF THE RAFTERS WERE A LITTLE LONGER/SHORTER THAN OTHERS BUT I COULDN'T CHANGE THAT. I ATTACHED USING SIMPSON STRONG TIES AS WIND BLOWOFF PROTECTION, AND

FASTENED W/SCREWS TO THE TOP PLATES AND HEADERS. THE SIDE WALL ON THE NORTH WALL WAS ALREADY THERE, AS WAS THE OPENING, IF NOT W/IN 6" OF WHERE IT IS NOW. THE WALL PLATE SITS SQUARE ON TOP OF ONE OF THE SISTERED FLOOR JOISTS.

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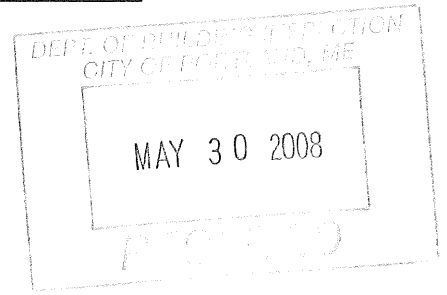
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Make every e-mail and IM count. [Join the i'm Initiative from Microsoft.](#)

5/22/08

**BOB'S COASTAL CONTRACTING L.L.C.**



TO: JEANIE BOURQUE

FROM: BOB GRANT

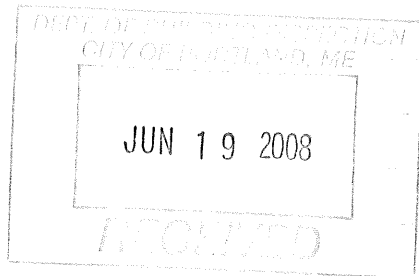
CHECKLIST FOR 15 & 17 WINTER ST.

- ① INSULATION FOR DORMER CEILING PLANNED IS R-19
- ② INSULATION FOR DORMER WALLS IS R-19.
- ③ ALL FLOOR JOINTS WHETHER 2x6 OR 2x8 HAVE JOIST HANGERS
- ④ EXISTING GABLE END (N) WINDOW IS A DOUBLE HUNG AND IS 8 SF. 18" UP
- ⑤ EXISTING (W) SKYLITE IS 6 SF AND IS 51" UP. I WILL MAKE A PERMANENT BENCH OF 18" TO THE SEAT SO THAT HT WILL BE 51-18 OR 33"
- ⑥ RIDGE FASTENERS ARE HURRICANE RATED WIND STRAP W/ 6-8 POINTS OF ATTACHMENT. ALSO USED @ EXT. WALL & THE HOLD THE RAFTERS TO THE HEADER.
- ⑦ THE WALL SEPARATION ON THE 2ND FLOOR FOR 15 & 17 IS AS FOLLOWS:  
" FIRE RESISTANT 5/8" GYPSUM - "TOUGHRock" - FIRE RATED FOR 1 HR PER SIDE "
- ⑧ SMOKE DETECTORS @ GABLE BDRM, ① @ MAIN SLEEPING AREA (S) @ HALLWAY @ GABLE END BDRM DOOR.
- ⑨ NOTE: THE "LOGS" RUNNING IN THE FLOOR E. TO W. ARE 8-10" IN DIAMETER & 8' O.C., OVERLAPPING THE END N TO S LOGS BY MORTISE & TENON. I SUSPENDED BOTH SIDES OF TRAPE & MY LONGEST FLOOR JOIST IS 7'-4" & MOST OF THESE ARE "SUSPENDED" JOIST

P.O. Box 2323 South Portland, Maine 04114-2323 HANGERS AT EOTS.

YES TO PROVIDE →

- ① EXT. SHEATHING
- ② FLOOR DRAWING
- ③ AERIAL VIEW FOR #15 END
- ④ CATALOG CUTS FOR WINDOWS



THE INSULATION CAN BE MADE TO APPROX R 25-R27 BY INSTALLING MORE THAN IS RECOMMENDED & AS YOU KNOW THERE WONT BE ANY "RIDGE VENTING" SO "RAPPER MATES" ARE NOT AN ISSUE. THE SUPPITS WILL BE SOLID SINCE THEY ARE ATTACHED SEPARATELY ON THE OTHER SIDE OF THE HEADER. THE SHEATHING HOWEVER HAS/WAS INSTALLED FROM FAS4A TO RIDGE SO THAT, IN AFFECT, THE SUPPIT ACTS AS ONE & IS "TIED IN" TO THE REST OF THE ROOF.

I WILL GET YOU AN UPDATED PERMIT FOR #15 & ALSO WILL SUPPLY WINDOW CHARGE CUTS THAT WAS DELIVERED TO HP SOME TIME AGO.

THANKS FOR YOUR PATIENCE WITH THIS PROJECT.

BOB GRAHAM

MEMBER, BOBS COASTAL CONTRACTING LLC

NOTE - THE 2ND. BARRIAR IN THE WALLS WILL BE 5/8" GYPSUM (1 HOUR RATING) W/ 2 1/4" # 6 TYPE S SCREWS.



21 JUNE 2008

TO: GENIE BOURQUE  
FROM: BOB GRAHAM

GENIE - PER YOUR REQUEST.

① UPON CONSULT W/ SHAWN WATSON OF QUALITY INSULATION HE STATES.

" YOU CAN EASILY GET R-38 IN A 2X6 CAVITY SPACED 16" O.C. I WOULD USE K-WOOL REFRACTORY INSULATION HELD IN W/A NYLON NETTING.

R 38

② DRAWINGS ATTACHED.

① 2ND FLOOR BORN FIRE SEP. DETAIL (#17)

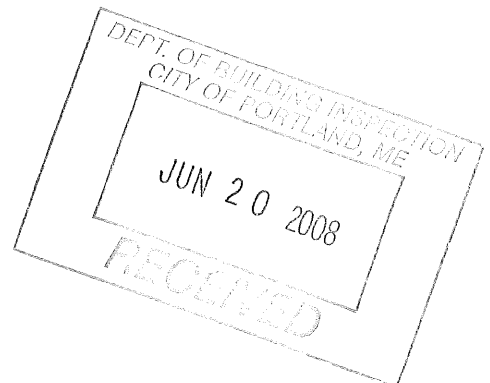
② DETAIL OF REBUILD OF 2ND FLOOR BATH IN UNIT 17.

8.75 SF ③ CATALOG CUTS FOR GRAY ST 2-8" W X 3- GABLE END EGRESS WINDOW.

7.95 SF ④ CATALOG CUTS FOR EXISTING 3RD FLOOR SKYLIGHT W/ MECHANISMS. SIZED 30" W X

→ OPENS A FULL 25" OR 90°

→ SPRING LOADED MECHANISM W/ RELEASE LEVER & CLOSURE



# Product Sizes

*Velux w/ egress hardware*

To assist you in your planning, these charts provide the data useful in specifying and installing your VELUX skylights. Each model is shown with the available size measurements and other necessary information.

## Models VSE and VS

Size code:		101	104	106	108	156	304	306	308	601	606
Outside frame	in.	21½ x 27⅞	21½ x 38⅞	21½ x 46¼	21½ x 54⅝	23⅝ x 46⅜	30⅞ x 38⅜	30⅞ x 46¼	30⅞ x 54⅝	44¾ x 27⅞	44¾ x 46¼
Finished framing	in.	20⅞ x 26⅞	20⅞ x 37⅞	20⅞ x 45⅞	20⅞ x 53¼	22½ x 45⅞	29⅞ x 37⅞	29⅞ x 45⅞	29⅞ x 53¼	43⅞ x 26⅞	43⅞ x 45⅞
Rough opening*	in.	21½ x 27⅞	21½ x 38⅞	21½ x 46¼	21½ x 55⅞	22½ x 45⅞	30⅞ x 38⅜	30⅞ x 46¼	30⅞ x 55⅞	44¾ x 27⅞	44¾ x 46¼
Daylight area (glass)	in.	16¾ x 20⅞	16¾ x 31⅞	16¾ x 39¼	16¾ x 48⅞	18½ x 39¼	25⅞ x 31⅞	25⅞ x 39¼	25⅞ x 48⅞	40 x 20⅞	40 x 39¼
Ventilation area	sq. ft.	1.37	3.63	4.16	4.77	4.27	4.27	4.80	5.41	2.18	5.82
Net wt (Lam. glass)	VSE/VS lbs.	41/38	50/47	59/55	65/64	62/58	64/57	73/71	82/80	65/65	96/93

\* Rough opening for type EDL, EDM, EDW flashings.

