

44-H-4

2002-0115

34 Gray St.

St. Dominics Family Housing

PROP

on Spreadsheet

Att.
27

© 2002 TFH ARCHITECTS

CONDOMINIUM PLAT ST. DOMINIC'S CONDOMINIUM
 Declarant: St. Dominic's Housing Associates Limited Partnership
 And Irish Heritage Center
 PORTLAND, MAINE

TFH ARCHITECTS
 100 COMMERCIAL STREET
 PORTLAND MAINE 04101
 TELEPHONE 207 775 6141
 ARCHITECTURE PLANNING

CONSULTANTS:

REVISIONS:
 REV 1: 10/4/02

DATE: September 24, 2002
 PROJECT No. 0104
 DRAWN BY: CMM, CMB, CSC
 CHECKED BY: CMB
 SCALE: 1/8" = 1'-0"

SHEET TITLE:
 Site Plan

CON 1

LEGEND

- EXISTING BUILDING
- EXISTING BUILDING
- EXISTING EASEMENT
- PROPOSED EASEMENT OR LIMITED COMMON ELEMENT
- PROPERTY LINE
- PROPOSED EASEMENT LINES
- ADJACENT PROPERTIES LINES
- HOUSING UNIT PARKING

GENERAL NOTES

1. DECLARANT: ST. DOMINIC'S HOUSING ASSOCIATES LIMITED PARTNERSHIP (SDHALP) C/O PEOPLE'S REGIONAL OPPORTUNITY PROGRAM, 510 CUMBERLAND AVE., PORTLAND, ME 04102 AND IRISH HERITAGE CENTER (IHC), PO BOX 7588, PORTLAND, ME 04112-7588.
2. ARCHITECT: TFH ARCHITECTS, 100 COMMERCIAL ST., PORTLAND, ME 04101.
3. EASEMENTS: SUBJECT TO ALL EASEMENTS SHOWN ON THE PLANS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 192, PAGE 137 AND PLAN BOOK 194, PAGE 438.

SUBJECT TO DECLARATION OF CONDOMINIUM FOR ST. DOMINIC'S CONDOMINIUM OF EVEN OR NEAR DATE TO BE RECORDED HERewith ("THE DECLARATION")

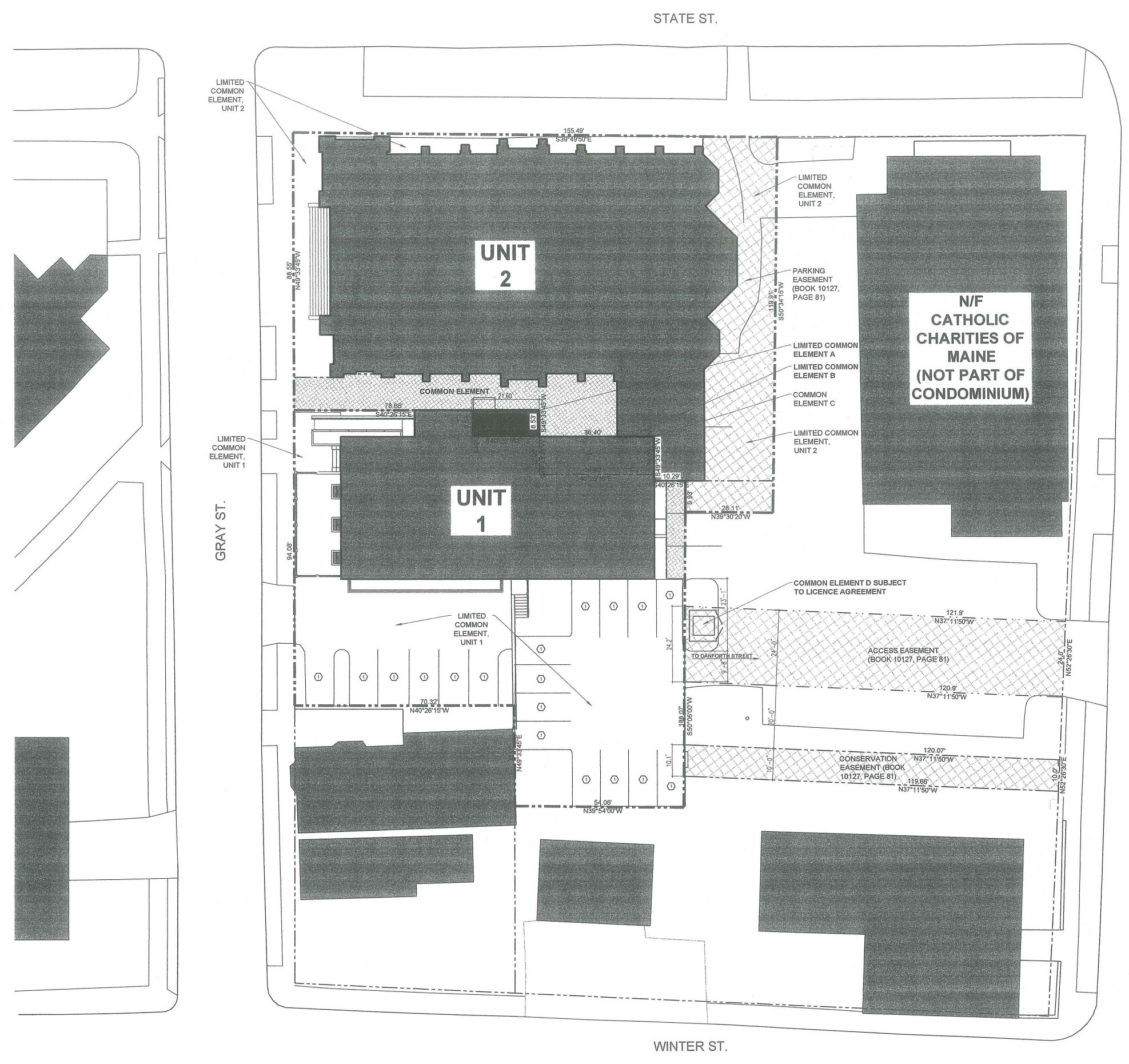
COMMON ELEMENT AND LIMITED COMMON ELEMENTS NOTES

LIMITED COMMON ELEMENT A: STAIR TOWER TO BE BUILT BY OWNER OF UNIT 1 SHALL BE A LIMITED COMMON ELEMENT FOR UNIT 1.

LIMITED COMMON ELEMENT B: THIS SPACE IS A LIMITED COMMON ELEMENT FOR UNIT 2 AND SHALL BE USED FOR STORAGE.

COMMON ELEMENT C: PARTY WALL EASEMENT FOR BOTH UNIT 1 AND UNIT 2; SEE DECLARATION.

COMMON ELEMENT D: AS NOTED ON PLAT PLAN



CONDOMINIUM PLAT ST. DOMINIC'S CONDOMINIUM
ST. DOMINIC'S HOUSING ASSOCIATES LIMITED PARTNERSHIP
AND IRISH HERITAGE CENTER
PORTLAND, MAINE



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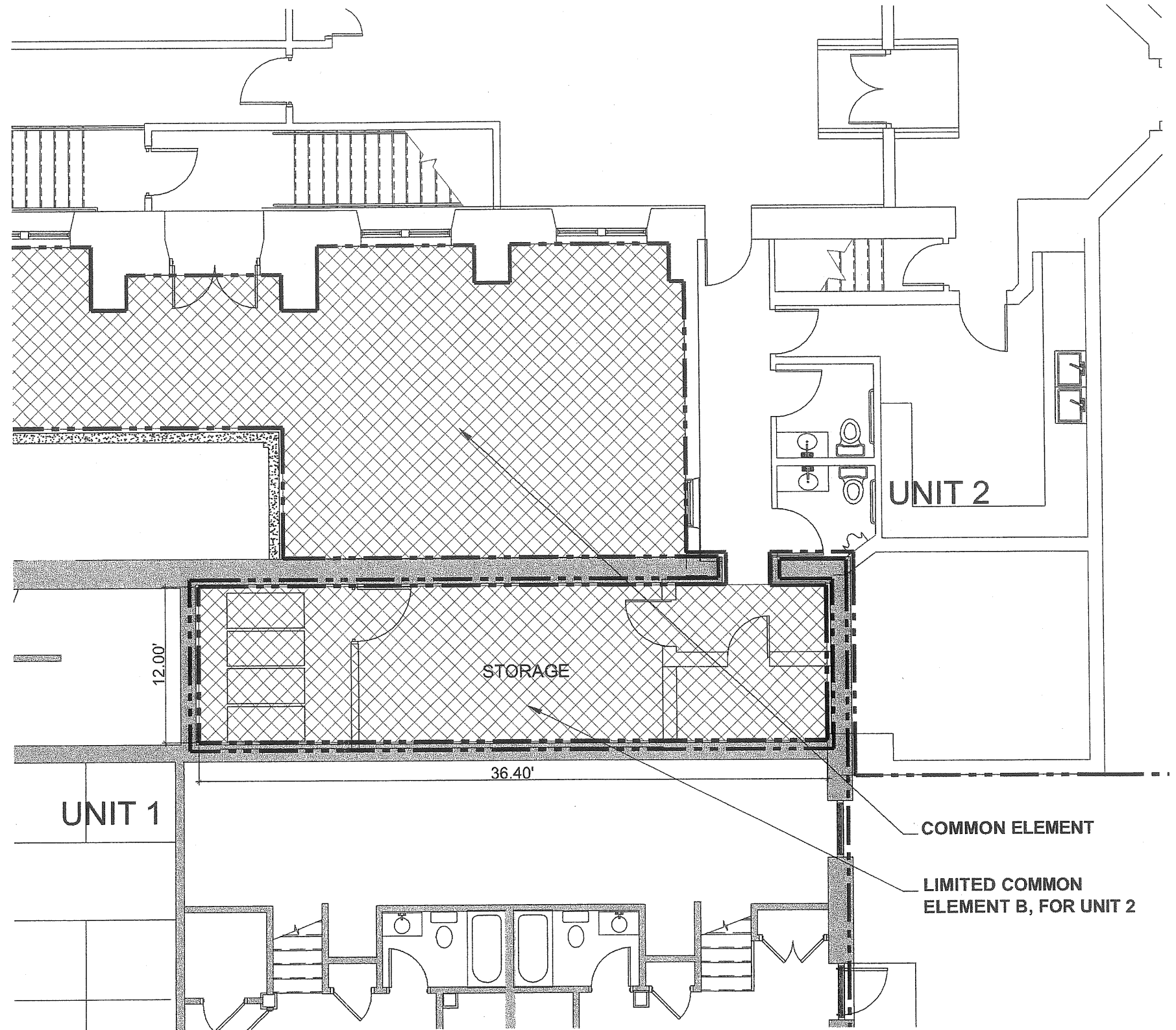
DRAWN BY: CMB, CSC

CHECKED BY: CSC

SCALE: 1/8" = 1'-0"

SHEET TITLE:
Partial Detail for
Condominium Plan

CON
2



CONDOMINIUM PLAT ST. DOMINIC'S CONDOMINIUM
ST. DOMINIC'S HOUSING ASSOCIATES LIMITED PARTNERSHIP
AND IRISH HERITAGE CENTER
PORTLAND, MAINE



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ARCHITECTURE PLANNING

CONSULTANTS:

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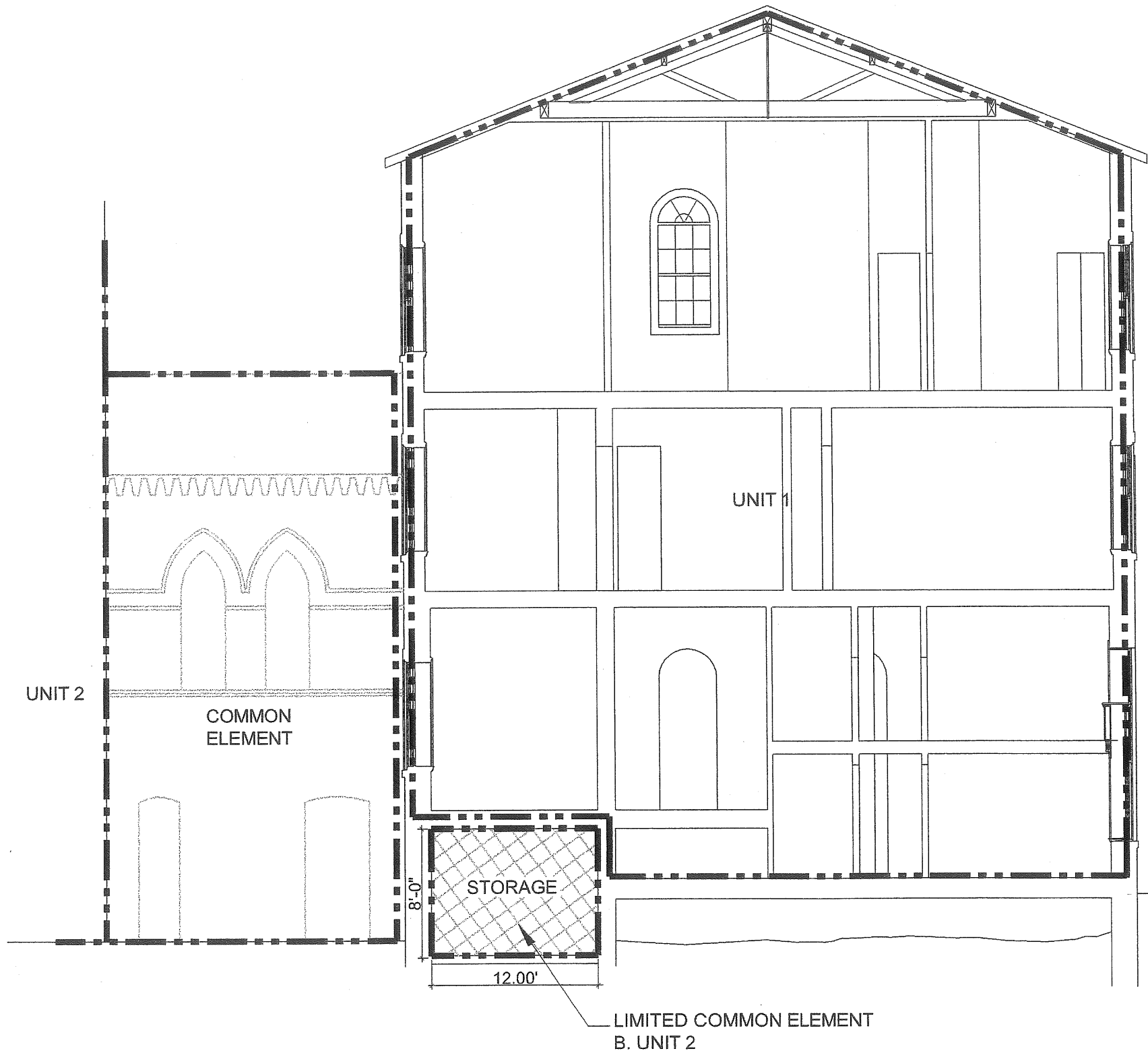
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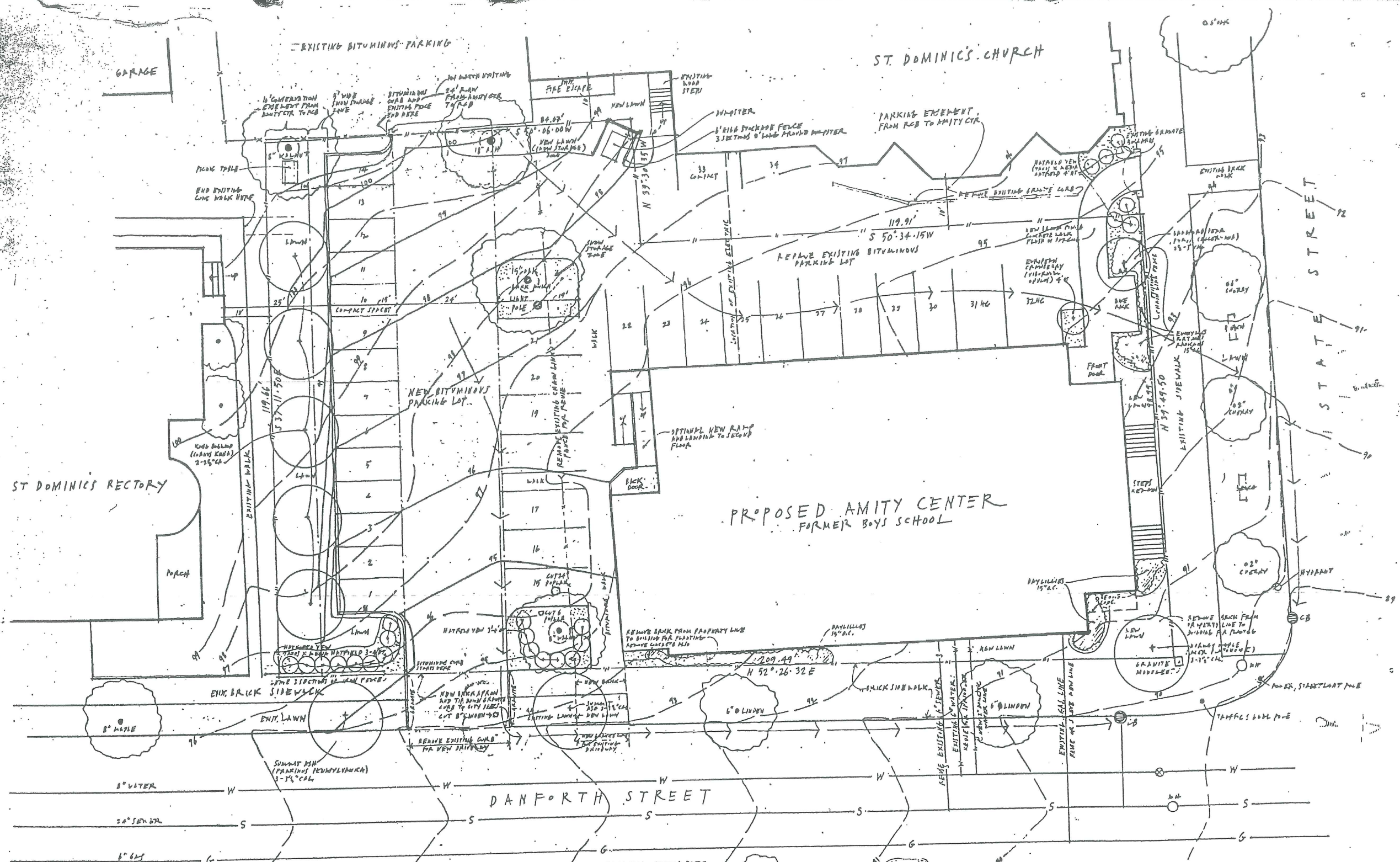
CHECKED BY: CMB