## Model FS

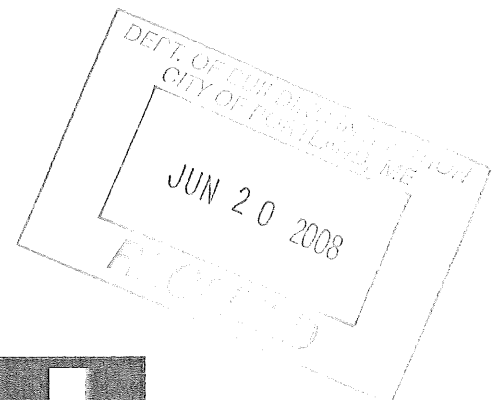
Size code:		056	101	104	106	108	112	150	156	302	304
Outside frame	in.	15¼ x 46¼	21½ x 27⅞	21½ x 38⅞	21½ x 46¼	21½ x 54⅝	21½ x 70¼	23⅝ x 23⅞	23⅝ x 46⅜	30⅞ x 30½	30⅞ x 38⅜
Finished framing	in.	14⅞ x 45⅞	20⅞ x 26⅞	20⅞ x 37⅞	20⅞ x 45⅞	20⅞ x 53¼	20⅞ x 69¼	22½ x 22½	22½ x 45⅞	29⅞ x 29⅞	29⅞ x 37⅞
Rough opening	in.	14⅞ x 46¼	21½ x 27⅞	21½ x 38⅞	21½ x 46¼	21½ x 55⅞	21½ x 71¼	22½ x 22½	22½ x 45⅞	30⅞ x 31	30⅞ x 38⅜
Daylight area (glass)	in.	12 x 42⅞	18⅞ x 24⅞	18⅞ x 35⅞	18⅞ x 42⅞	18⅞ x 51⅞	18⅞ x 67⅞	19⅞ x 20⅞	19⅞ x 42⅞	27¼ x 27⅞	27¼ x 35⅞
Net wt (w/ temp. glass) lbs.		33	28	37	43	49	63	26	46	41	48

## Model FS (continued)

Size code:		306	308	601	606
		30⅞ x 46¼	30⅞ x 54⅝	44¾ x 27⅞	44¾ x 46¼
		29⅞ x 45⅞	29⅞ x 53¼	43⅞ x 26⅞	43⅞ x 45⅞
		30⅞ x 46¼	30⅞ x 55⅞	44¾ x 27⅞	44¾ x 46¼
		27¼ x 42⅞	27¼ x 51⅞	41⅞ x 24⅞	41⅞ x 42⅞
		56	64	52	78



Model VSE, VS and FS sizes that fit perfectly between roof trusses. (see page 20 for additional information)



## Model GPL

Size code:		1008	506
Outside frame	in.	30⅞ x 55	44¾ x 46⅜
Rough opening	in.	31¼ x 55½	45¼ x 46⅞
Daylight area (glass)	in.	23¾ x 45¼	37⅞ x 36⅞
Ventilation area (opening)	sq. ft.	11.34	11.64
Ventilation area (flap)	sq. in.	30.00	47.81
Net wt (w/ Lam. glass)	lbs.	111	123

## Model GDL

Size code:		1019
Outside frame	in.	37⅞ x 99¼
Rough opening	in.	39⅞ x 101
Daylight area (upper section)	in.	30 x 53¼
Daylight area (lower section)	in.	30 x 28¾
Ventilation area (upper section)	sq. ft.	22.5
Ventilation area (flap)	sq. in.	36.7
Net wt (w/ Lam. glass)	lbs.	160

21 JUNE 2008

TO: GENIE BOURQUE  
1046 B003 GRAHAM

GENIE - PER YOUR REQUEST.

① UPON CONSULT W/ SHAWN WATSON OF  
QUALITY INSULATION HE STATES.

" YOU CAN EASILY GET R-38 IN A  
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HELD IN W/ A NYLON NETTING.

② DRAWINGS ATTACHED.

① 2ND FLOOR BDRM FIRE SEP.  
DETAIL (#17)

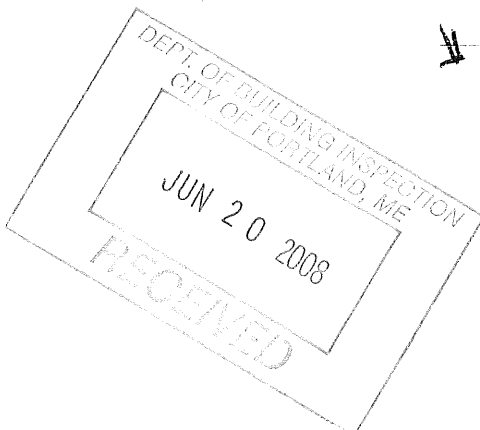
② DETAIL OF REBUILD OF 2ND  
FLOOR BATH IN UNIT 17.

5SF ③ CATALOG CUTS FOR GRAY ST 2-8" W X 3-6" H  
GABLE END EGRESS WINDOW.

5FA ④ CATALOG CUTS FOR EXISTING 3RD FLOOR  
SLEIGHT W/ MECHANISMS. SIZED 30" W X 36" H

→ OPENS A FULL 25" OR 90°

→ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩ ⑪ ⑫ ⑬ ⑭ ⑮ ⑯ ⑰ ⑱ ⑲ ⑳ ㉑ ㉒ ㉓ ㉔ ㉕ ㉖ ㉗ ㉘ ㉙ ㉚ ㉛ ㉜ ㉝ ㉞ ㉟ ㊱ ㊲ ㊳ ㊴ ㊵ ㊶ ㊷ ㊸ ㊹ ㊺ ㊻ ㊼ ㊽ ㊾ ㊿



URGENT

44-H-6

FAX TO: John and Chris

From: Barbara Ward

I hope this helps to clarify:

Bob has done no work on the third floor since the June 20<sup>th</sup> permit was issued.

What you saw today on the 3<sup>rd</sup> floor was built to DIFFERENT drawings other than what Jeannie issued a permit for, and is the condition of the third floor when Jeannie did a site visit and issued a stop work order. I believe the drawings you had today that relate to the ridge were dated June 21, (s//b 20) and June 16. Notations in the Building Permit Application that the City generates (taken by Idobson) states: June 20<sup>th</sup> - jmb - Bob came in with drawings and details, ok to issue." The permit issued and was for the dormer.

What you saw at the job site was built approx. 6 weeks ago, and based on drawings that were previously submitted and approved by HP at an earlier and formal hearing. ( Bob had submitted those plans to Planning/Inspections. We received a letter of approval from HP. Bob thought he had received the permission to build per those drawings.) When Jeannie came to the job site we were told to redesign the third floor,..... including the re-design or elimination of the exterior windows , sistering the ceiling joists, and adding additional support to the ridge beam. The drawings you had with you today are what is PROPOSED. They are the drawings the June 20<sup>th</sup> building permit was issued on. Bob did most of those drawings Friday the 20<sup>th</sup> at City Hall while communicating with Jeannie.



Barbara Ward

Cc: Jeanie Bourke

QUITCLAIM DEED

KNOW ALL PERSONS BY THESE PRESENTS, that THOMAS W. THOMSEN (being unmarried) of Portland, County of Cumberland, State of Maine, for consideration paid, releases to BARBARA E. HATHAWAY of Portland, County of Cumberland, State of Maine, with a mailing address of 52 Gray Street, Portland, Maine 04102, the land and all improvements in Portland, County of Cumberland, and State of Maine, described on the attached **EXHIBIT A**.

Meaning and intending to convey and hereby conveying all of my right, title and interest in and to those same premises described in that deed from Barbara E. Hathaway to Barbara E. Hathaway and Thomas W. Thomsen dated February 5, 2004 and recorded in the Cumberland County Registry of Deeds in Book 20858, Page 18.

WITNESS my hand and seal this 26<sup>th</sup> day of September, 2005.

Witness:

*Suzanne Dressler*

*Thomas W Thomsen*  
THOMAS W. THOMSEN

State of Maine  
County of Cumberland

September 26, 2005

Personally appeared before me the above named Thomas W. Thomsen and acknowledged the foregoing instrument to be his free act and deed.

*Sandra Perkins*  
Notary Public/Attorney at Law

Print Name \_\_\_\_\_  
SANDRA L. PERKINS  
Notary Public, Maine  
My Commission Expires July 25, 2010

My Commission Expires \_\_\_\_\_

EXHIBIT 'A'

A certain lot or parcel of land, with the buildings and improvements thereon, situated on the easterly corner of Winter Street and Gray Street, in the City of Portland, County of Cumberland and State of Maine, bounded and described as follows:

Said lot has a frontage of forty-eight (48) feet more or less, on Gray Street and Seventy (70) feet, more or less, on Winter Street and is numbered on City Plans as 52-54 Gray Street and 15-19 Winter Street.

# URGENT PLEASE

URGENT

Re: 15/17 Winter / 52 Gray

FAX TO: John and Chris

From: Barbara Ward

I hope this helps to clarify:

Bob has done no work on the third floor since the June 20<sup>th</sup> permit was issued.

What you saw today on the 3<sup>rd</sup> floor was built to different drawings other than what Jeannie issued a permit for, and is the condition of the third floor when Jeannie did a site visit and issued a stop work order. What you saw was built approx. 6 weeks ago, and based on drawings that were previously submitted and approved by HP at a formal hearing. Bob had submitted those plans to Planning/Inspections and we received a letter of approval from HP. Bob thought he had received the permission to build per those drawings. When Jeannie came to the job site and issued a stop work order, we were told to redesign the third floor,..... including no windows on the exterior shed dormer wall, sistering the ceiling, and adding additional support to the ridge beam. The drawings you had are what is PROPOSED and what the June 20<sup>th</sup> building permit was issued on. Bob did those drawings Friday the 20<sup>th</sup> at City Hall, the day the permit issued.

We will do what we need to make this safe.

What was the permit of the 20<sup>th</sup> for?



Barbara Ward

879 8755



**CITY OF PORTLAND, MAINE**  
Department of Building Inspections

**Original Receipt**

\_\_\_\_\_ 6-3 2009 \_\_\_\_\_

Received from Barbara Ward

Location of Work Gray St.

Cost of Construction \$ \_\_\_\_\_ Building Fee: \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_ Site Fee: \_\_\_\_\_

Certificate of Occupancy Fee: \_\_\_\_\_

JUN 3 2009

Total: 140

Building (B)  Plumbing (I5)  Electrical (I2)  Site Plan (U2)

Other \_\_\_\_\_

CBL: \_\_\_\_\_

Check #: CC Total Collected \$ 140

**No work is to be started until permit issued.  
Please keep original receipt for your records.**

Taken by: S. [Signature]

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy





**CITY OF PORTLAND, MAINE**  
**Department of Building Inspections**

Aug 22

20 05

Received from Charles A Fortin

Location of Work 52 Gray St.

Cost of Construction \$ \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_

Building (I1) \_\_\_\_\_ Plumbing (I5)  Electrical (I2) \_\_\_\_\_ Site Plan (U2) \_\_\_\_\_

Other \_\_\_\_\_

2003 8006

CBL: 44-H 006

Check #: 11388

**Total Collected \$** 3100

# THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of this receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy



# CITY OF PORTLAND, MAINE

## Department of Building Inspections

June 26 20 08

Received from Anthony GILLANT

Location of Work 52 GRAY

Cost of Construction \$ \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_

Building (I1) \_\_\_\_\_ Plumbing (I5) \_\_\_\_\_ Electrical (I2)  Site Plan (U2) \_\_\_\_\_

Other \_\_\_\_\_

2008-11421

CBL: 0114-H-006

Check #: MC Total Collected \$ 45.

# THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy

# ELECTRICAL PERMIT

## City of Portland, Me.

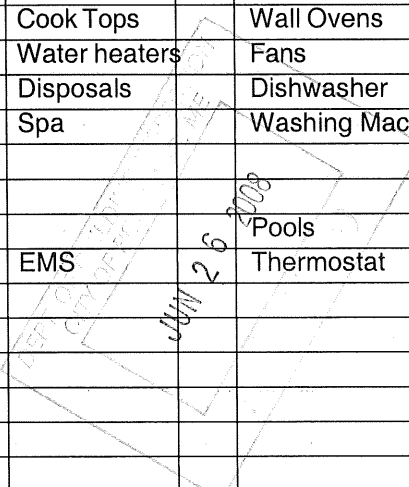


To the Chief Electrical Inspector, Portland Maine:  
 The undersigned hereby applies for a permit to make electrical installations  
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,  
 National Electrical Code and the following specifications:

Date 6-26-08  
 Permit # 2008-1421  
 CBL# 014. H-006

LOCATION: 52- Gray St METER MAKE & # \_\_\_\_\_  
 CMP ACCOUNT # \_\_\_\_\_ OWNER \_\_\_\_\_  
 TENANT Barbara Hathaway PHONE # \_\_\_\_\_

							TOTAL EACH FEE	
OUTLETS	<u>20</u>	Receptacles	<u>10</u>	Switches	<u>5</u>	Smoke Detector		.20
FIXTURES	<u>5</u>	Incandescent		Fluorescent		Strips		.20
SERVICES		Overhead		Underground		TTL AMPS <800		15.00
		Overhead		Underground		>800		25.00
Temporary Service		Overhead		Underground		TTL AMPS		25.00
								25.00
METERS		(number of)						1.00
MOTORS		(number of)						2.00
RESID/COM		Electric units						1.00
HEATING		oil/gas units		Interior		Exterior		5.00
APPLIANCES		Ranges		Cook Tops		Wall Ovens		2.00
		Insta-Hot		Water heaters		Fans		2.00
		Dryers		Disposals		Dishwasher		2.00
		Compactors		Spa		Washing Machine		2.00
		Others (denote)						2.00
MISC. (number of)	<u>1</u>	Air Cond/win						3.00
		Air Cond/cent				Pools		10.00
		HVAC		EMS		Thermostat		5.00
		Signs						10.00
		Alarms/res						5.00
		Alarms/com						15.00
		Heavy Duty(CRKT)						2.00
		Circus/Carnv						25.00
		Alterations						5.00
		Fire Repairs						15.00
	E Lights						1.00	
	E Generators						20.00	
PANELS		Service		Remote		Main		4.00
TRANSFORMER		0-25 Kva						5.00
		25-200 Kva						8.00
		Over 200 Kva						10.00
							TOTAL AMOUNT DUE	
							MINIMUM FEE/COMMERCIAL	55.00
							MINIMUM FEE	45.00



CONTRACTORS NAME Anthony Gallant MASTER LIC. # 16272  
 ADDRESS 21 Armore St LIMITED LIC. # \_\_\_\_\_  
 TELEPHONE 415-3590

SIGNATURE OF CONTRACTOR Anthony Gallant *me*

# PLUMBING APPLICATION

Department of Health and Human Services  
Division of Environmental Health

## PROPERTY ADDRESS

Town or Plantation	
Street Subdivision Lot #	50 GRAY

## PROPERTY OWNERS NAME

Last: Ward First: Barbara

Applicant Name: CHARLES A. FORTIN

Mailing Address of Owner/Applicant (If Different): 30 MONUMENT ST. PORTLAND, MAINE 04101

## Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspectors to deny a Permit.

Charles A. Fortin 8-22-2008  
Signature of Owner/Applicant Date

PORTLAND

PERMIT # 10728 TOWN COPY

Date Permit Issued: 8/22/08

\$             If Double Fee Charged

[Signature]  
Local Plumbing Inspector Signature

L.P.I. # 360

044.H 006

## Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature

Date Approved

## PERMIT INFORMATION

<b>This Application is for</b> 1. <input checked="" type="checkbox"/> NEW PLUMBING 2. <input type="checkbox"/> RELOCATED PLUMBING	<b>Type of Structure To Be Served:</b> 1. <input type="checkbox"/> SINGLE FAMILY DWELLING 2. <input type="checkbox"/> MODULAR OR MOBILE HOME 3. <input type="checkbox"/> MULTIPLE FAMILY DWELLING 4. <input checked="" type="checkbox"/> OTHER - SPECIFY <u>2 FAMILY</u>	<b>Plumbing To Be Installed By:</b> 1. <input checked="" type="checkbox"/> MASTER PLUMBER 2. <input type="checkbox"/> OIL BURNERMAN 3. <input type="checkbox"/> MFG'D. HOUSING DEALER/MECHANIC 4. <input type="checkbox"/> PUBLIC UTILITY EMPLOYEE 5. <input type="checkbox"/> PROPERTY OWNER LICENSE # <u>ME 1937</u>
---	--	--

Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Column 2 Type of Fixture		Column 1 Type of Fixture	
	Number	Type of Fixture	Number	Type of Fixture
HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.  <b>OR</b>  HOOK-UP: to an existing subsurface wastewater disposal system.  PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.  <b>OR</b>  TRANSFER FEE [\$6.00]		Hosebib / Sillcock		Bathtub (and Shower)
		Floor Drain	1	Shower (Separate)
		Urinal		Sink
		Drinking Fountain	1	Wash Basin
		Indirect Waste	1	Water Closet (Toilet)
		Water Treatment Softener, Filter, etc.		Clothes Washer
		Grease / Oil Separator		Dish Washer
		Roof Drain		Garbage Disposal
		Bidet		Laundry Tub
		Other: _____		Water Heater
	Fixtures (Subtotal) Column 2			Fixtures (Subtotal) Column 1
				Fixtures (Subtotal) Column 2
				<b>Total Fixtures</b>
				Fixture Fee
				Transfer Fee
				Hook-Up & Relocation Fee
				<b>Permit Fee (Total)</b>

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

34

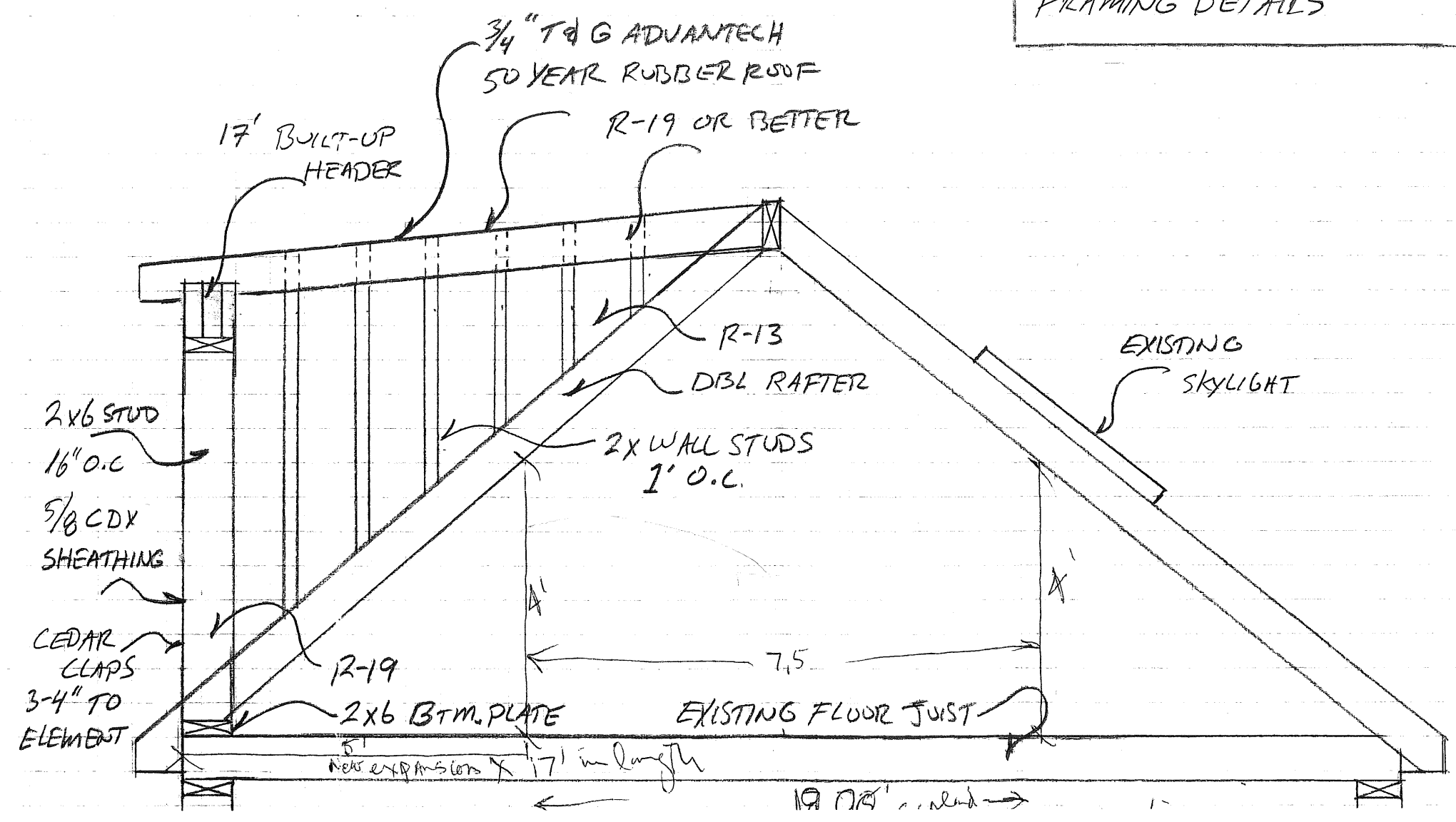
SCALE: 1/2" = 1'

DRAWN BY: BOB GRAHAM

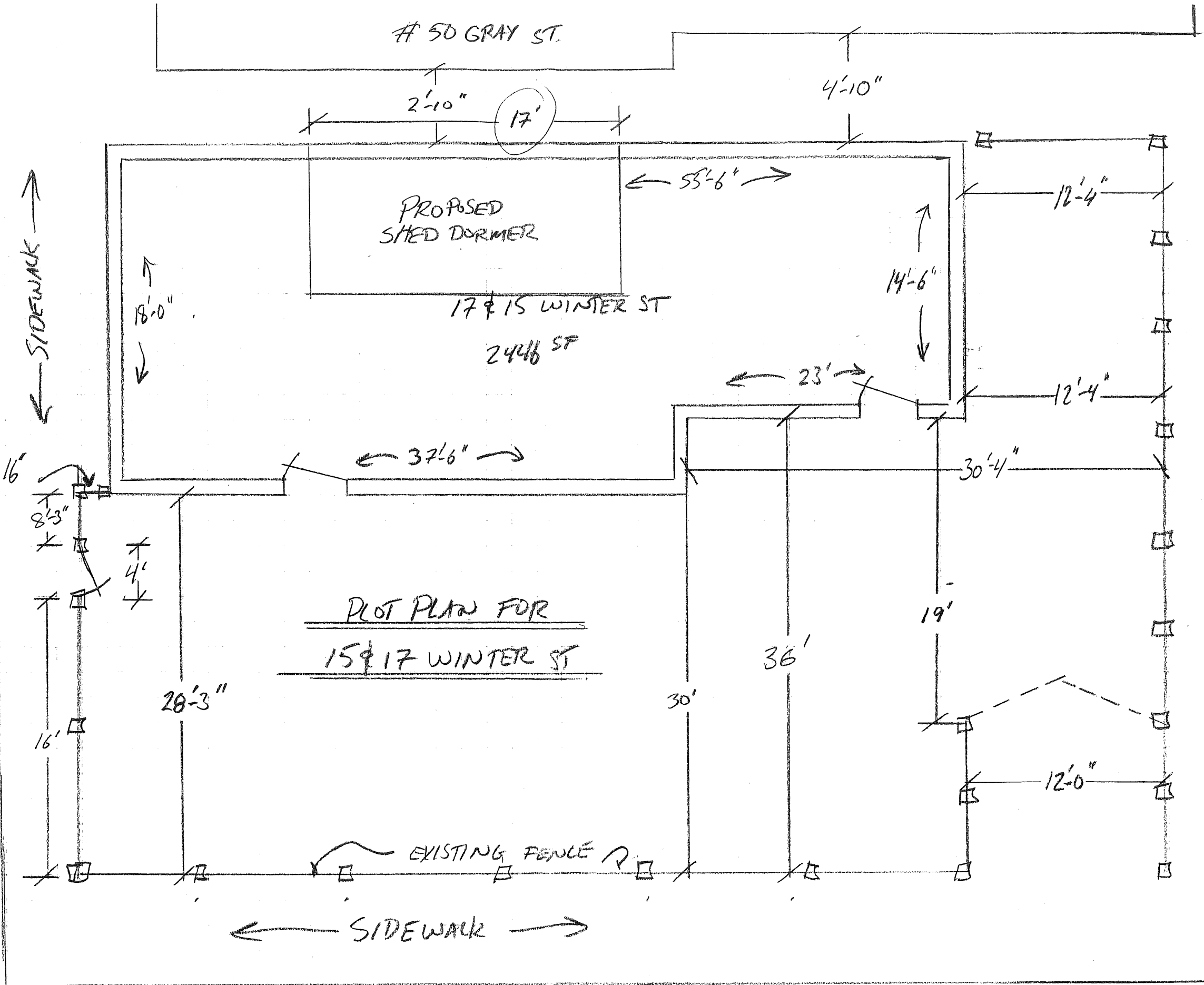
DATED: MARCH 2008

15 & 17 WINTER ST. PORTLAND

FRAMING DETAILS



GRAY ST



LOT PLAN FOR  
15 & 17 WINTER ST

# 50 GRAY ST.

2'-10"