SCALE: 1/8" = 1'-0"

SHEET TITLE:
SECTION

CON
3





KEY: EXISTING PROPERTY LINE ———
 NEW PROPERTY LINE ———
 NEW RIGHT OF WAY LINE ———
 EXISTING CONTOUR ———
 NEW CONTOUR ———
 DIRECTION OF SITE DRAINAGE ———

PROTECT ALL EXISTING TREES WITH 6" DIA. STAKES AND FENCE AT EACH END WITHIN EXISTING TREE REMAINING EXISTING TREE TO BE CUT NEW TREE OR SHAUB

REMOVE BANK FROM PROPERTY LINE TO BUILDING FOR FOOTING REMOVE CURB AND ALSO REMOVE EXISTING CURB FOR NEW DRIVEWAY

LOT SIZE: 22,154 SF
 REQUIRED OPEN SPACE: 30% OF 22,154 SF = 6,646 SF
 ACTUAL OPEN SPACE CALCULATED: 4560 SF

Conversion of the former St. Dominics Boys School for
Amity Center
 66 State St., Portland, Maine 04101

Van Dam and Renner Architects:
 66 West Street, Portland, Maine 04102
 207-775-0443 Fax: 207-775-2892



Civil Engineering:
 SJR Engineering
 21 Mayflower Road, Augusta, Maine 04430
 207-622-1676

Site Plan

Scale: 1" = 10' Date: 11/26/91 Revised:

**CITY OF PORTLAND
SITE PLAN AND SUBDIVISION NOTES**

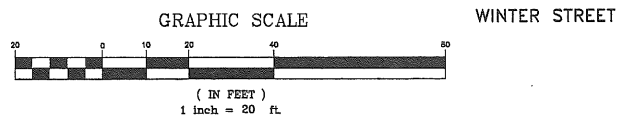
- LANDSCAPING SHALL MEET THE "ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE "CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES".
- THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION: TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION, AND SURFACING OF PARKING AREAS AND LOCATION AND SIZE OF BUILDINGS.
- SEE PLAN FOR INSTALLATION OF POWERLINE UTILITIES, OVERHEAD OR UNDERGROUND.
- SIDEWALKS AND CURBING SHALL BE DESIGNED AND BUILT WITH TIPDOWN RAMPS AT ALL STREET CORNERS, CROSSWALKS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED IN ACCORDANCE WITH "MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES" PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. (NOTE: THE SITE PLAN SHOULD SPECIFY THE EROSION CONTROL DEVICE TO BE EMPLOYED; SILT FENCE, HAY BALE, ETC. AS WELL AS THEIR LOCATION.)
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
- ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES (SEE ABOVE).
- PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME THE SITE/BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.
- ALL UTILITY SERVICE CONNECTIONS PROPOSED WITHIN CITY STREETS ARE TO BE INSPECTED BY THE INDIVIDUAL UTILITY COMPANIES AND THE CITY OF PORTLAND WHERE APPLICABLE.
- "SUBDIVISION SHALL MEAN THE DIVISION OF A LOT, TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE LOTS, INCLUDING LOTS OF FORTY (40) ACRES OR MORE, WITHIN ANY FIVE-YEAR PERIOD WHETHER ACCOMPLISHED BY SALE, LEASE, DEVELOPMENT, BUILDINGS OR OTHERWISE AND AS FURTHER DEFINED IN 30-A M.R.S.A. SECTION 4401. THE TERM "SUBDIVISION" SHALL ALSO INCLUDE THE DIVISION OF A NEW STRUCTURE OR STRUCTURES ON A TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD AND THE DIVISION OF AN EXISTING STRUCTURE OR STRUCTURES PREVIOUSLY USED FOR COMMERCIAL OR INDUSTRIAL USE INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD. THE AREA INCLUDED IN THE EXPANSION OF AN EXISTING STRUCTURE IS DEEMED TO BE A NEW STRUCTURE FOR THE PURPOSE OF THIS PARAGRAPH. A DWELLING UNIT SHALL INCLUDE ANY PART OF A STRUCTURE WHICH, THROUGH SALE OR LEASE, IS INTENDED FOR HUMAN HABITATION, INCLUDING SINGLE-FAMILY AND MULTIFAMILY HOUSING CONDOMINIUMS, TIME-SHARE UNITS AND APARTMENTS."

PLAN REFERENCES

- PLAN MADE BY H.I. & E.C. JORDAN, FILE NO. 112 DATED 1924 AND 1911
- SEE DEED REFERENCE #8
"A" ST. DOMINIC'S CHURCH LOT
"B" AMITY CENTER LOT
"C" RECTORY
- PLAN MADE BY OWEN HASKELL, INC., DATED AUGUST 22, 1991, REVISED 5/3/02 "LAND TITLE SURVEY OF AMITY CENTER LOT, 66 STATE STREET, PORTLAND, MAINE, MADE FOR THE ALLIANCE FOR THE MENTALLY ILL OF GREATER PORTLAND, 12 CEDAR ST., PORTLAND, MAINE STANDARD BOUNDARY SURVEY OF THE ST. DOMINIC'S CHURCH LOT, RECORD OWNER, THE ROMAN CATHOLIC BISHOP OF PORTLAND, A CORPORATION SOLE, 510 OCEAN AVENUE, PORTLAND, MAINE."

DEED REFERENCES

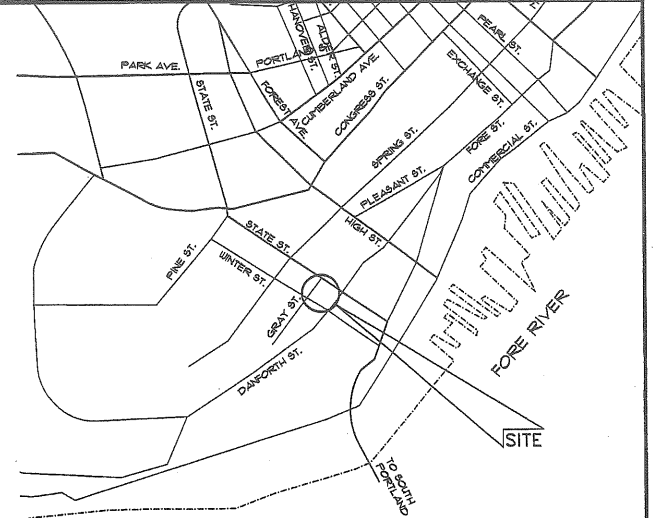
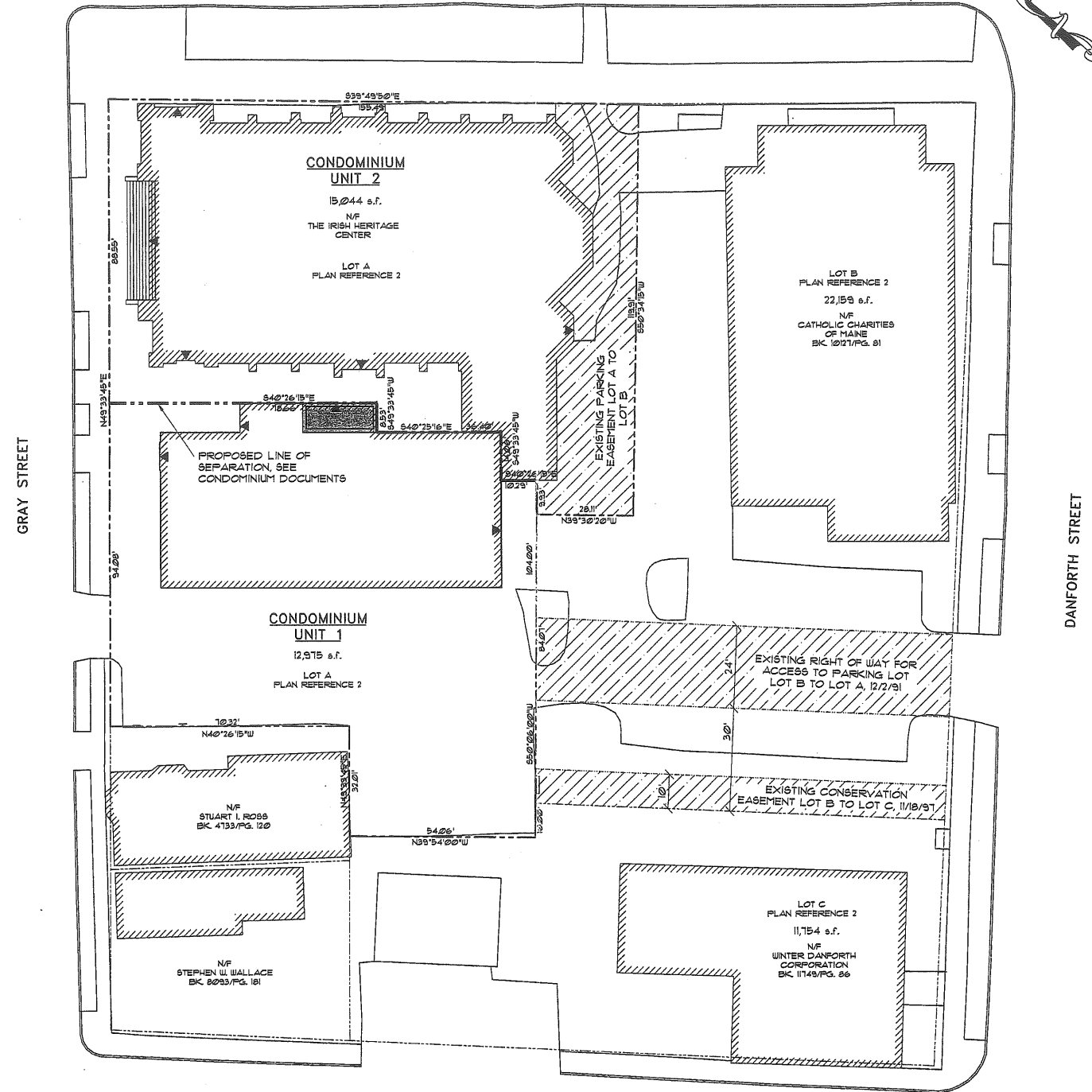
- 297/46 JOHN B. FITZPATRICK TO DAVID W. BACON, OCT. 21 1865.
- 334/72 ROBERT EVANS TO RT. REV. DAVID W. BACON, MAY 6, 1865.
- 428/304 GEORGE W. NICHOLS TO JAMES AUGUSTINE HEALY, APRIL 12, 1867.
- 557/78 JAMES AUGUSTINE HEALY TO THE ROMAN CATHOLIC BISHOP OF PORTLAND, A CORPORATION CREATED BY THE ACT OF THE LEGISLATURE OF THE STATE OF MAINE APPROVED BY THE 23rd DAY OF FEBRUARY, 1887. CONVEYING EVERYTHING BEFORE FEBRUARY 1887 TO THE ROMAN CATHOLIC BISHOP OF MAINE.
- 615/175 EBEN HARMON TO THE RCB/P, JULY 11 1894.
- 1123/353 PHINEHAS VARNUM STEPHENS TO THE RCB/P, DEC. 9, 1922.
- 1643/416 ELIAS THOMAS ESTATE TO THE RCB/P, JULY 17, 1941
- PLAN BOOK 192/131 RCB/P TO THE ALLIANCE FOR THE MENTALLY ILL OF GREATER PORTLAND, JUNE 22, 1992, THE PLAN HAS BEEN REVISED, THE REVISION OF 1/18/93 OF THE PLAN IS TO BE A RECORD PART OF THE SALE OF THE RECTORY LOT.



ZONING REQUIREMENTS

- ZONE R6: RESIDENTIAL ZONE
PERMITTED USES: RESIDENTIAL USES PERMITTED IN THE R6 ZONE THAT COMPLY WITH THE FOLLOWING DIMENSIONAL REQUIREMENTS:
- | | |
|---------------------------------|------------------------|
| 1. MINIMUM LOT SIZE: | 4,500 S.F. |
| 2. MINIMUM STREET FRONTAGE: | 40 FEET |
| 3. MINIMUM YARD DIMENSIONS: | |
| FRONT YARD: | 10 FEET |
| REAR YARD: | 20 FEET |
| SIDE YARD: 4 STORY BUILDING: | 12 FEET |
| 4. MAXIMUM LOT COVERAGE: | 50% |
| 5. MINIMUM LOT WIDTH: | 50 FEET |
| 6. MAXIMUM STRUCTURE HEIGHT: | 45 FEET |
| 7. OPEN SPACE RATIO: | 20% |
| 8. MAXIMUM RESIDENTIAL DENSITY: | 60 DWELLING UNITS/ACRE |
| 9. MAXIMUM BUILDING HEIGHT: | 65 FEET |
- PARKING: 1 1/2 PARKING SPACES PER DWELLING UNIT - FOR RENOVATION OF EXISTING BUILDING

STATE STREET



LOCATION PLAN
GENERAL NOTES

- SCALE: 1"=150'±
- OWNER/ DEVELOPER: SAINT DOMINIC'S HOUSING LIMITED PARTNERSHIP, 510 CUMBERLAND AVENUE, PORTLAND, MAINE 04101.
 - ARCHITECT: TFH ARCHITECTS, PORTLAND, MAINE.
 - ENGINEER: PINKHAM & GREER CONSULTING ENGINEERS, FALMOUTH, MAINE.
 - TOPOGRAPHY TAKEN FROM CITY OF PORTLAND AERIAL PHOTOGRAPHY. ELEVATIONS ARE BASED CITY DATUM.
 - BOUNDARY INFORMATION BY OWEN HASKELL, PORTLAND, MAINE, SEE DEED REFERENCE #8.
 - SEE "CONDOMINIUM PLAN" BY TFH ARCHITECTS, PORTLAND MAINE FOR EASEMENT DESCRIPTION.
 - LANDSCAPE DESIGN BY TFH ARCHITECTS, PORTLAND, MAINE.
 - ZONE: R-6, RESIDENTIAL.
 - TAX MAP REFERENCE: MAP 44, BLOCK H, LOTS 4.
 - TOTAL LOT SIZE: 28,019 s.f.
UNIT 1 AREA: 12,915 s.f.
UNIT 1 BUILDING FOOTPRINT: 4,970 s.f.
UNIT 1 BUILDING FOOTPRINT AS % OF UNIT 1 AREA: 38 %
PARKING: 19 SPACES
 - NO OPEN SPACE OR PUBLIC USE AREAS ARE INCLUDED IN THIS SUBDIVISION.
 - LOT TO BE SERVICED BY EXISTING PUBLIC GAS, SEWER AND WATER.
 - TRASH WILL BE STORED IN THE ENCLOSURE OUTDOORS FOR COLLECTION BY PROP PERSONNEL.
 - SOILS AS SHOWN IN "SOIL SURVEY CUMBERLAND COUNTY, MAINE" PUBLISHED BY SOILS CONSERVATION SERVICE ARE CLASSIFIED AS HINCKLEY.
 - THIS PROJECT IS THE CONVERSION OF A LOT INTO 2-CONDOMINIUM UNITS AND THE SUBDIVISION OF UNIT 1, 12,915 s.f. OF LAND, INTO 12 RESIDENTIAL UNITS.
 - OWNER IS TO REMOVE SNOW AS NEEDED.
 - CALL DIG-SAFE (1-800-225-4917) PRIOR TO BEGINNING WORK.