4'-10"

17'

PROPOSED  
SHED DORMER

← 55'-6" →

12'-4"

↑ 18'-0"  
↓

17 & 15 WINTER ST

2446 SF

↑ 14'-6"  
↓

12'-4"

← 23' →

← 37'-6" →

30'-4"

16"

8'-3"

4'

LOT PLAN FOR

15 & 17 WINTER ST

19'

36'

30'

16'

28'-3"

12'-0"

EXISTING FENCE

← SIDEWALK →

PANFORTH ST

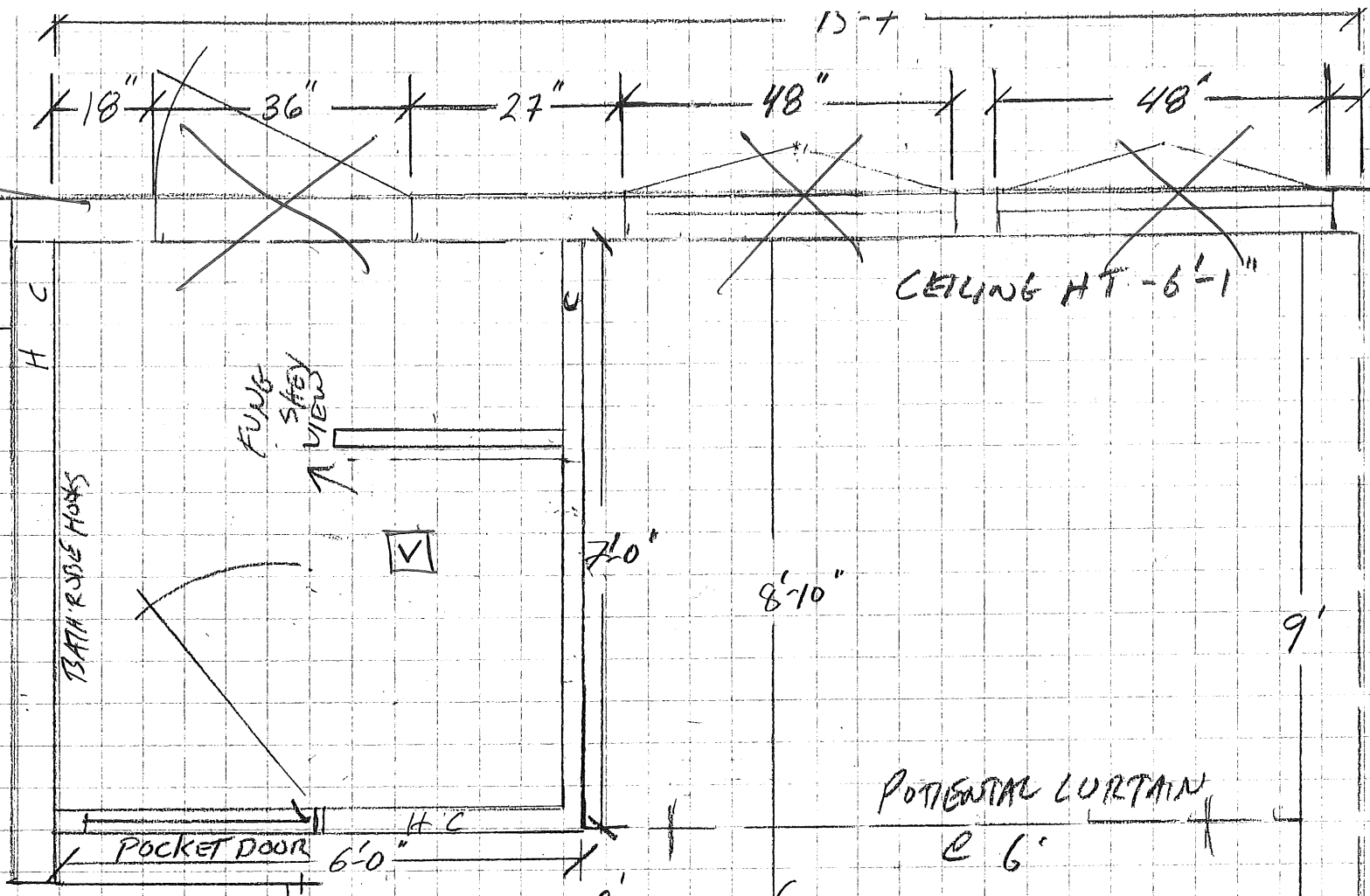
DRAWN BY: BOB GRAHAM

SCALE: NOT TO SCALE

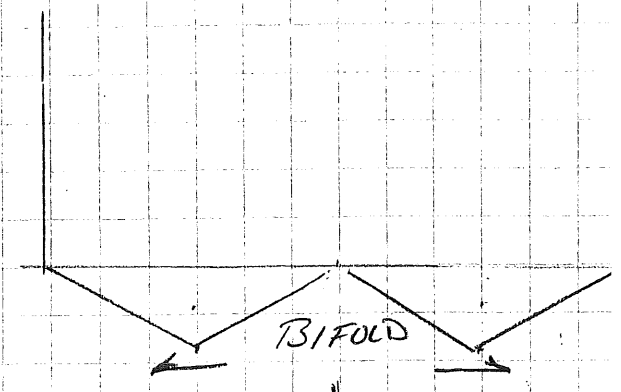
MARCH 2008

Fire Rated  
Exterior wall  
~~each~~ each side  
KNEE WALL

SCALE:    = 1



KNEE WALL

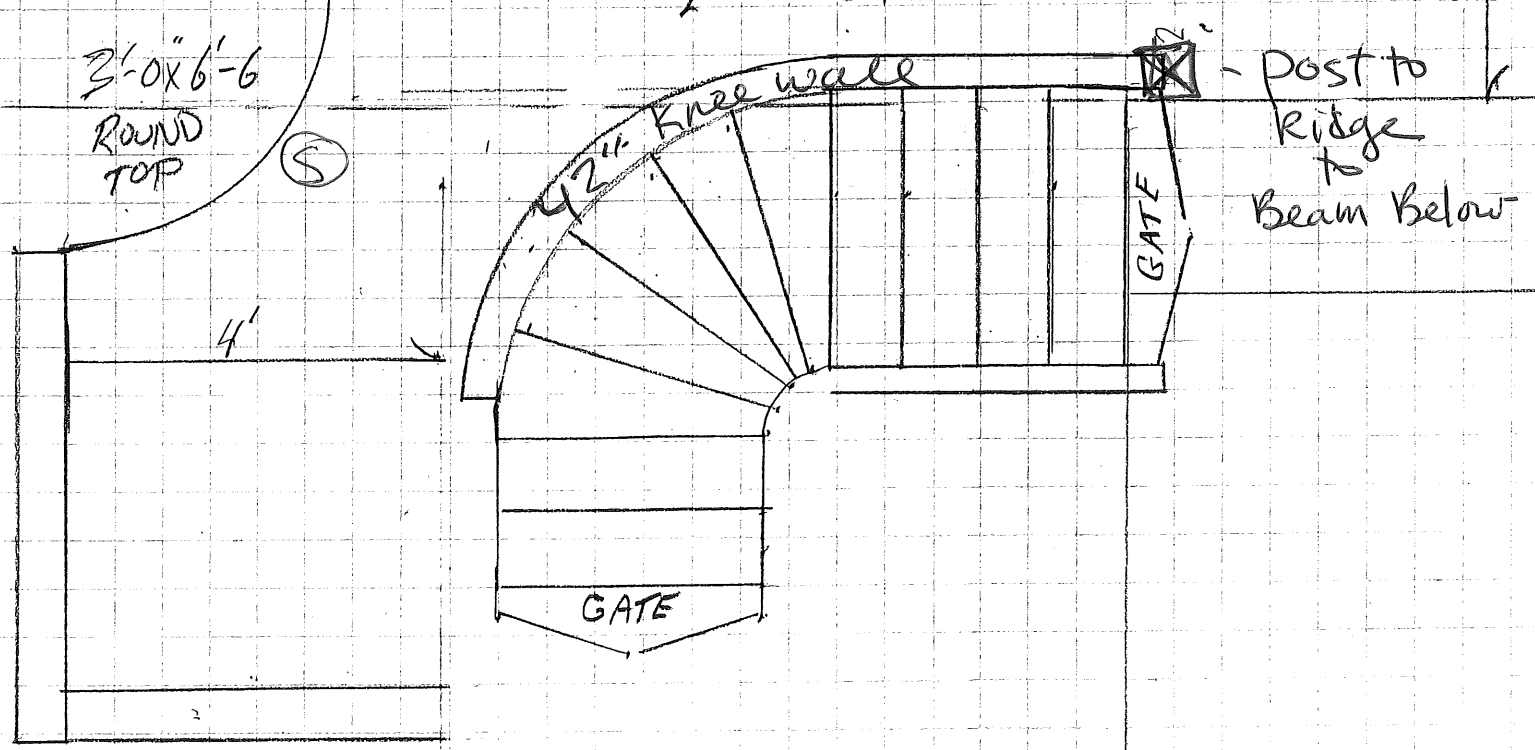


RIDGE HT = 6'-8"

(S)

RIDGE

3'-0" x 6'-6"  
ROUND TOP



15'-5"

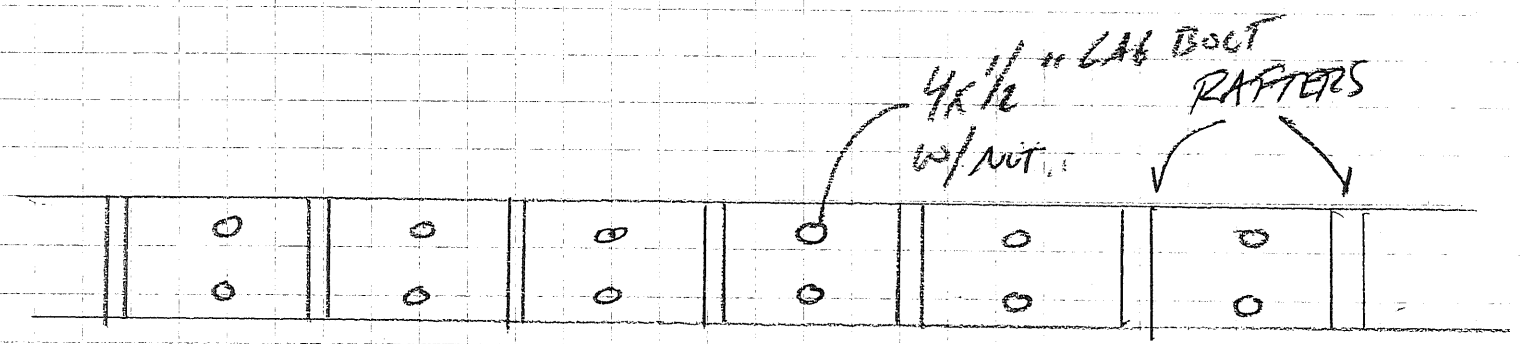
POSS WALL FOR VISUAL  
BLOCK OF DRESSING

15 & 17 WINTER ST  
REF. 44-H-6

KNEE WALL - ADD 6"

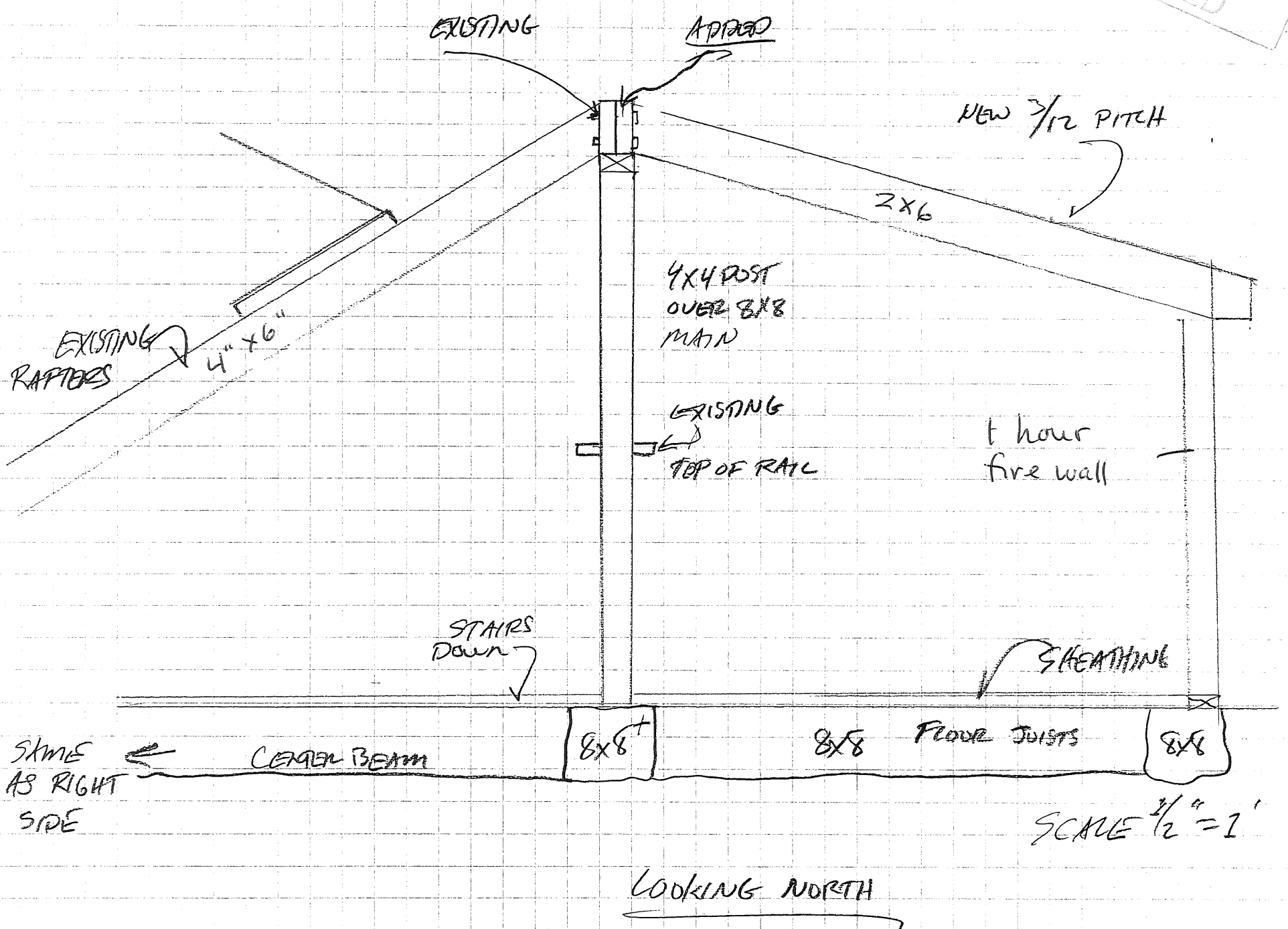
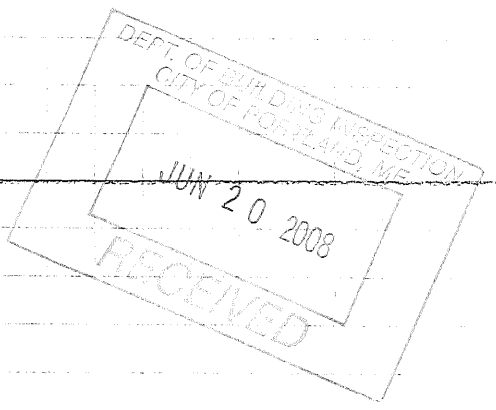
KNEE WALL - ADD 6"