LEGEND

EXISTING	PROPOSED
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SUBDIVISION PLAN, APPROVED BY THE CITY OF PORTLAND PLANNING BOARD

DATE _____

	1	9/3/02	REVISED PARKING & DUMPSTER LOCATION	
	REV.	DATE	DESCRIPTION	
	OWNER: SAINT DOMINIC'S HOUSING LIMITED PARTNERSHIP 510 CUMBERLAND AVE. PORTLAND ME SAINT DOMINIC'S CONDOMINIUM GRAY STREET, PORTLAND, MAINE			
	PINKHAM & GREER CONSULTING ENGINEERS, INC. FALMOUTH, MAINE			
SUBDIVISION PLAN			C1	
SCALE:	AS SHOWN	DRN BY:		JDC
DATE:	JULY 2, 2002	DESG BY:		TSG
PROJECT:	02154	CHK BY:	TSG	

PLOT DATE: 2-7-02
FILE SCALE: 1"=1
CAD FILE: 01403

REV.	DATE	DESCRIPTION
1	5/3/02	REVISED PARKING & UTILITIES LOCATION

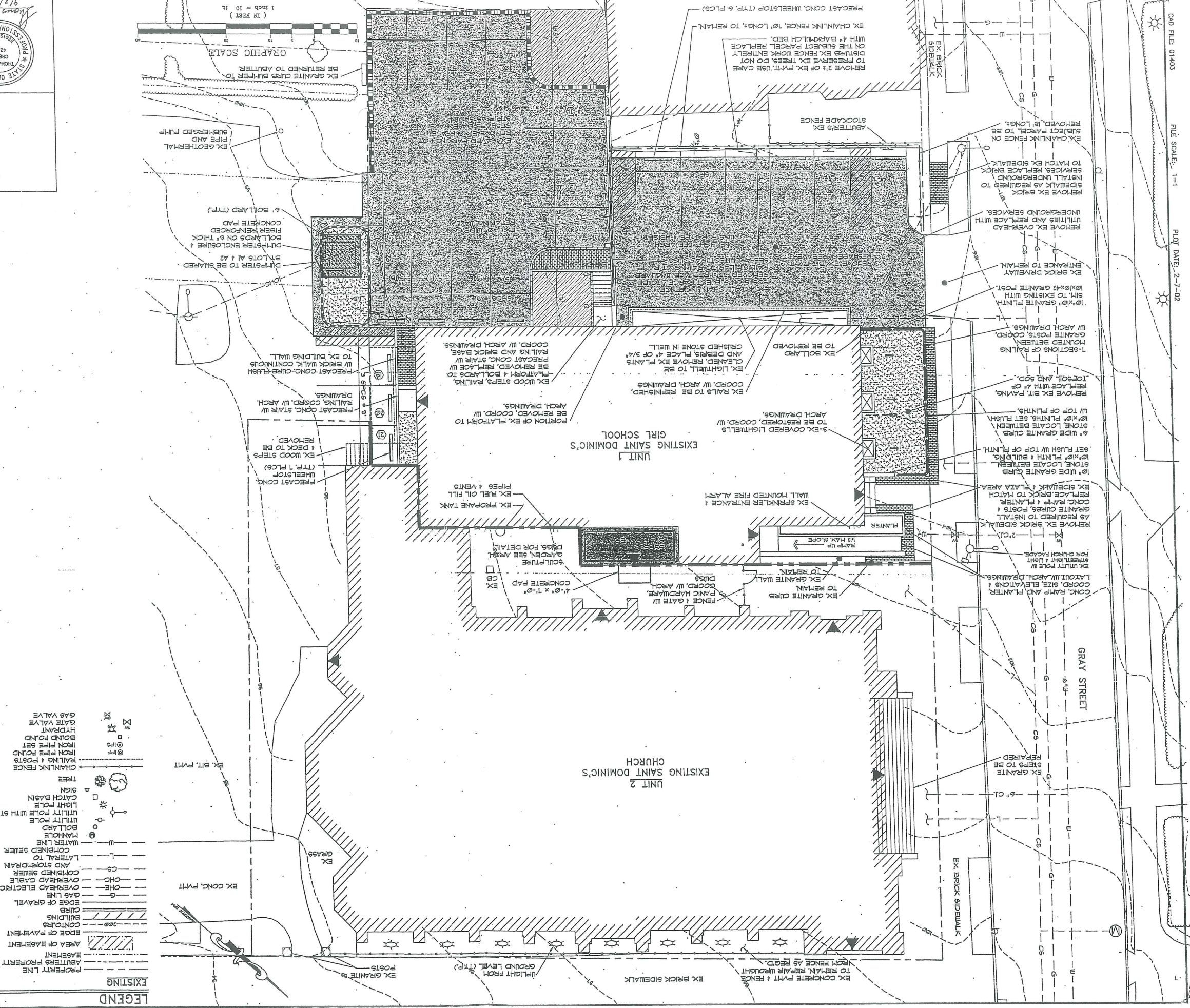
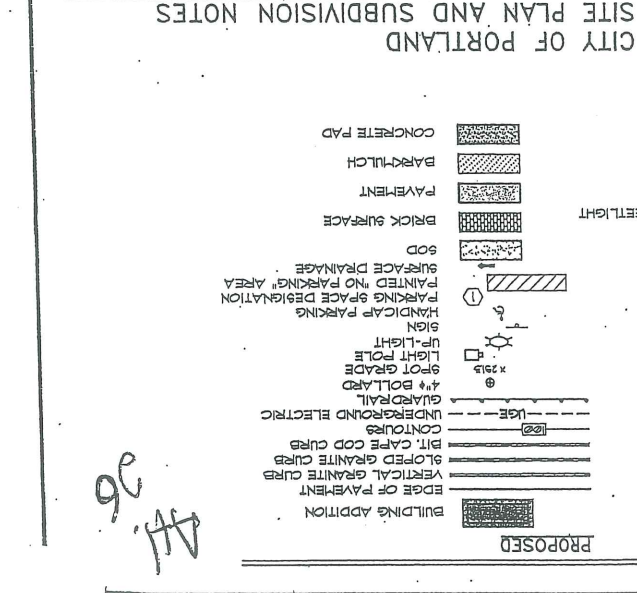
OWNER: SAINT DOMINIC'S HOUSING LIMITED PARTNERSHIP
510 CUMBERLAND AVE. PORTLAND ME
SAINT DOMINIC'S CONDOMINIUM
GRAY STREET, PORTLAND, MAINE

CONSULTING ENGINEERS, INC.
PINKHAM & GREER
100 STATE STREET, PORTLAND, ME 04101
PHONE: 855-2333
FAX: 855-2333

SCALE: AS SHOWN
DRN BY: JDC
DESIGN BY: TSG
DATE: JULY 2, 2002
CHK BY: TSG
PROJECT: 02154



- CITY OF PORTLAND SITE PLAN AND SUBDIVISION NOTES**
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 3. SEE PLAN FOR INSTALLATION OF POWERLINE UTILITIES, OVERHEAD OR UNDERGROUND.
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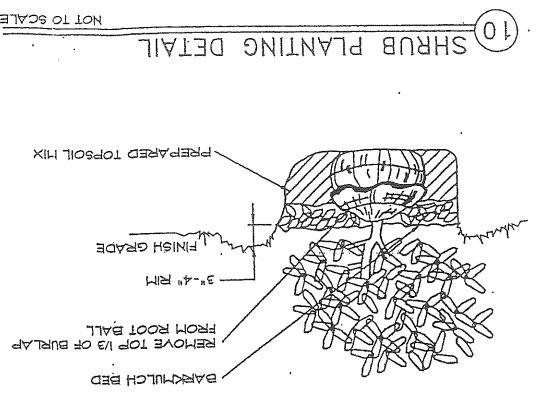
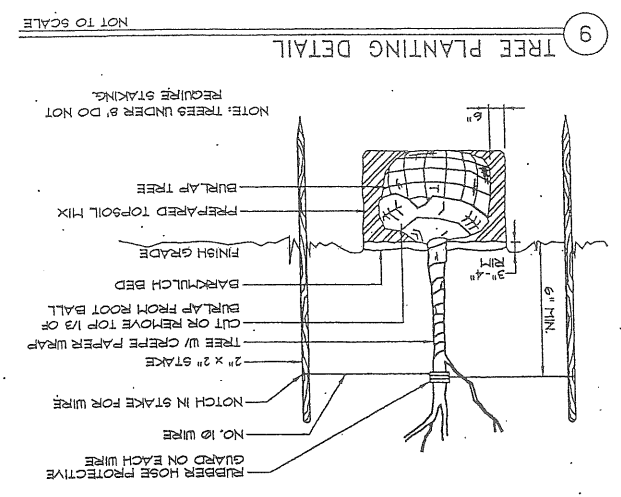
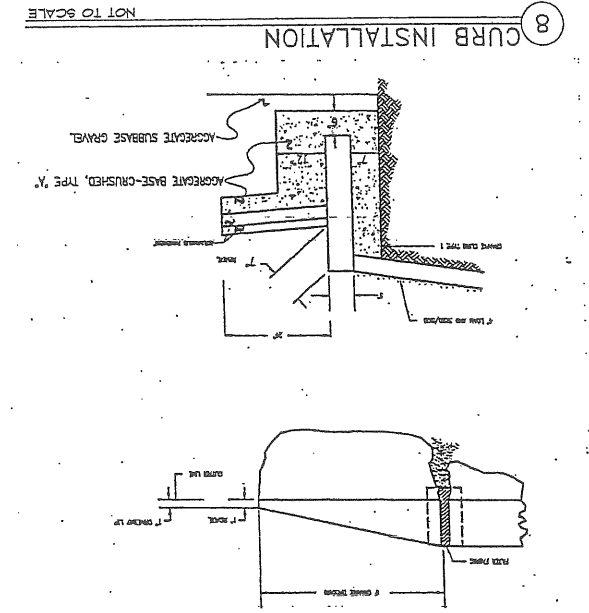
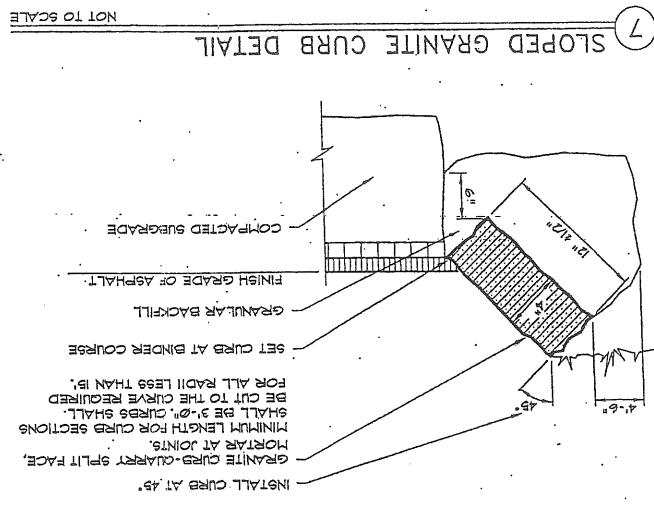
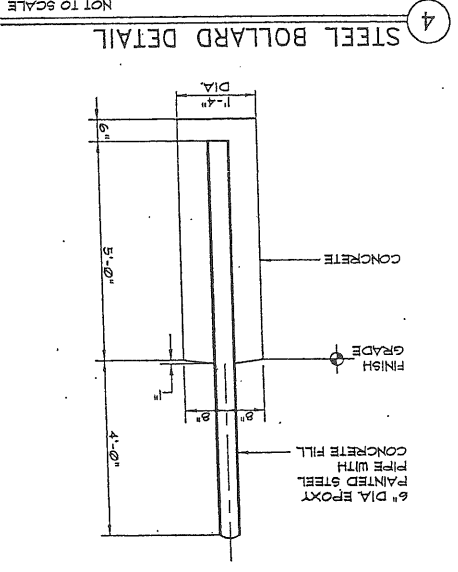
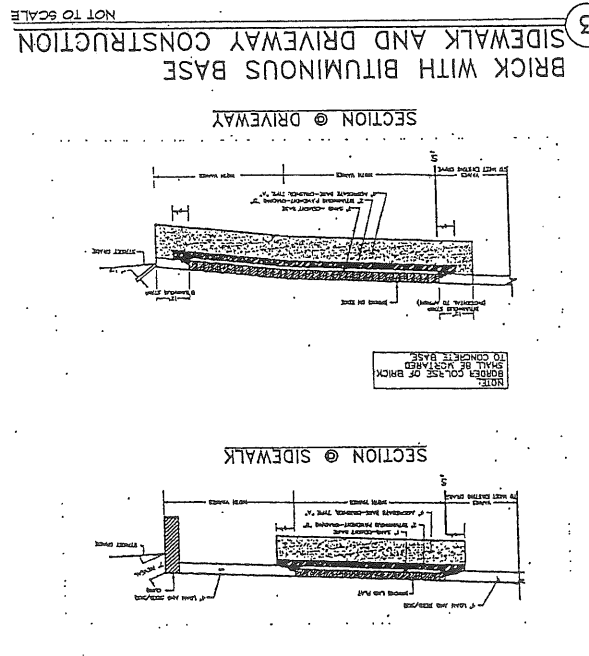
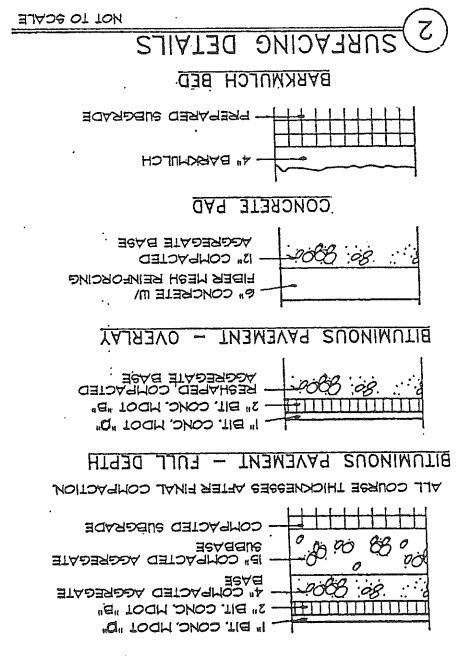
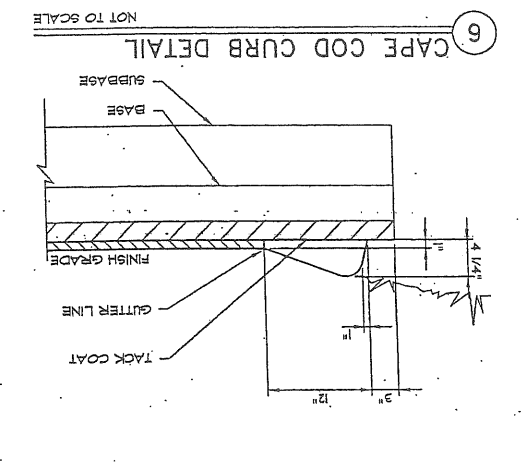
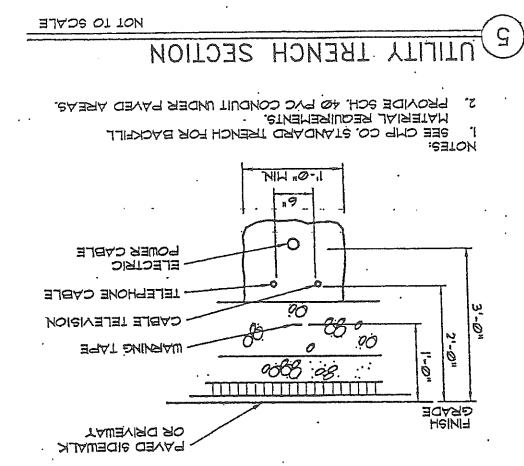
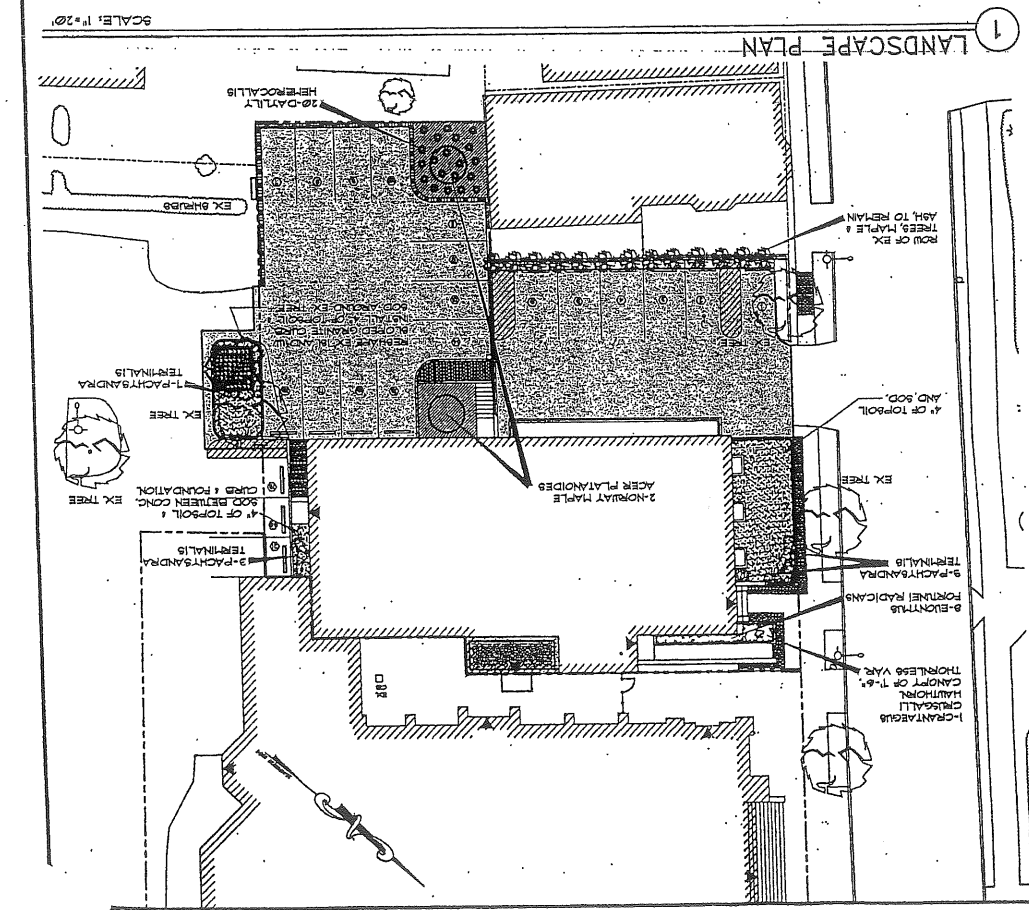
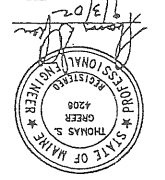
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FILE SCALE: 1=1
PLOT DATE: 2-7-02