RIDGE BEAM DETAIL  
 15 & 17 WINTER ST  
 PREP BY: BOB GRANA  
 6-21-08

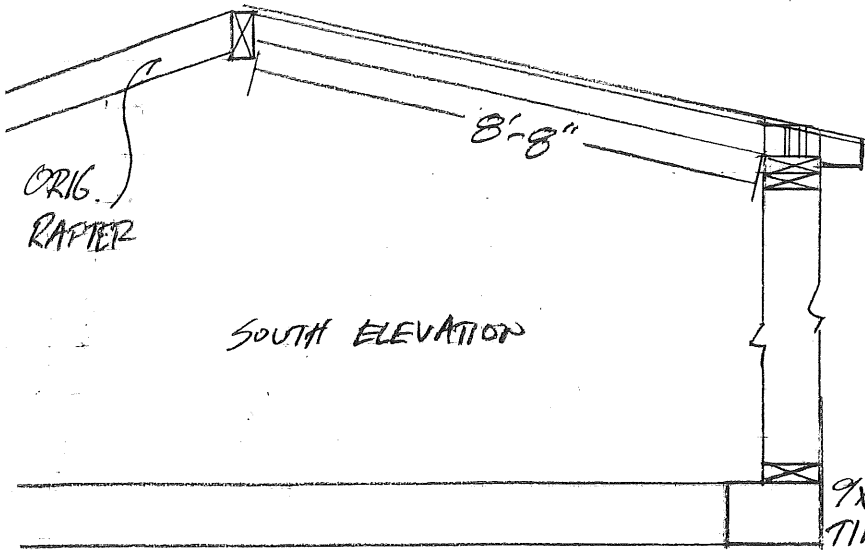


FRONT VIEW OF BUILT UP BEAM

NOT TO SCALE







DEFLECTION =  $\frac{\text{SPAN IN}^2}{360 \text{ OR } 240 \text{ OR } 180}$  REF: SPAN TABLES OF A.W.C. (SNOW LOAD,  $C_D = 1.15$ )

RAFTERS	LIVE LOAD (psf)	DEAD LOAD	DEFLECTION LIMIT
TABLE 2.2	50	20	240
SIZE		#1 S.Y.P.	#2 S.Y.P.
2x6	16.0"	10-7"	10-2"
2x6	19.2"	9-11"	9-4"

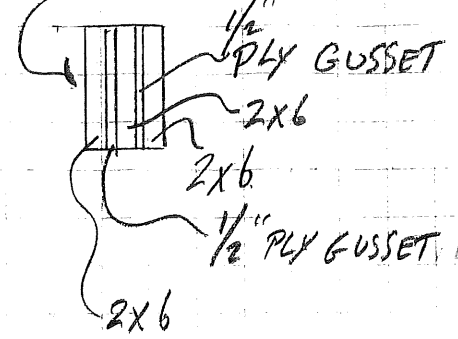
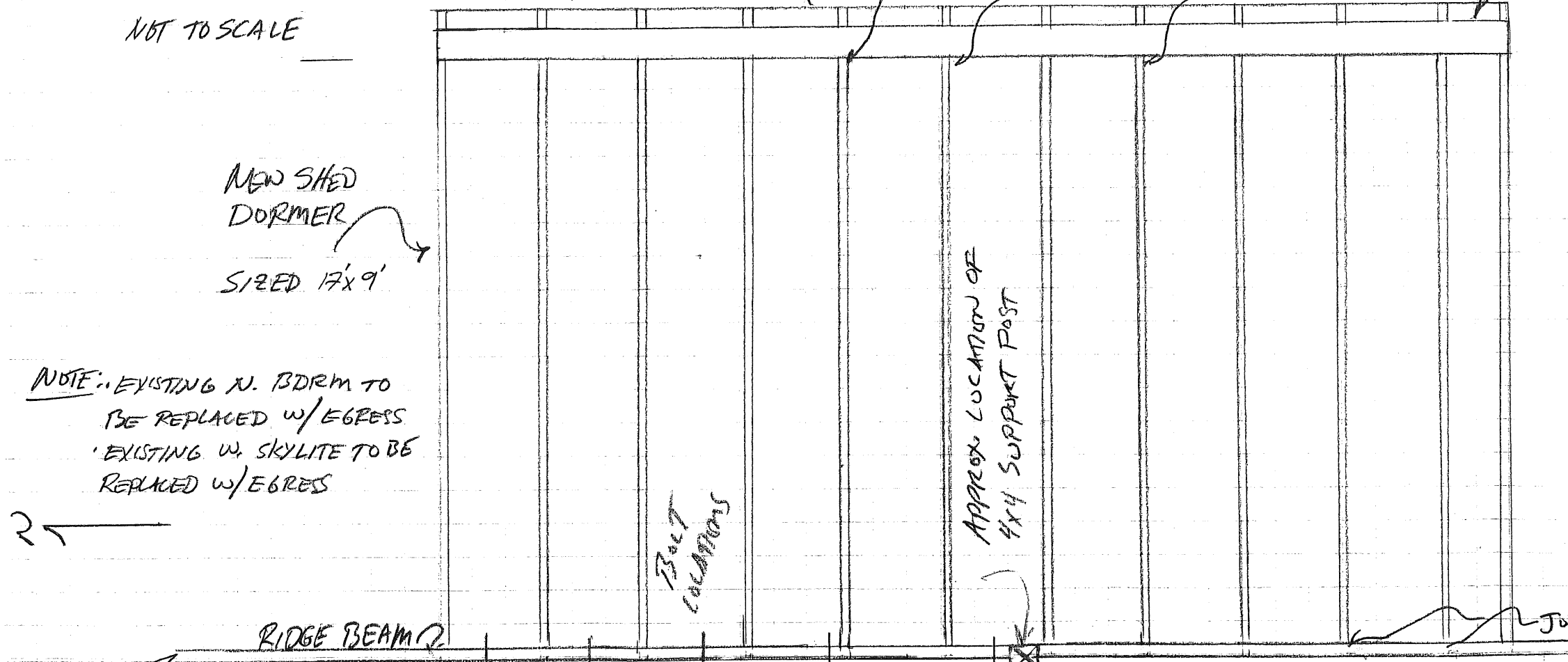
EXISTING SPAN IS 8'-8" +/- 1" INSIDE TO INSIDE OF BEARINGS

NOT TO SCALE

NEW SHED DORMER SIZED 17'x9'