44.36

OWNER: SAINT DOMINIC'S HOUSING LIMITED PARTNERSHIP
 510 CUMBERLAND AVE. PORTLAND ME
 SAINT DOMINIC'S CONDOMINIUM
 GRAY STREET, PORTLAND, MAINE
 PINKHAM & GREER
 CONSULTING ENGINEERS, INC.
 LANDSCAPE PLAN AND SITE DETAILS

SCALE: AS SHOWN
 DATE: JULY 2, 2002
 CHK BY: TSG
 PROJECT: 02154

REV. DATE DESCRIPTION
 1 9/3/02 REVISED PARKING & DUMPSTER LOCATION



AS-1

DATE: August 27, 2002
PROJECT NO.: 0104
DRAWN BY: CMJ, CMH
CHECKED BY: CMH
SCALE: 1/8" = 1'-0"
SHEET TITLE: Landscape Details

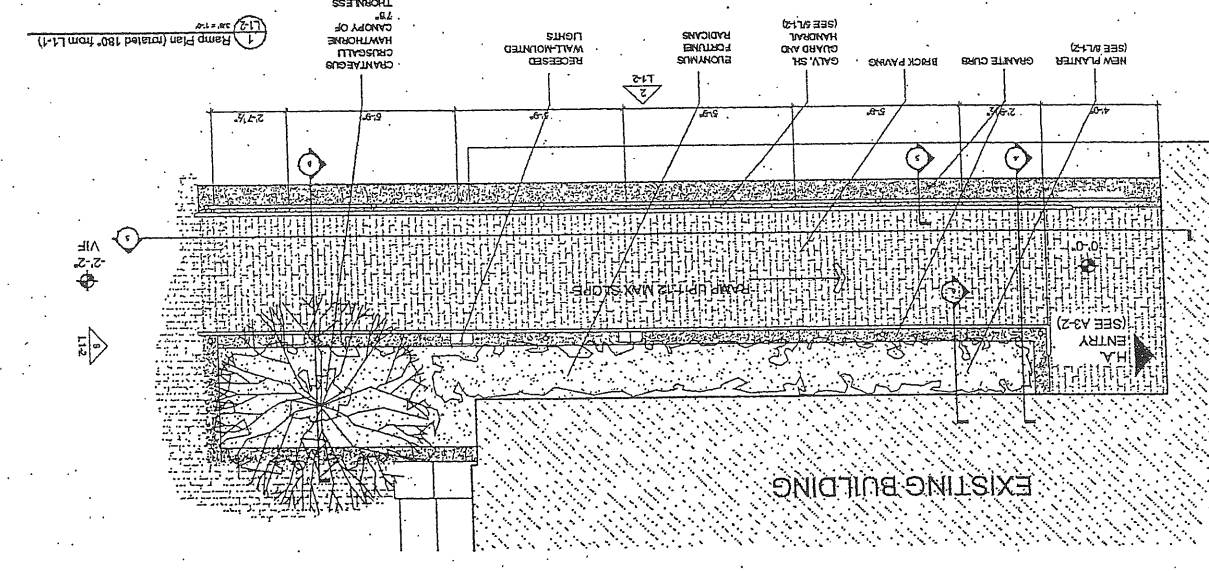
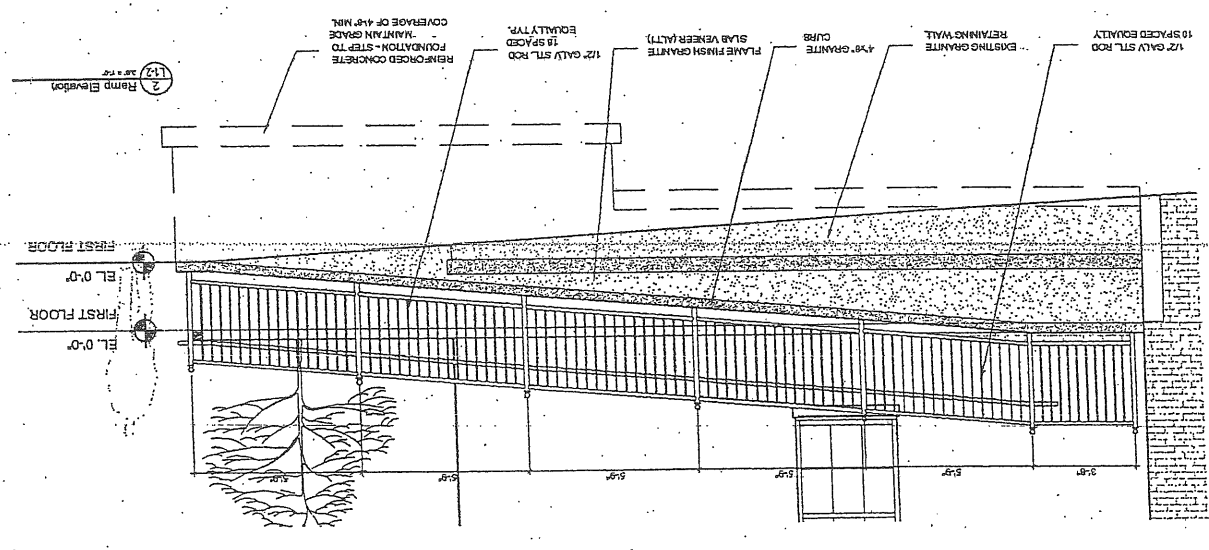
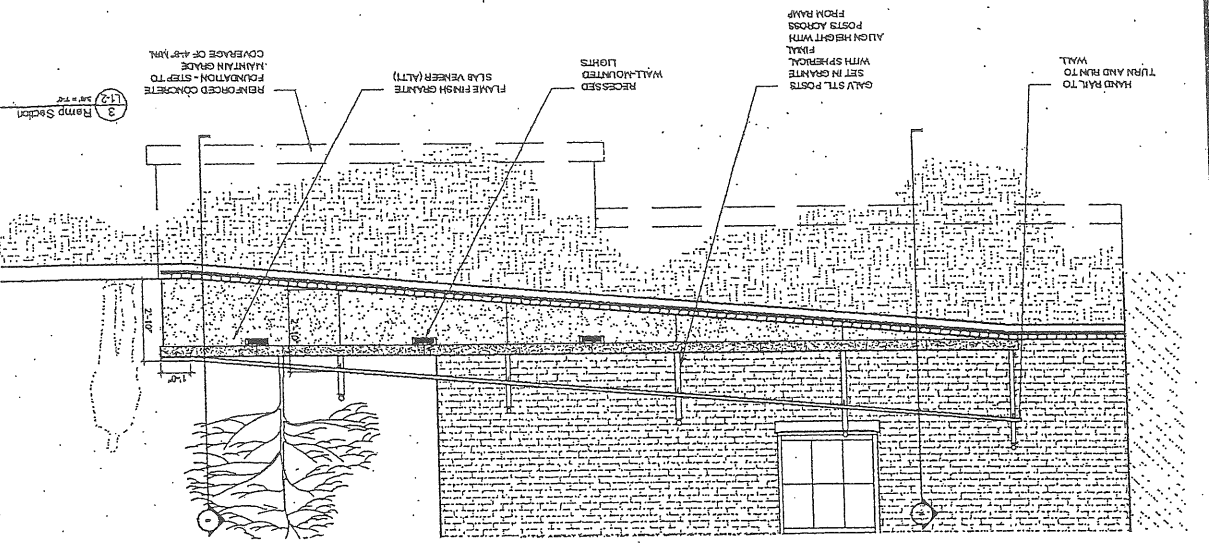
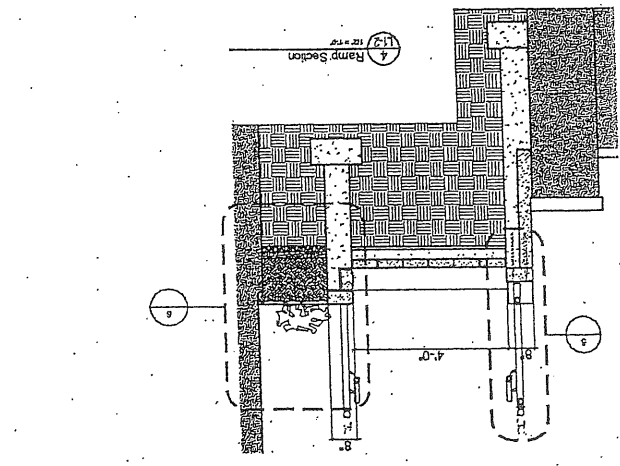
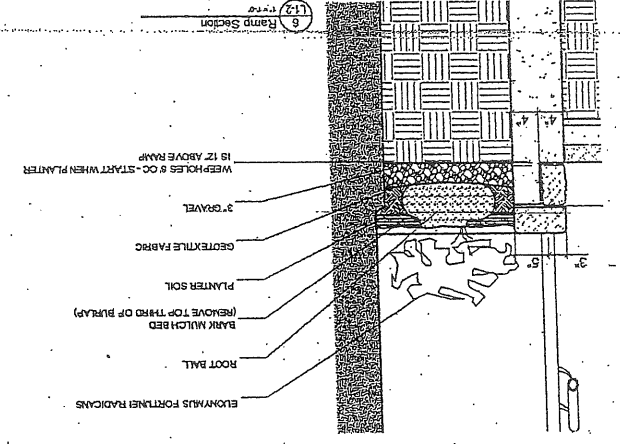
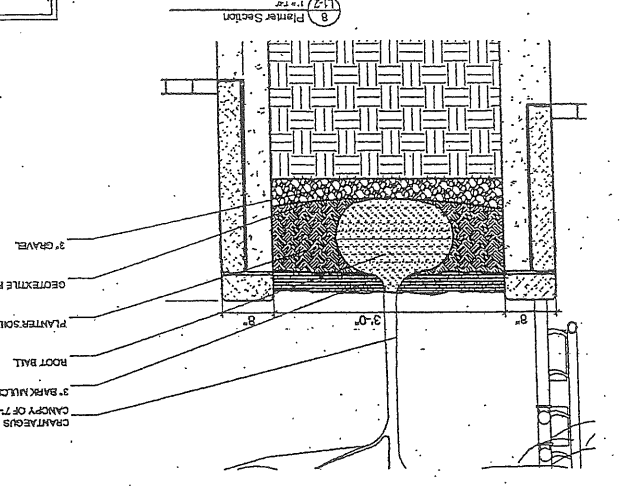
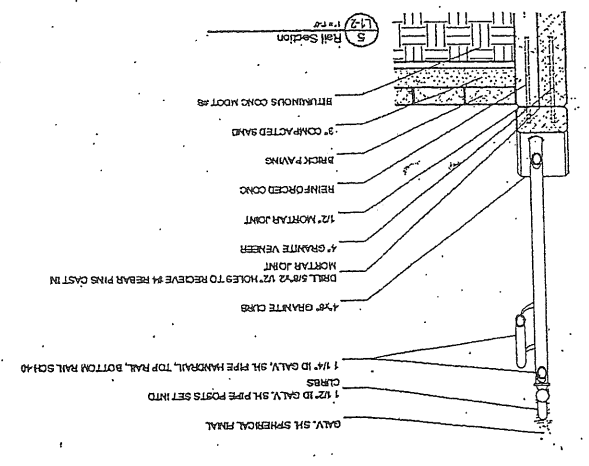
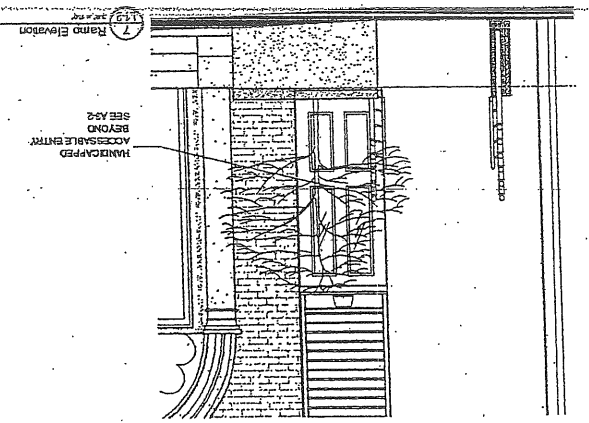
REVISIONS:
CONSULTANTS:
T.F.H. ARCHITECTS
100 COMMERCIAL STREET
PORTLAND, MAINE 04101
TELEPHONE: 207 775 6141
ARCHITECTURE PLANNING

SAINT DOMINIC'S FAMILY HOUSING
For People's Regional Opportunity Program
And Portland West
PORTLAND, MAINE

© 2002 T.F.H. ARCHITECTS

GENERAL NOTES
1. DETAILS SHOW IMPLEMENTATION OF ALTERNATE #1 UPGRADED RAMP MATERIALS.
BASE BID: CAST-IN-PLACE CONCRETE (NO GRANITE VENEER)
ALT. #1 - REPLACE GRANITE CURB W/ PRECAST CONC. CURB
REPLACE BRICK PAVING WITH CAST-IN-PLACE REINFORCED CONC. SLAB

PROCESS PRINT ONLY
Not for Construction



ST-3

Enclosure Unit
SHEET TITLE
SCALE: As Shown
CHECKED BY: CMB
DRAWN BY: CMB, CMM
PROJECT NO: 0204
DATE: September 3, 2002

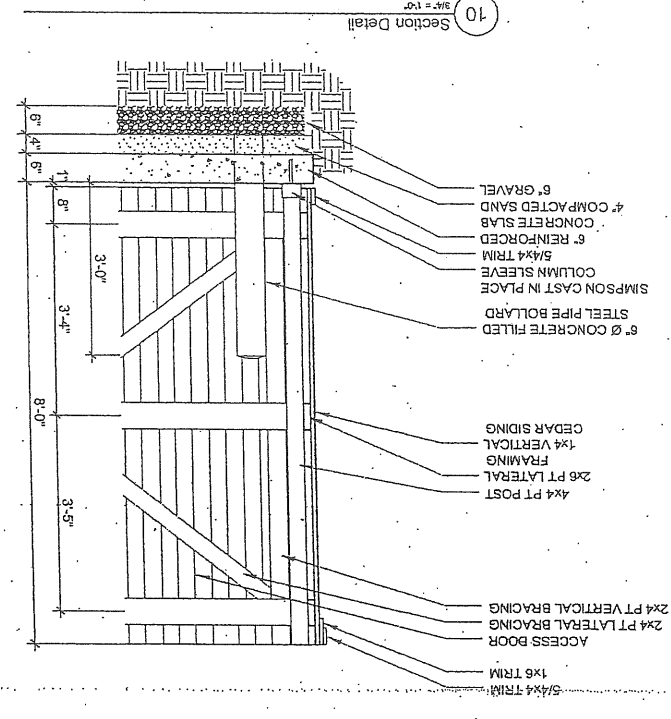
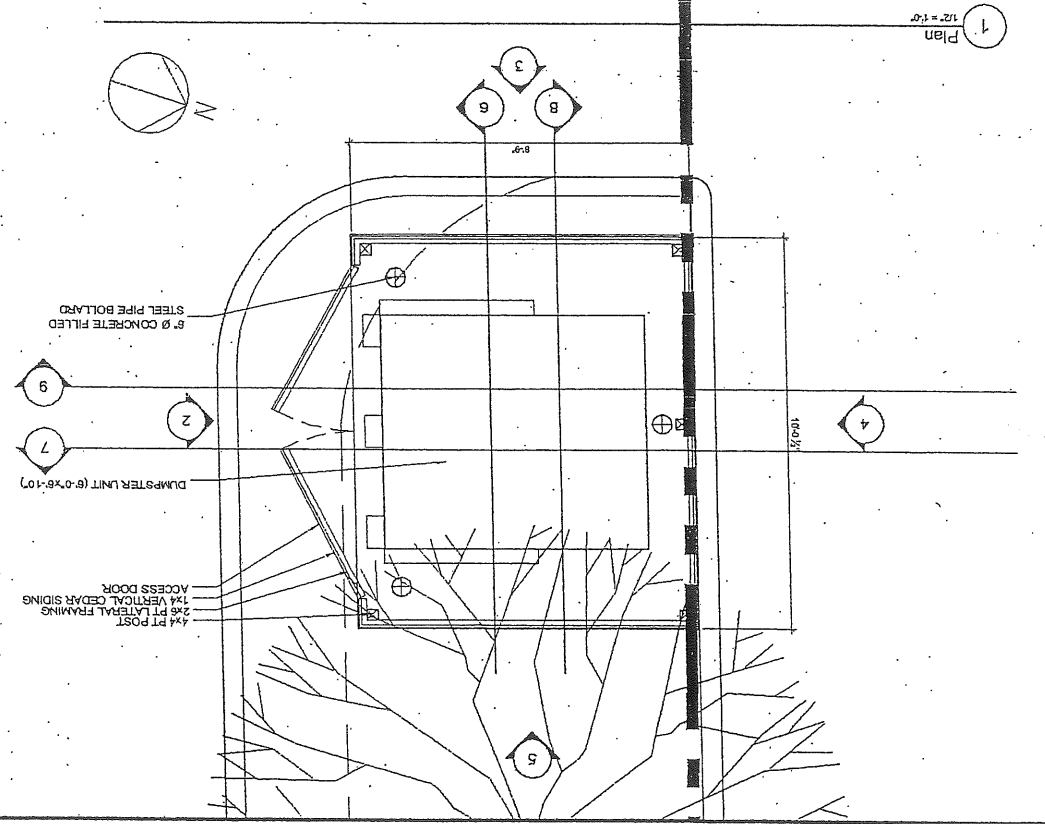
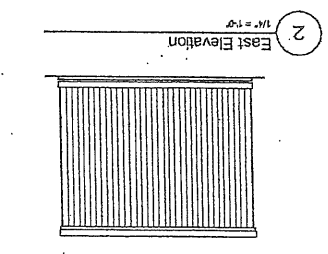
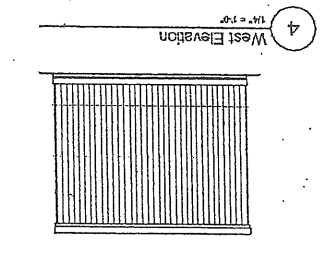
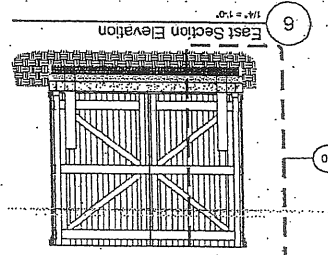
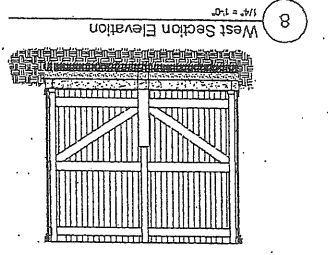
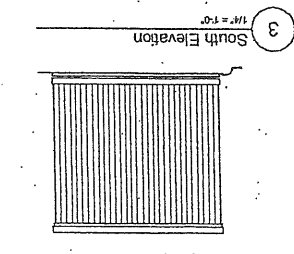
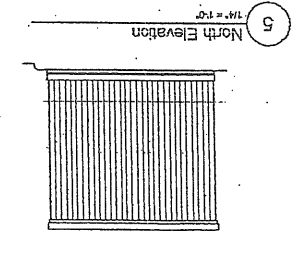
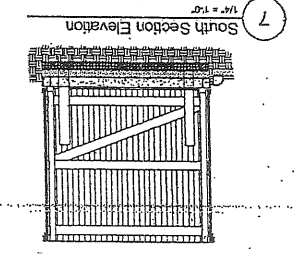
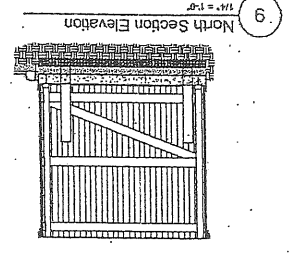
REVISIONS:
1. 09/03/02
2. 09/03/02
3. 09/03/02
4. 09/03/02
5. 09/03/02
6. 09/03/02
7. 09/03/02
8. 09/03/02
9. 09/03/02
10. 09/03/02