NOTE: EXISTING N. BDRM TO BE REPLACED W/ EGRESS  
EXISTING W. SKYLITE TO BE REPLACED W/ EGRESS

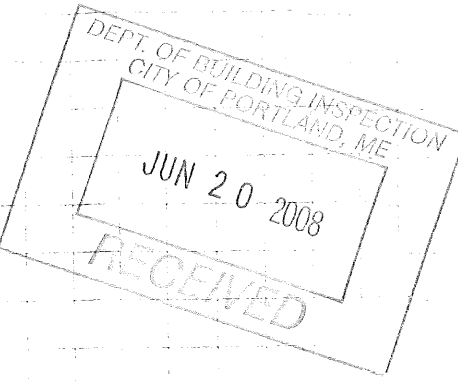
2



PITCH IS 3/12

SHEATHING: 3/4" ADVAANTECH GLUED/SCREWED W/ 8" SCREW PATTERN, TONGUE & GROOVE

INSULATION: K-WOOL REFRACTORY W/ NYLON ADDED 6-21 NETTING FOR RETAINMENT & SOFFIT VENTING



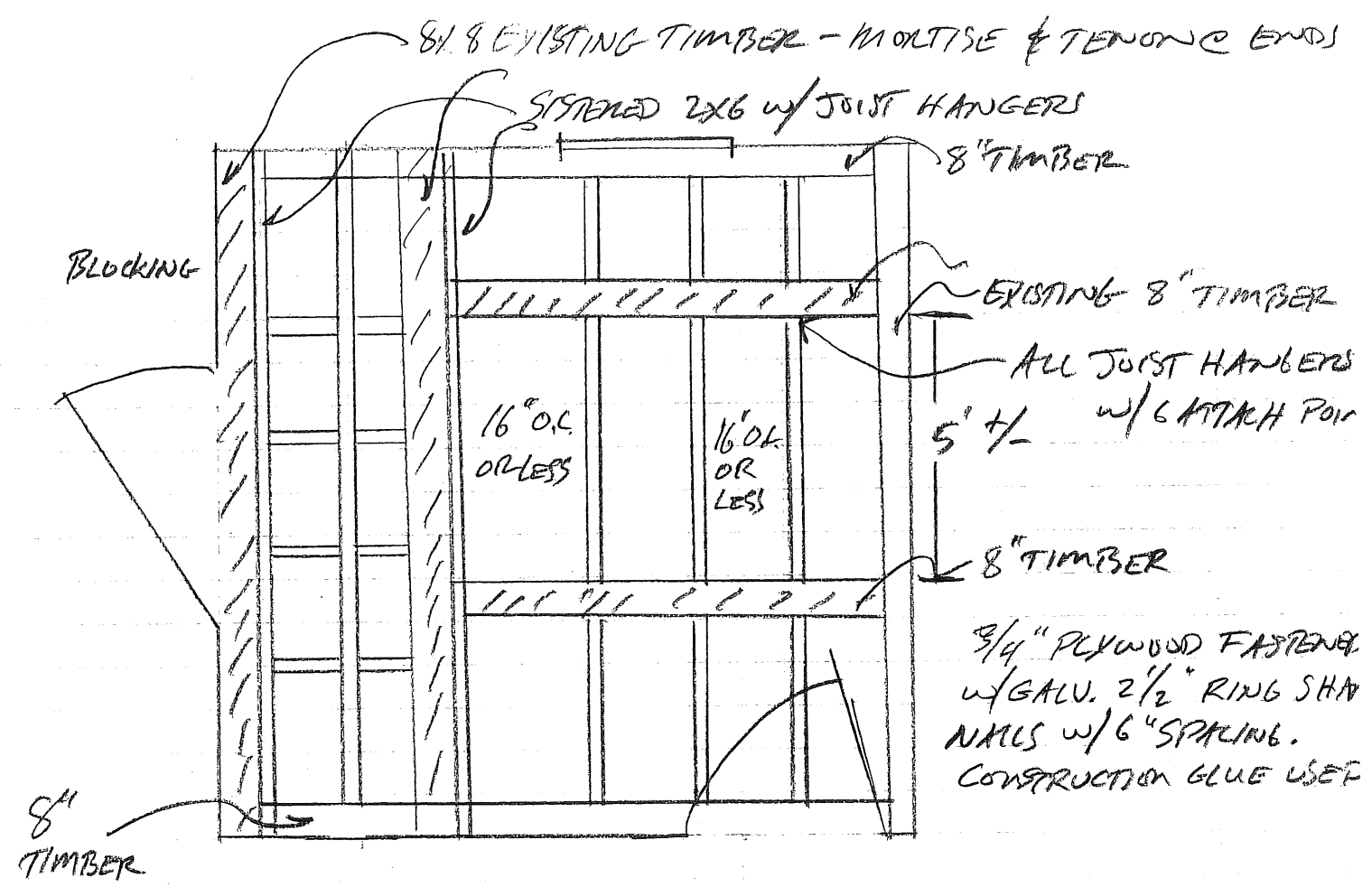
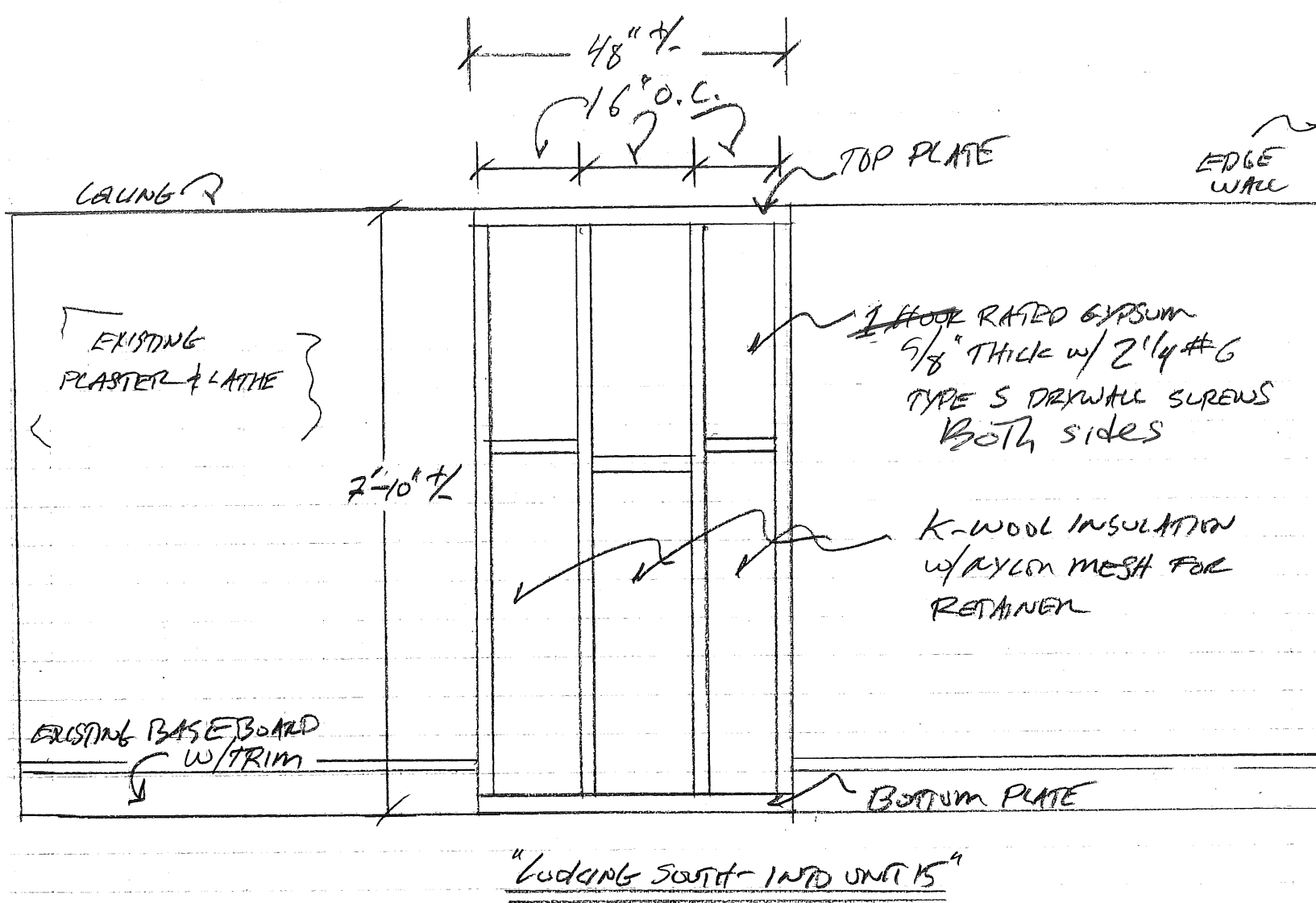
DBL 2x6 - BUILT UP BEAM W/ 4" x 1/2" BOLTS W/ NUTS.  
ORIGINAL ROOF

16" O.C OR BETTER  
4'x1/2" LAG BOLT W/ NUT

20-24" O.C. +/- 2"  
4x6 GROSS RAFTERS

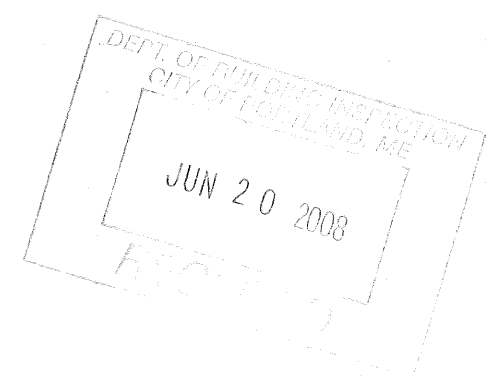
RIDGE BEAM DETAIL & SPANS FOR BARB & RON WARD 15 & 17 WINTER ST - PORTLAND 16 JUNE 2008 PREPARED BY BOB GRAHAM BOBS COASTAL CONTRACTING LLC

NOTE: 2-3 SKYLITES TO BE ADDED ONE SIDING IS FACTORED.



WALL DIAGRAM FOR 2ND FLOOR @ WINTER  
 SEPARATION WALL - SIZED 4x7-10 +/-  
 2nd FL Bedroom Fill in of door to separate  
 unit 15 & 17  
 SCALE 3/2" = 1'

hatched /// EXISTING 2ND FLOOR BATH @ 17 WINTER ST.  
 area  
 SCALE 1/2" = 1'



WARD RESIDENCE
15 & 17 WINTER ST - PORTLAND
21 JUNE 2008
PREPARED BY BOB GRAHAM
BOBS COASTAL CONTRACTING LLC