CONSULTANTS:
ARCHITECTURE PLANNING
TELEPHONE 207 775 6141
PORTLAND MAINE 04101
TRH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04101



SAINT DOMINIC'S FAMILY HOUSING
St. Dominic's Housing Limited Partnership
PORTLAND, MAINE

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10 Section Detail
3/8" = 1'-0"

1 Plan
1/2" = 1'-0"

SHEET TITLE	18" x 24"
SCALE	1/8" = 1'-0"
CHECKED BY:	CMB
DRAWN BY:	CMB, CMB
PROJECT NO.	0104
DATE:	August 23, 2002

REVISIONS:

DATE: 08/23/02
 BY: CMB
 REVISION: 1. Update drawings to reflect final program and architectural decisions.

CONSULTANTS:

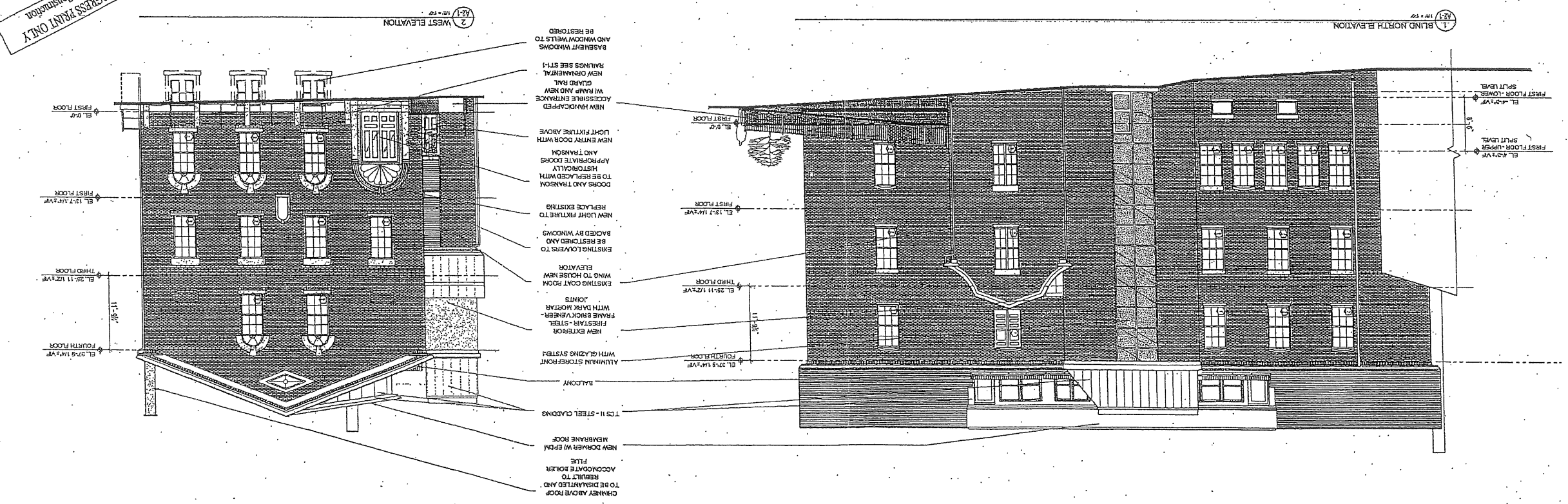
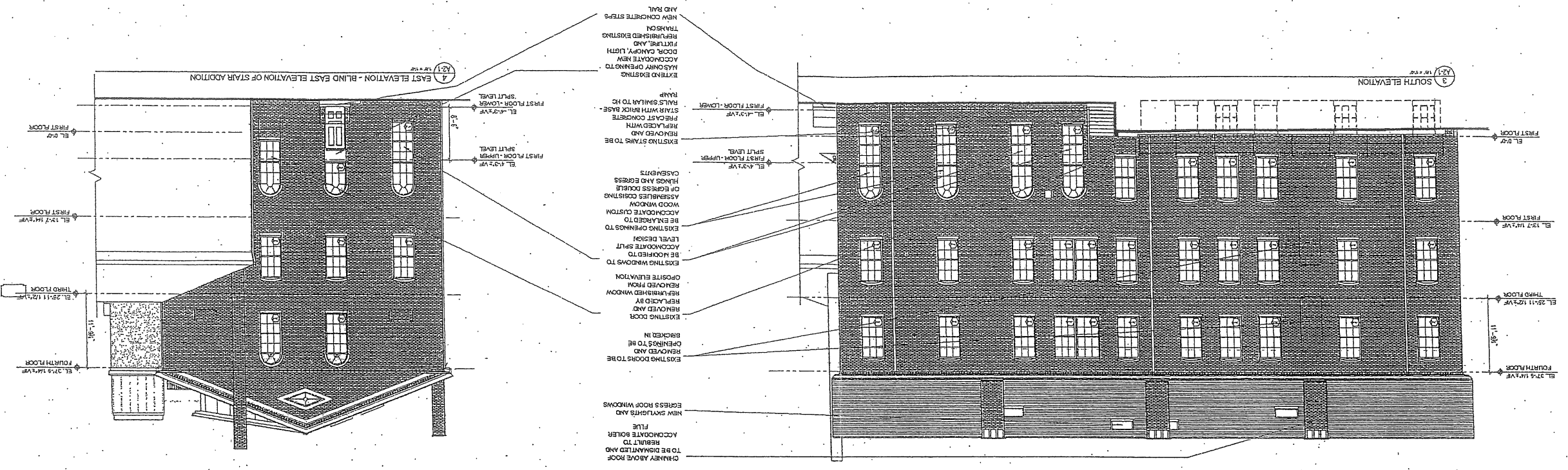
DATE: 08/23/02
 BY: CMB
 REVISION: 1. Update drawings to reflect final program and architectural decisions.

ARCHITECTURE PLANNING
 100 COMMERCIAL STREET
 PORTLAND MAINE 04101
 TELEPHONE 207 775 6141

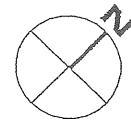
TFH ARCHITECTS
 100 COMMERCIAL STREET
 PORTLAND MAINE 04101
 TELEPHONE 207 775 6141



SAINTE DOMINIC'S FAMILY HOUSING
 St. Dominic's Housing Limited Partnership
 PORTLAND, MAINE



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Saint Dominic's Family Housing

SCHEMATIC DESIGN: FLOOR PLANS & UNIT CONFIGURATION

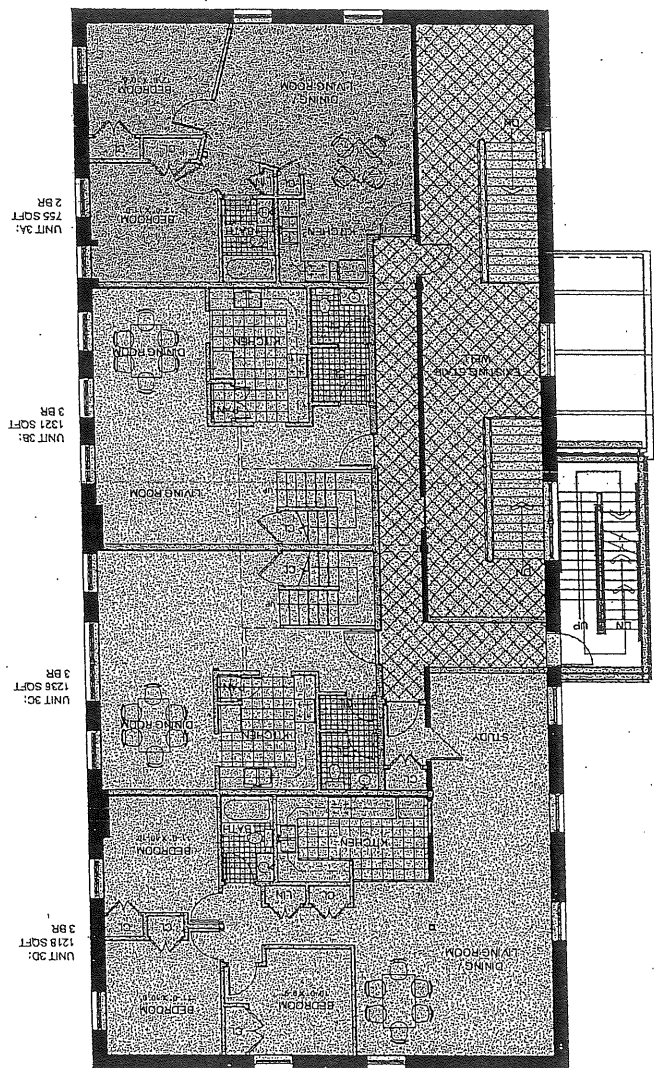
PORTLAND, MAINE

May 24, 2002

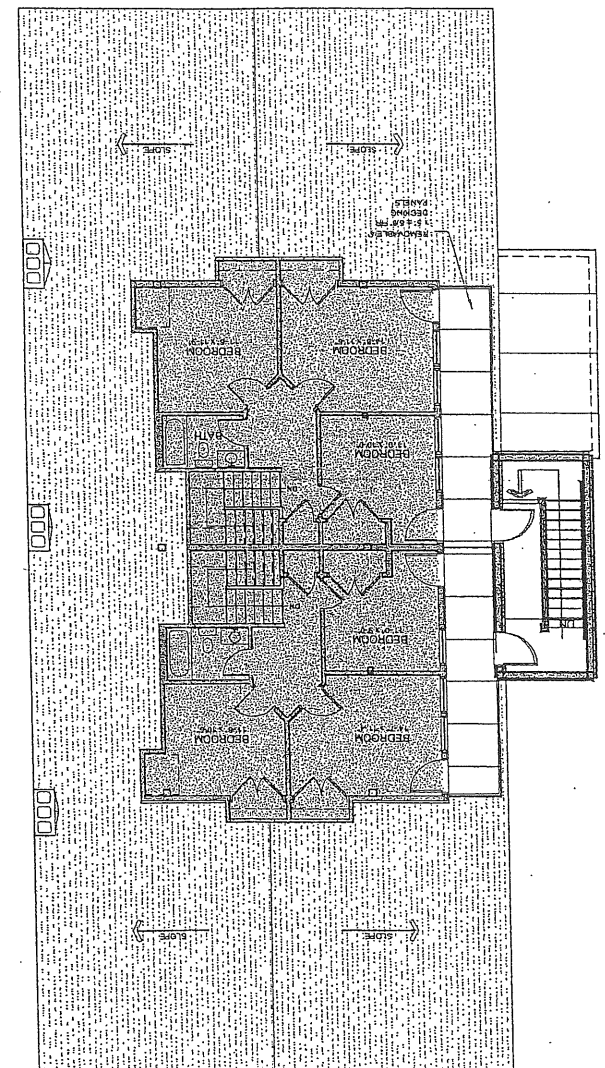


SECOND FLOOR SUMMARY
 UNIT TOTAL: 4330 SQFT
 PUBLC: 1271 SQFT
EXTERIOR WALLS
 CENTER OF PARTY WALLS AND INSIDE WALLS OF
 UNIT SQUARE FOOTAGE ARE SHOWN TO

THIRD FLOOR
 SCALE: 1/8" = 1'-0"



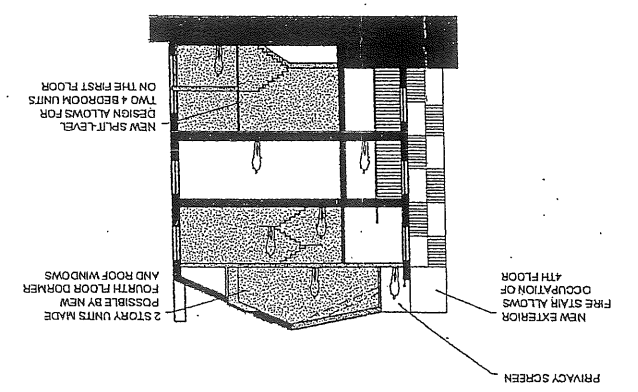
FOURTH FLOOR
 SCALE: 1/8" = 1'-0"

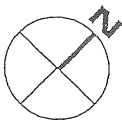


3RD & 4TH FLOOR
 1 755 SQFT
 2 760 SQFT
 3 1,236 SQFT
 4 1,221 SQFT
 5 3,975 SQFT
 6 835 SQFT
 7 1,282 SQFT
 8 1,330 SQFT
 9 2,612 SQFT

SUMMARY OF UNITS	
1 BDRM. UNITS	1
2 BDRM. UNITS	2
3 BDRM. UNITS	3
4 BDRM. UNITS	4
NOTE: UNIT SQUARE FOOTAGE ARE BASED TO CENTER OF PARTY WALLS	

SCHEMATIC SECTION
 SCALE: 1/16" = 1'-0"





Saint Dominic's Family Housing

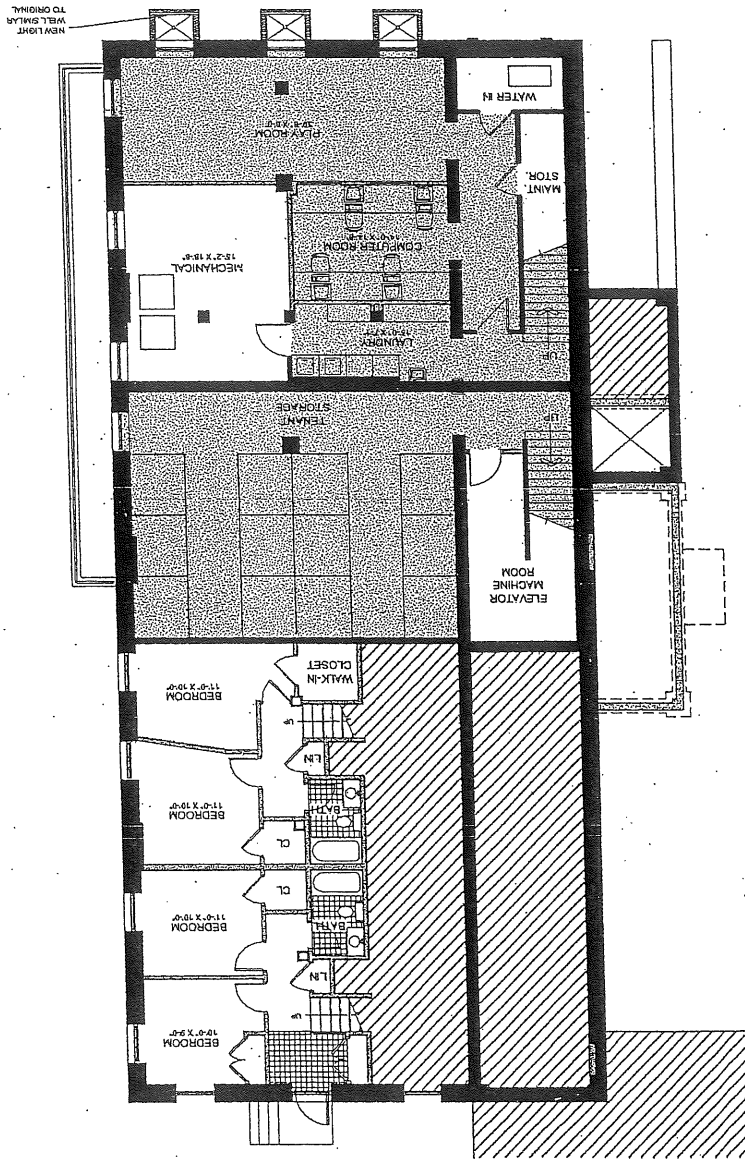
PORTLAND, MAINE

May 24, 2002

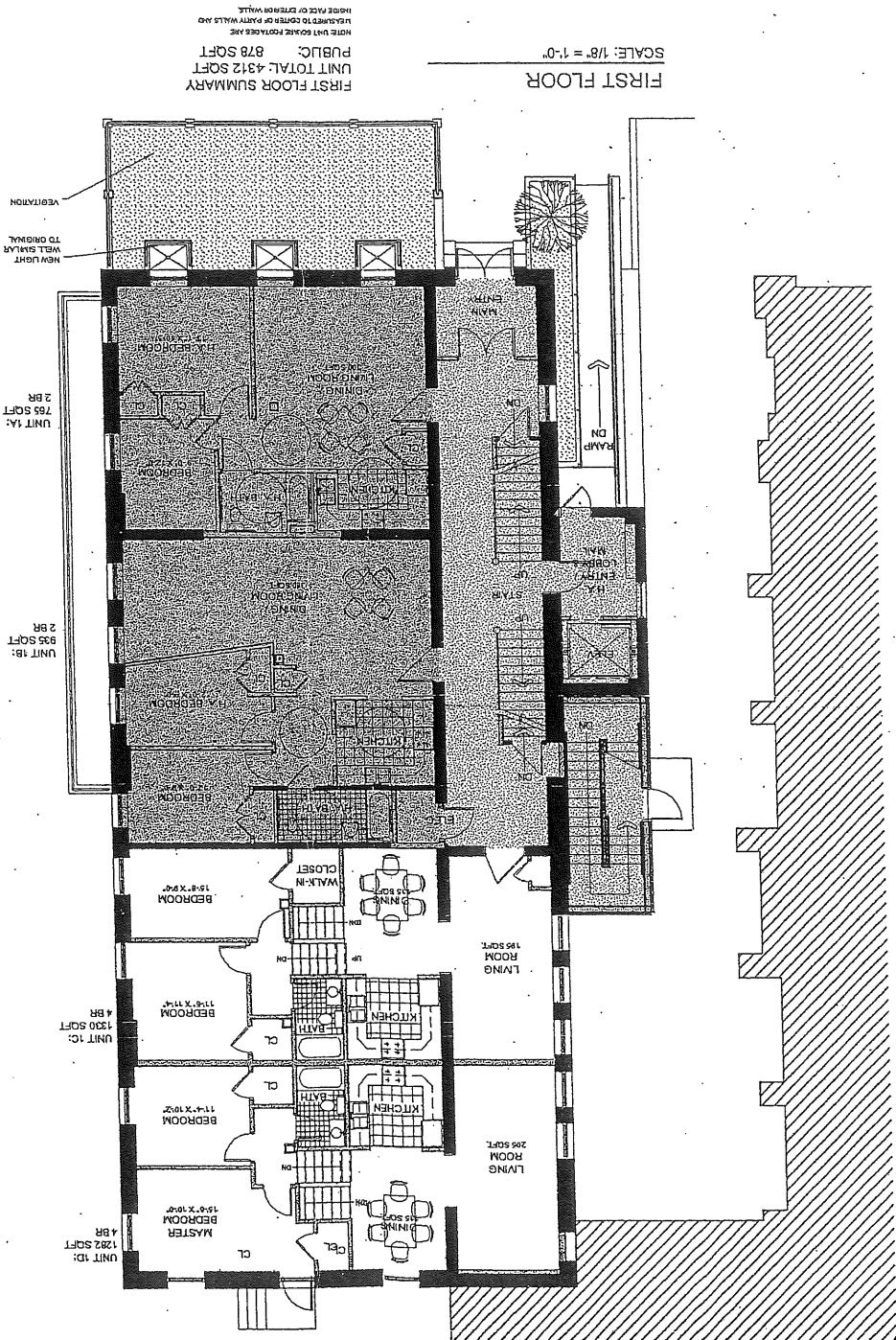
SCHEMATIC DESIGN: FLOOR PLANS & UNIT CONFIGURATION



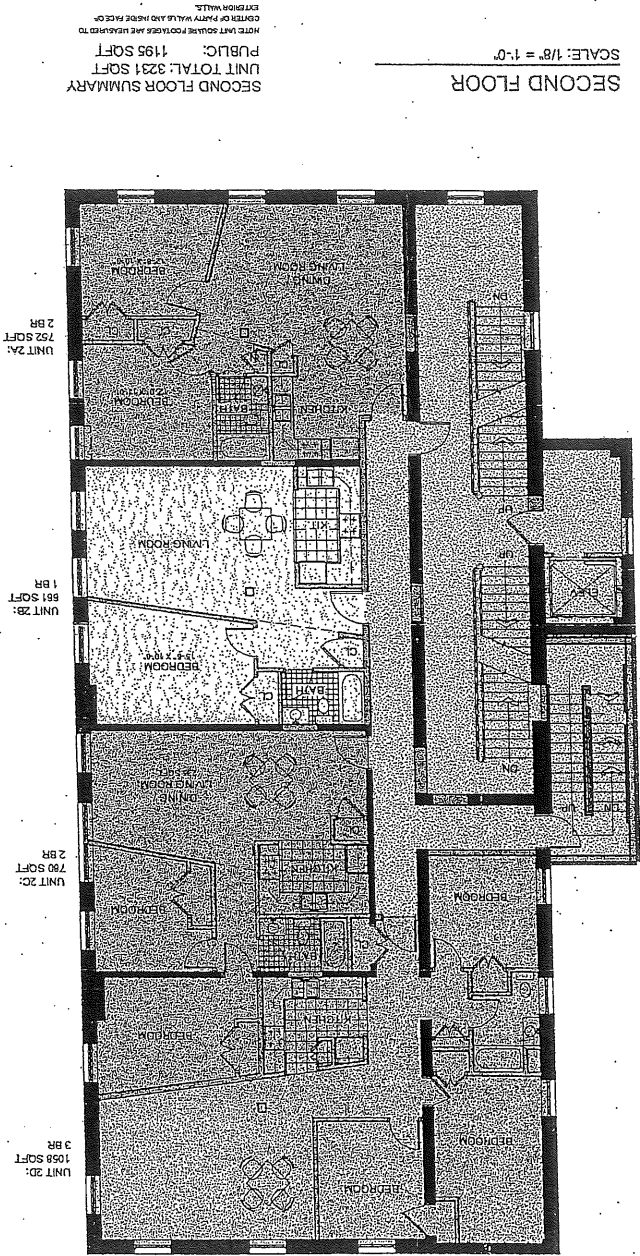
BASEMENT / LOWER LEVEL
SCALE: 1/8" = 1'-0"



FIRST FLOOR
SCALE: 1/8" = 1'-0"



SECOND FLOOR
SCALE: 1/8" = 1'-0"



SECOND FLOOR SUMMARY
UNIT TOTAL: 3231 SQFT
PUBLC: 1196 SQFT

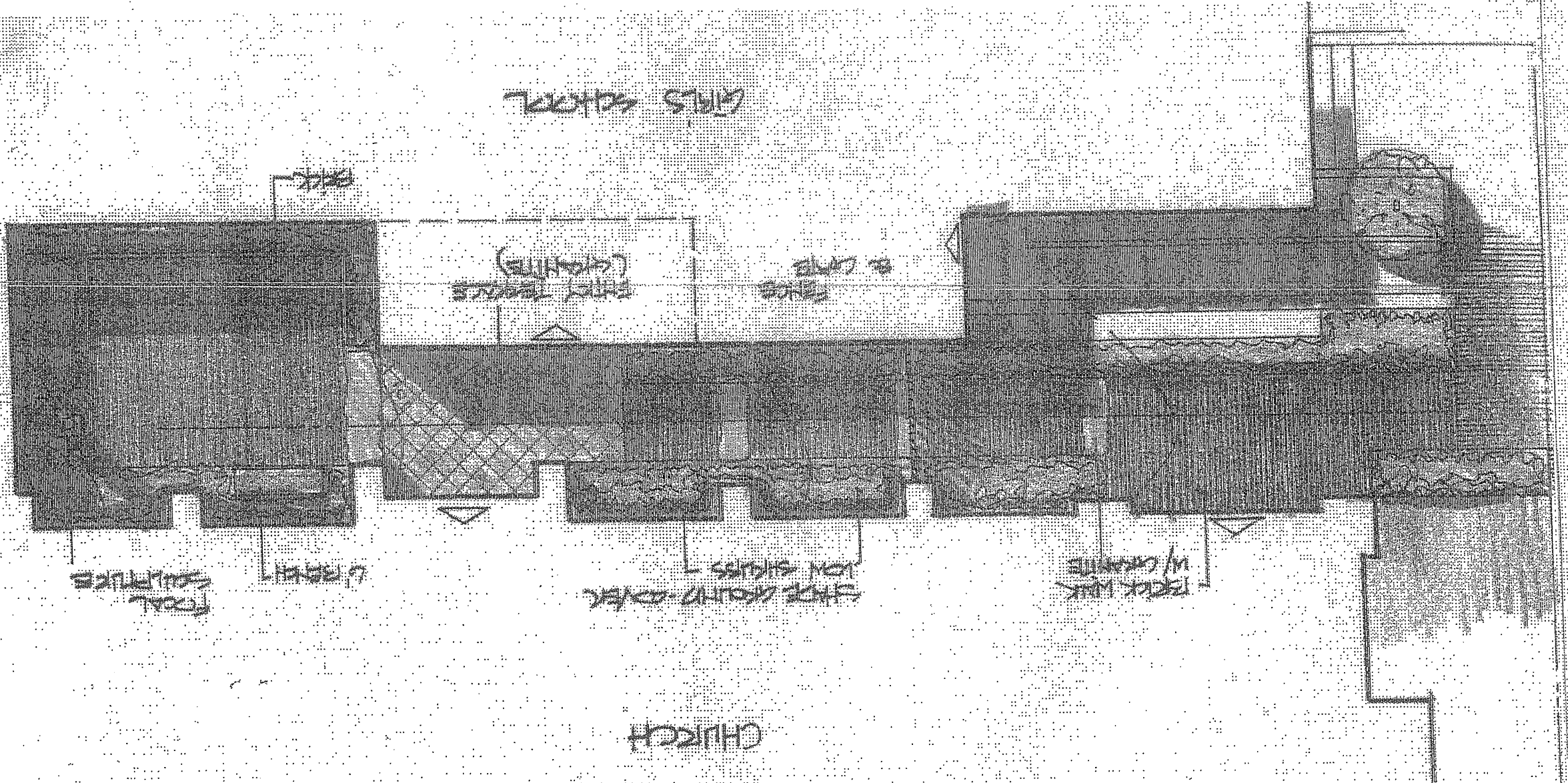
FIRST FLOOR SUMMARY
UNIT TOTAL: 4312 SQFT
PUBLC: 878 SQFT

Saint Dominic's Irish Heritage Center

September 3, 2002

TONY NUONCH
LANDSCAPE ARCHITECT
114 ARCHITECTS
IN CONSULTATION
WITH
PERTLAND PLANNING
TELEPHONE 307 75 8481
ARCHITECTURE PLANNING
TELEPHONE 307 74 4411

LANDSCAPE PLAN
1
NTS



SHEET TITLE: Site Plan
SCALE: 1/8" = 1'-0"
CHECKED BY: CMB
DRAWN BY: CMM, CMB, CSC
PROJECT No. 0104
DATE: September 24, 2002

REVISIONS:
REV 1: 10/04/02

CONSULTANTS:
ARCHITECTURE PLANNING
100 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 775 8141



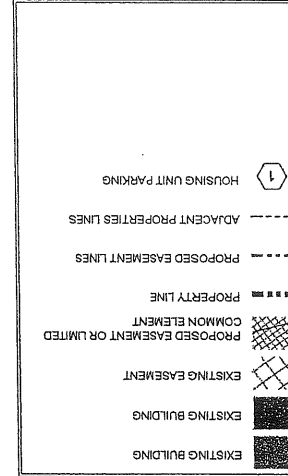
CONDOMINIUM PLAT ST. DOMINIC'S CONDOMINIUM
Declarant: St. Dominic's Housing Associates Limited Partnership
And Irish Heritage Center
PORTLAND, MAINE

© 2002 TFM ARCHITECTS

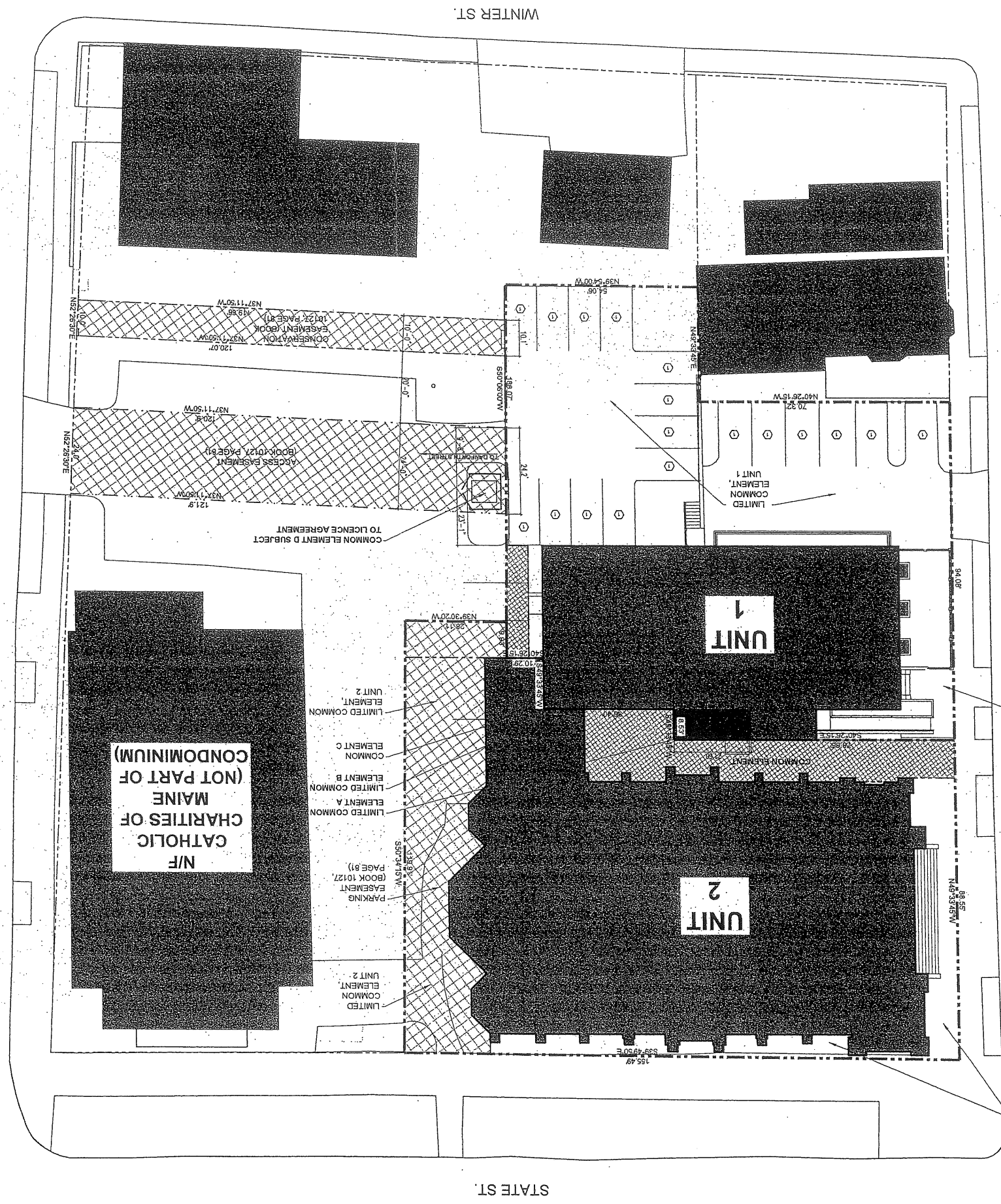
Handwritten initials: AH, 27

NOTES
LIMITED COMMON ELEMENT A: STAIR TOWER TO BE BUILT BY OWNER OF UNIT 1 SHALL BE A LIMITED COMMON ELEMENT FOR UNIT 1.
LIMITED COMMON ELEMENT B: THIS SPACE IS A LIMITED COMMON ELEMENT FOR UNIT 2 AND SHALL BE USED FOR STORAGE.
COMMON ELEMENT C: PARTY WALL EASEMENT FOR BOTH UNIT 1 AND UNIT 2. SEE DECLARATION.
COMMON ELEMENT D: AS NOTED ON PLAT PLAN.

GENERAL NOTES
1. DECLARANT: ST. DOMINIC'S HOUSING ASSOCIATES LIMITED PARTNERSHIP (S/HALP) C/O PEOPLES REGIONAL OPPORTUNITY PROGRAM, 510 CUMBERLAND AVE., PORTLAND, ME 04102.
AND IRISH HERITAGE CENTER (IHC), PO BOX 7598, PORTLAND, ME 04112-7598.
2. ARCHITECT: TFM ARCHITECTS, 100 COMMERCIAL ST., PORTLAND, ME 04101.
3. EASEMENTS: SUBJECT TO ALL EASEMENTS SHOWN ON THE PLANS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 182, PAGE 137 AND PLAN BOOK 194, PAGE 496.
SUBJECT TO DECLARATION OF CONDOMINIUM FOR ST. DOMINIC'S CONDOMINIUM OF EVEN OR NEAR DATE TO BE RECORDED HERewith (THE DECLARATION).



DANFORTH ST.



GRAY ST.

WINTER ST.

STATE ST.

N/F
CATHOLIC CHARTIES OF MAINE
(NOT PART OF CONDOMINIUM)

LIMITED COMMON ELEMENT UNIT 2
LIMITED COMMON ELEMENT A
LIMITED COMMON ELEMENT B
COMMON ELEMENT C
LIMITED COMMON ELEMENT UNIT 2
EASEMENT (BOOK 10127, PAGE 81)
PARKING
EASEMENT (BOOK 10127, PAGE 81)
LIMITED COMMON ELEMENT UNIT 2

COMMON ELEMENT D SUBJECT TO LICENCE AGREEMENT

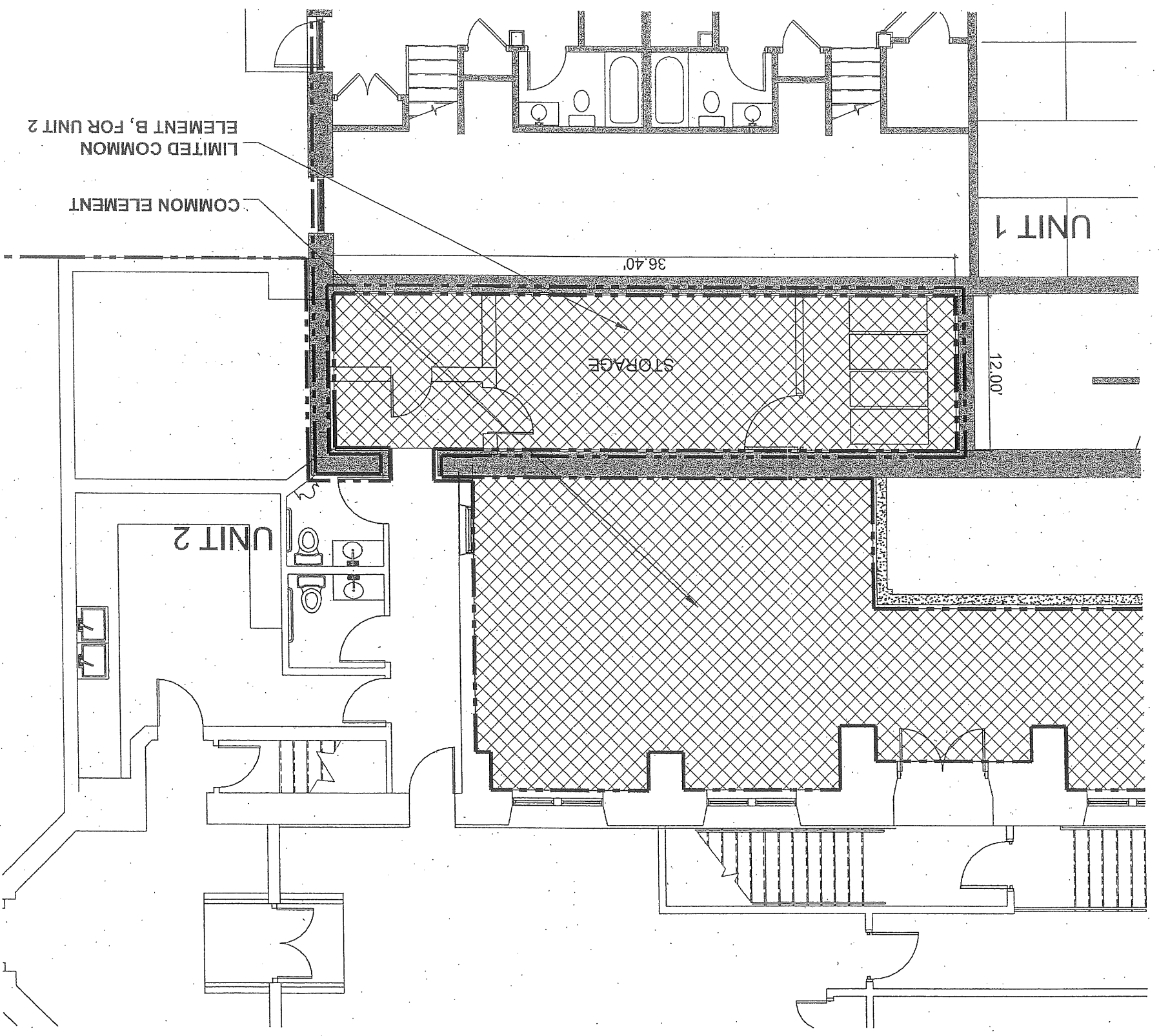
ACCESS EASEMENT (BOOK 10127, PAGE 81)

UNIT 1

UNIT 2

LIMITED COMMON ELEMENT UNIT 1

LIMITED COMMON ELEMENT UNIT 2



LIMITED COMMON
ELEMENT B, FOR UNIT 2

COMMON ELEMENT

UNIT 1

STORAGE

36.40'

12.00'

UNIT 2

CON
2

SHEET TITLE:
Partial Detail for
Condominium Plan

SCALE:
1/8" = 1'-0"

CHECKED BY:
CSC

DRAWN BY:
CMB, CSC

PROJECT No.
0104

DATE:
September 24, 2002

CONSULTANTS:

TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 775 6141
ARCHITECTURE PLANNING



CONDOMINIUM PLAT ST. DOMINIC'S CONDOMINIUM
ST. DOMINIC'S HOUSING ASSOCIATES LIMITED PARTNERSHIP
AND IRISH HERITAGE CENTER
PORTLAND, MAINE

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SECTION

SHEET TITLE

SCALE: 1/8" = 1'-0"

CHECKED BY: CMB

DRAWN BY: CMM, CMB, CSC

PROJECT No. 0104

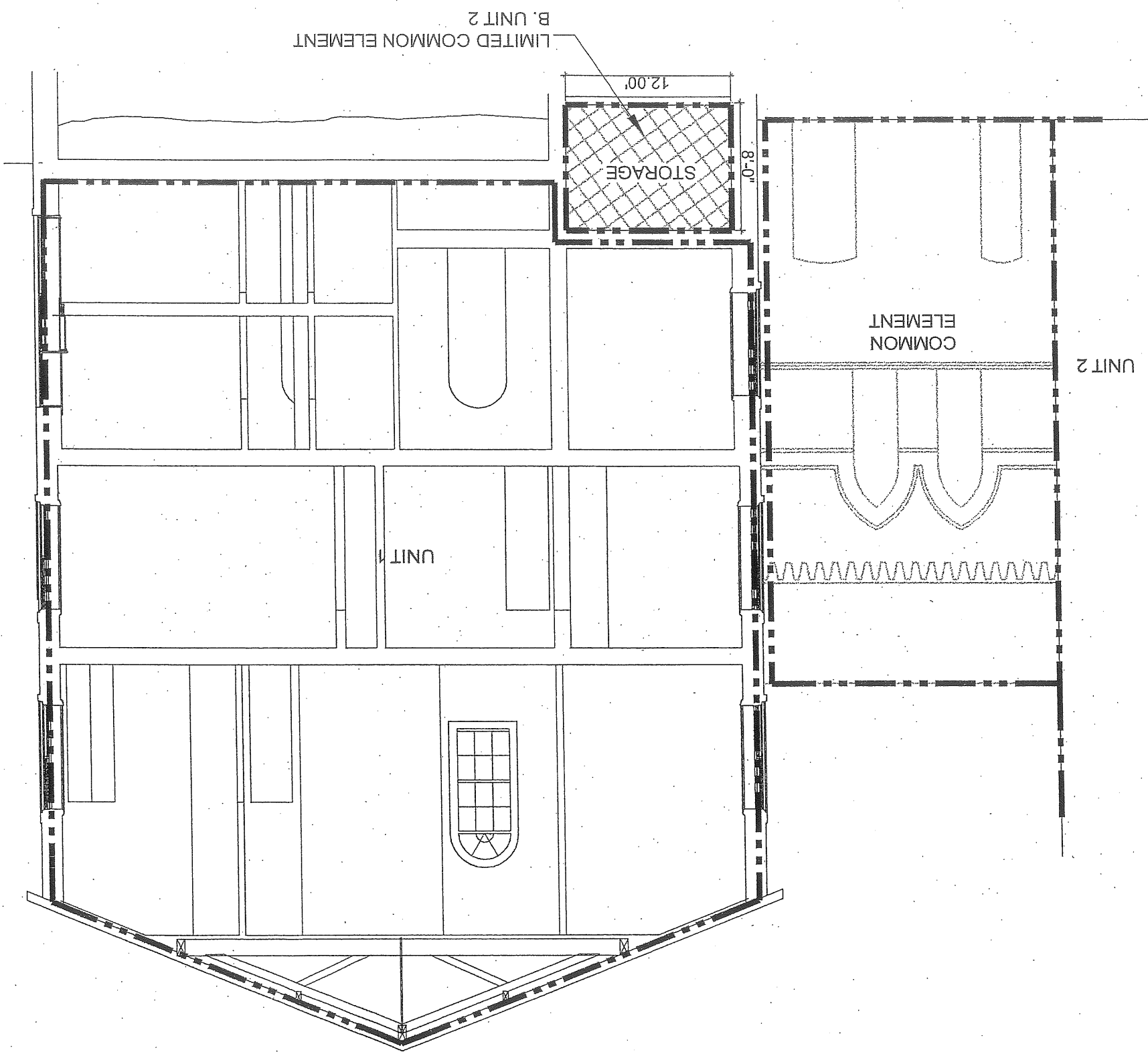
DATE: September 24, 2002

CONSULTANTS:

TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 775 6141



CONDOMINIUM PLAT ST. DOMINIC'S CONDOMINIUM
ST. DOMINIC'S HOUSING ASSOCIATES LIMITED PARTNERSHIP
AND IRISH HERITAGE CENTER
PORTLAND, MAINE



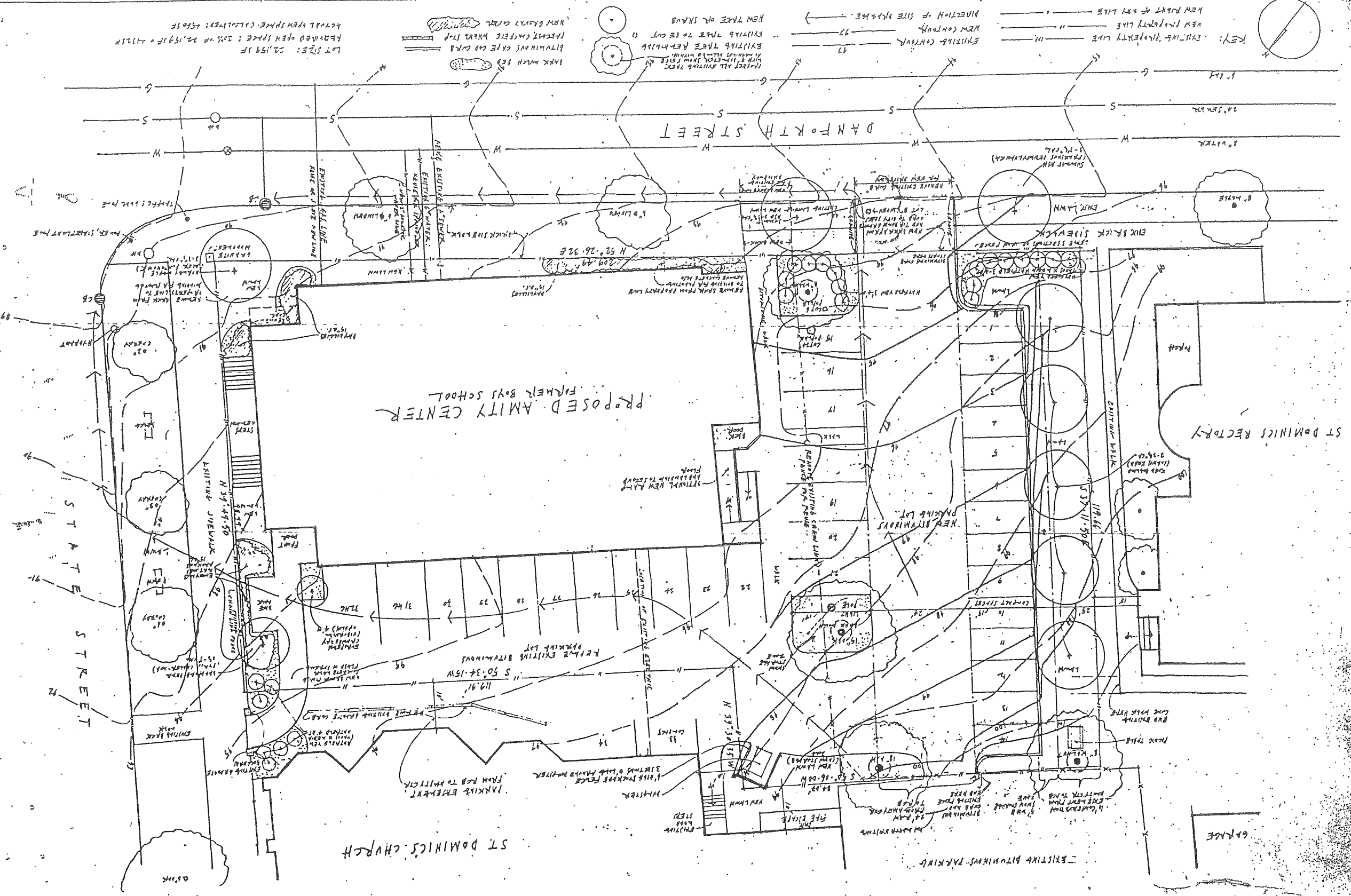
Conversion of the former St. Dominics Boys School for
 Amity Center
 66 State St. Portland, Maine 04101

Van Dam and Renner Architects:
 66 West Street, Portland, Maine 04102
 207-775-0443 Fax: 207-775-2892



Civil Engineering:
 SJR Engineering
 21 Mayflower Road, Augusta, Maine 04430
 207-622-1676

Site Plan
 Scale: 1" = 10'
 Date: 11/26/91 Revised:



KEY:
 --- EXISTING PROPERTY LINE
 --- NEW PROPERTY LINE
 --- NEW PART OF NEW LINE
 --- EXISTING CONTROL
 --- NEW CONTROL
 --- DIRECTION OF SITE MAKE

PROPOSED AMITY CENTER
 FORMER BOYS SCHOOL

ST DOMINIC'S CHURCH

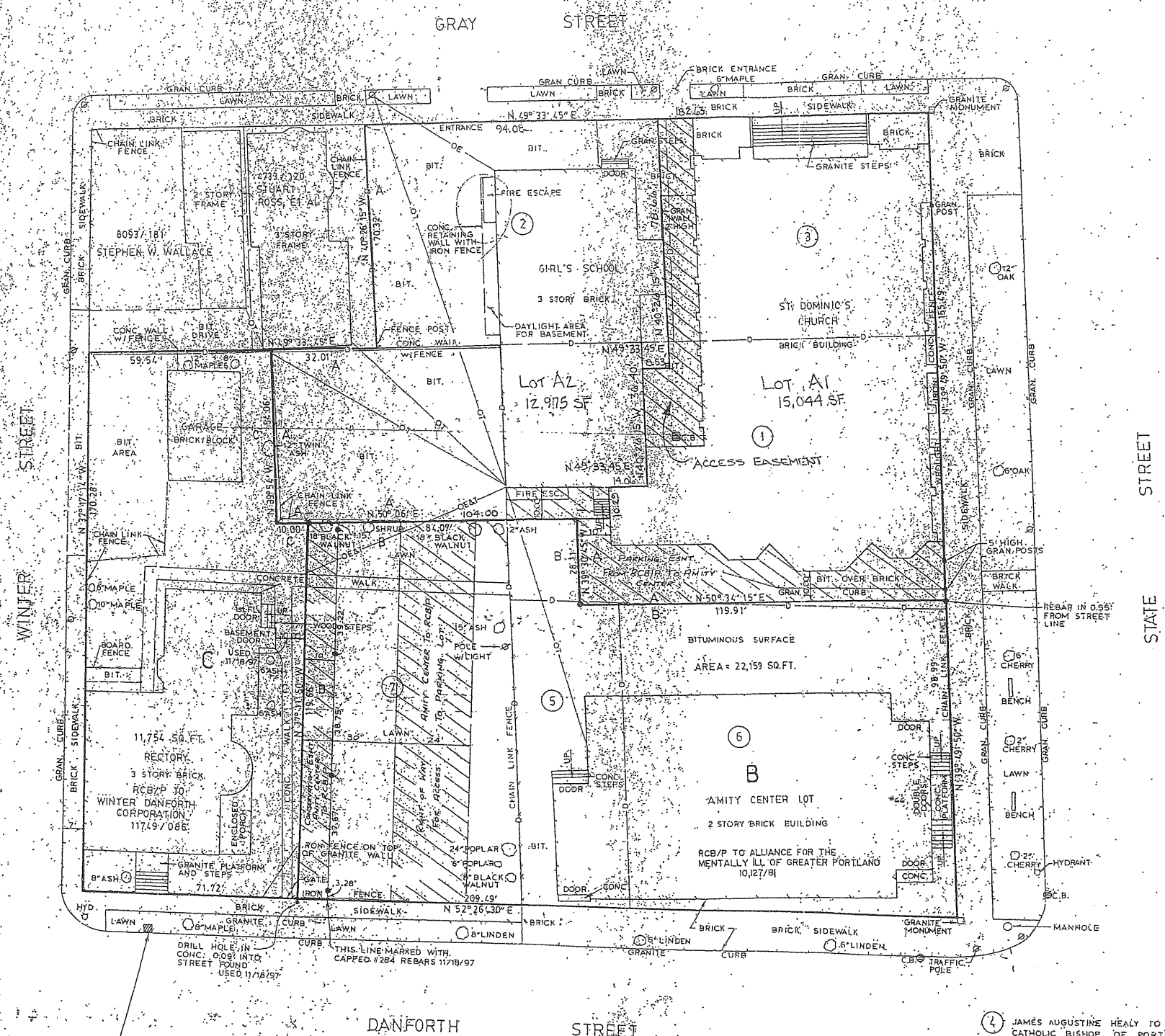
ST DOMINIC'S RECTORY

STATE STREET

DANFORTH STREET

44.28

DATE



- LEGEND:**
- ① REBAR SET
 - ② DEED REFERENCE NUMBER
 - RCB/P ROMAN CATHOLIC BISHOP OF PORTLAND
 - UTILITY POLE
 - TREE
 - CHAIN LINK FENCE
 - IRON FENCE
 - CURB
 - BIT BITUMINOUS PAVEMENT
 - BUILDING
 - GRAN GRANITE
 - CATCH BASIN
 - OVERHEAD ELECTRIC
 - OVERHEAD TELEPHONE
 - D DEED LINE

PLAN REFERENCE:
 PLAN MADE BY MILWAUKEE JORDAN & CO. INC. DATED 1904 AND 1911.
 "A" ST. DOMINIC'S CHURCH LOT
 "B" AMITY CENTER LOT
 "C" RECTORY

- DEED REFERENCES:**
- 1) 297146 JOHN B. PATRICK TO DAVID W. BACON OCT. 27, 1865
 - 2) 334172 ROBERT EVANS TO ST. REV. DAVID W. BACON, MAY 6, 1868
 - 3) 4281504 GEORGE W. HANCOCK TO JAMES AUGUSTINE HEALY, APRIL 12, 1887
 - 4) 557178 JAMES AUGUSTINE HEALY TO THE ROMAN CATHOLIC BISHOP OF PORTLAND, A CORPORATION, CREATED BY THE ACT OF THE LEGISLATURE OF THE STATE OF MAINE APPROVED THE 25th DAY OF FEBRUARY, 1887
 - 5) 615175 EBEN HARMON TO THE REBAR, JULY 31, 1894
 - 6) 11231353 PHINEAS VARNUM STEPHENS TO THE RCB/P, DEC. 9, 1922
 - 7) 15431416 ELIAS THOMAS ESTINE TO THE RCB/P, JULY 17, 1941

AMITY CENTER LOT CERTIFICATION:
 OWEN HASKELL, INC. HEREBY CERTIFIES TO LAWYERS-TITLE INSURANCE COMPANY, MAINE HEALTH AND HIGHER EDUCATIONAL FACILITIES AUTHORITY AND THE ALLIANCE FOR THE MENTALLY ILL OF GREATER PORTLAND THAT THE AMITY CENTER LOT SHOWN HEREON IS THE RESULT OF AN ACTUAL SURVEY COMPLETED IN 1991 THAT NO ENCROACHMENTS EXIST, EITHER IN ANY CROSS PROPERTY LINES AND THAT THIS LOT IS NOT IN A FLOOD HAZARD ZONE AS DEFINED BY HUD.

June 14, 1992
 DATE *Louis J. Maguire, Dec. No. 284*

NOTE: THE ORIGINAL OF THIS PLAN IS RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 192, PAGE 137, RECORDING DATE JUNE 22, 1992. SINCE THAT TIME THE PLAN HAS BEEN REVISED BY COMPLETING DIMENSIONS AROUND THE RECTORY LOT AND ADDING LOT IDENTIFICATIONS "A", "B", "C". THIS RECORDING OF THE PLAN IS TO BE A PART OF THE SALE OF THE RECTORY LOT.

5/3/02	SPLIT LOT A1
11/18/97	MARKE EAST LINE CONSERVATION EASEMENT
12/2/94	UPDATE FOR RE-RECORDING RE: RECTORY LOT
1/18/94	LOT IDENTIFICATION
10/24/93	RECTORY LOT
5/16/92	TITLE BLOCK
5/16/92	LAND TITLE CERTIFICATION AMITY CENTER LOT
12/2/91	RIGHT OF WAY AND EASEMENT AREAS
LAND TITLE SURVEY OF AMITY CENTER LOT 166 STATE STREET PORTLAND, MAINE MADE FOR THE ALLIANCE FOR THE MENTALLY ILL OF GREATER PORTLAND, 12 CEDAR ST., PORTLAND, MAINE SHOWN HEREON IS THE RESULT OF AN ACTUAL SURVEY FOR THE ST. DOMINIC'S CHURCH LOT REBAR OWNERS THE ROMAN CATHOLIC BISHOP OF PORTLAND, A CORPORATION SOLE, 510 OCEAN AVENUE, PORTLAND, MAINE	

④ JAMES AUGUSTINE HEALY TO THE ROMAN CATHOLIC BISHOP OF PORTLAND - CONVEYING EVERYTHING BEFORE FEB. 1887 TO THE ROMAN CATHOLIC BISHOP OF PORTLAND

HISTORIC MONUMENT TO BE PRESERVED AS SHOWN ON CITY OF PORTLAND PUBLIC WORKS DEPT. PLAN FILE 71075-SHT. 20 OF 24

CERTIFICATE:
 OWEN HASKELL, INC HEREBY CERTIFIES THAT THIS PLAN IS BASED ON, AND IS THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS STANDARDS FOR A CATEGORY 1, CONDITION 1 SURVEY WITH THE FOLLOWING EXCEPTIONS:
 1) DEED DESCRIPTION WRITTEN ONLY FOR AMITY CENTER LOT
 2) NOT ALL CORNERS MARKED

Louis J. Maguire Nov. 26, 1991

STATE OF MAINE, CUMBERLAND, ss
 REGISTRY OF DEEDS
 RECEIVED JUNE 22 1992
 AT 11:38 A.M. AND RECORDED
 IN PLAN BOOK 192, PAGE 137

GRAPHIC SCALE 1" = 20'

Owen Haskell, Inc.
 Civil Engineers and Land Surveyors
 15 South Portland, Maine
 04106
 DATE BY: JLS Date: AUGUST 22, 1991
 TITLE: AUGUST 22, 1991

**CITY OF PORTLAND
SITE PLAN AND SUBDIVISION NOTES**

- LANDSCAPING SHALL MEET THE "ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE "CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES".
- THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION: TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION, AND SURFACING OF PARKING AREAS AND LOCATION AND SIZE OF BUILDINGS.
- SEE PLAN FOR INSTALLATION OF POWERLINE UTILITIES, OVERHEAD OR UNDERGROUND.
- SIDEWALKS AND CURBING SHALL BE DESIGNED AND BUILT WITH TIPPED RAMP AT ALL STREET CORNERS, CROSSWALKS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED IN ACCORDANCE WITH "MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES" PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. (NOTE: THE SITE PLAN SHOULD SPECIFY THE EROSION CONTROL DEVICE TO BE EMPLOYED: SILT FENCE, HAY BALE, ETC. AS WELL AS THEIR LOCATION.)
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
- ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES (SEE ABOVE).
- PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME, THE SITE/BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.
- ALL UTILITY SERVICE CONNECTIONS PROPOSED WITHIN CITY STREETS ARE TO BE INSPECTED BY THE INDIVIDUAL UTILITY COMPANIES AND THE CITY OF PORTLAND WHERE APPLICABLE.
- SUBDIVISION SHALL MEAN THE DIVISION OF A LOT, TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE LOTS, INCLUDING LOTS OF FORTY (40) ACRES OR MORE, WITHIN ANY FIVE-YEAR PERIOD WHETHER ACCOMPLISHED BY SALE, LEASE, DEVELOPMENT, BUILDINGS OR OTHERWISE AND AS FURTHER DEFINED IN 30-A M.R.S.A. SECTION 4401. THE TERM SUBDIVISION SHALL ALSO INCLUDE THE DIVISION OF A NEW STRUCTURE OR STRUCTURES ON A TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD AND THE DIVISION OF AN EXISTING STRUCTURE OR STRUCTURES PREVIOUSLY USED FOR COMMERCIAL OR INDUSTRIAL USE INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD. THE AREA INCLUDED IN THE EXPANSION OF AN EXISTING STRUCTURE IS DEEMED TO BE A NEW STRUCTURE FOR THE PURPOSE OF THIS PARAGRAPH. A DWELLING UNIT SHALL INCLUDE ANY PART OF A STRUCTURE WHICH, THROUGH SALE OR LEASE, IS INTENDED FOR HUMAN HABITATION INCLUDING SINGLE-FAMILY AND MULTIFAMILY HOUSING CONDOMINIUMS, TIME-SHARE UNITS AND APARTMENTS.

PLAN REFERENCES

- PLAN MADE BY H.I. & C.G. JORDAN, FILE NO. 172 DATED 1904 AND 1911
- SEE DEED REFERENCE #3
"A" ST. DOMINIC'S CHURCH LOT
"B" AMITY CENTER LOT
"C" RECTORY
- PLAN MADE BY OWEN HASKELL, INC. DATED AUGUST 22, 1991, REVISED 5/3/02 "LAND TITLE SURVEY OF AMITY CENTER LOT, 66 STATE STREET, PORTLAND, MAINE, MADE FOR THE ALLIANCE FOR THE MENTALLY ILL OF GREATER PORTLAND, 12 CEDAR ST., PORTLAND, MAINE. STANDARD BOUNDARY SURVEY OF THE ST. DOMINIC'S CHURCH LOT, RECORD OWNER, THE ROMAN CATHOLIC BISHOP OF PORTLAND, A CORPORATION SOLE, 510 OCEAN AVENUE, PORTLAND, MAINE."

DEED REFERENCES

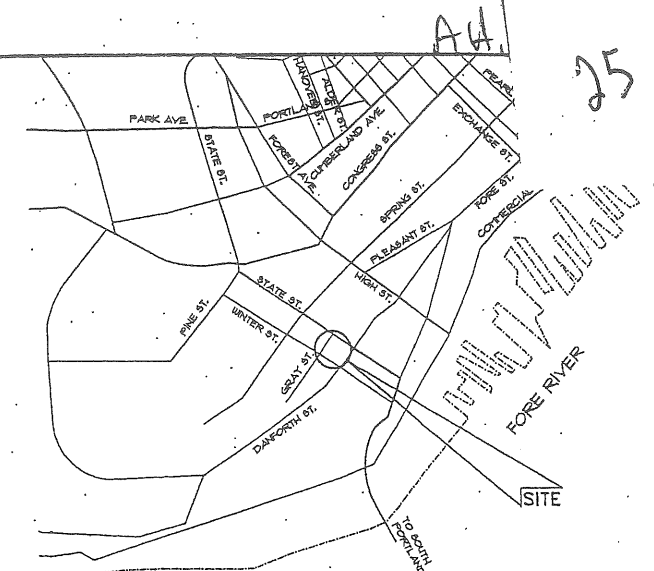
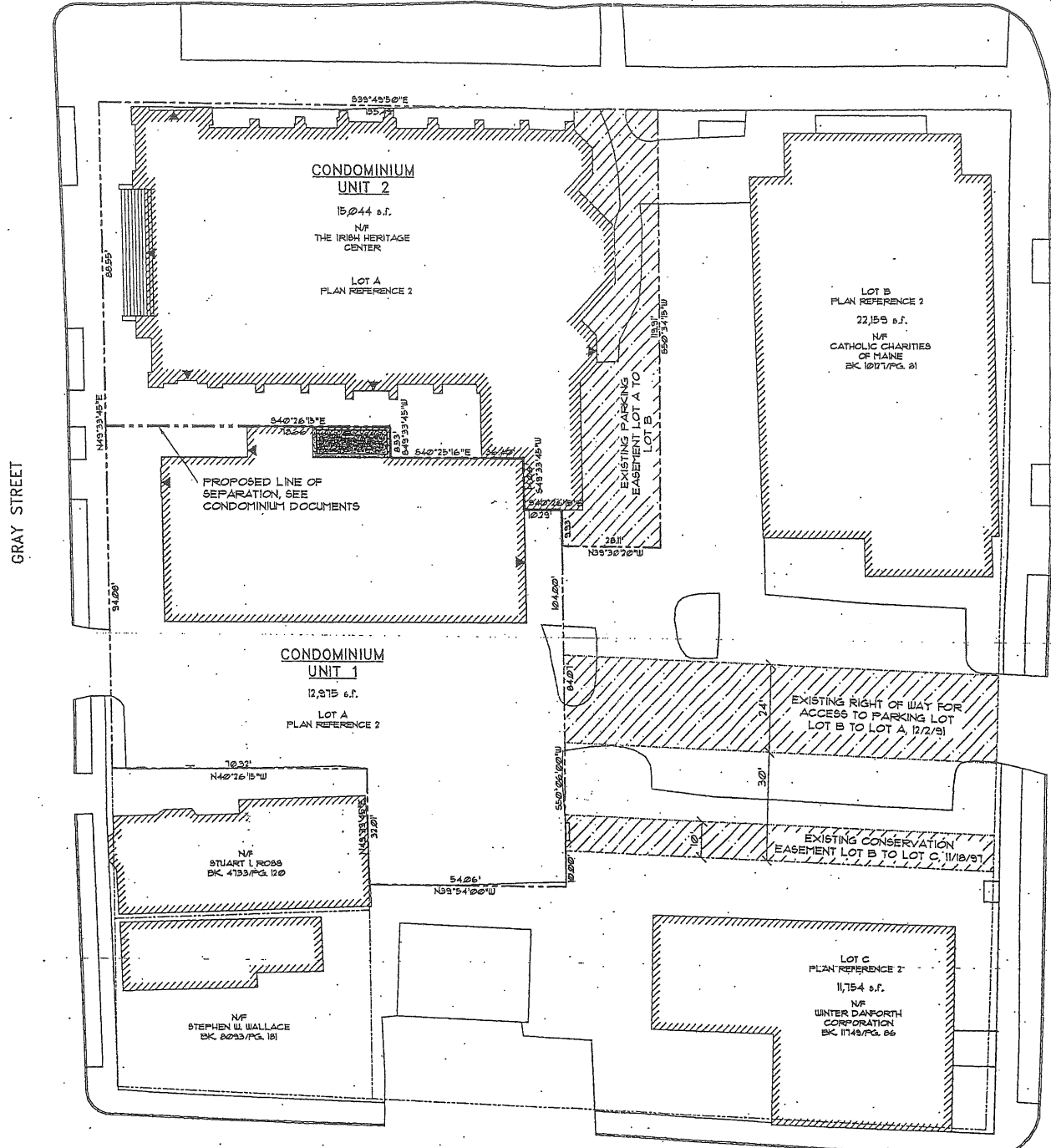
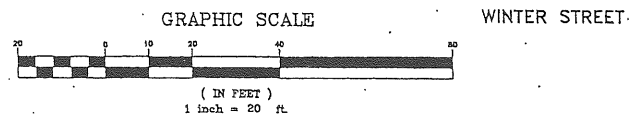
- 291/46 JOHN B. FITZPATRICK TO DAVID W. BACON, OCT. 27 1865.
- 334/72 ROBERT EVANS TO RT. REV. DAVID W. BACON, MAY 6, 1865.
- 428/504 GEORGE W. NICHOLS TO JAMES AUGUSTINE HEALY, APRIL 17, 1867.
- 557/78 JAMES AUGUSTINE HEALY TO THE ROMAN CATHOLIC BISHOP OF PORTLAND, A CORPORATION CREATED BY THE ACT OF THE LEGISLATURE OF THE STATE OF MAINE APPROVED THE 25TH DAY OF FEBRUARY, 1881 CONVEYING EVERYTHING BEFORE FEBRUARY 1881 TO THE ROMAN CATHOLIC BISHOP OF MAINE.
- 615/175 EBBEN HARMON TO THE RCB/P, JULY 11 1894.
- 1123/253 PHINEHAS VARNUM STEPHENS TO THE RCB/P, DEC. 9, 1922.
- 1643/416 ELIAS THOMAS ESTATE TO THE RCB/P, JULY 11, 1941
- PLAN BOOK 192/371 RCB/P TO THE ALLIANCE FOR THE MENTALLY ILL OF GREATER PORTLAND, JUNE 22, 1932. THE PLAN HAS BEEN REVISED. THE REVISION OF 1/18/97 OF THE PLAN IS TO BE A RECORD PART OF THE SALE OF THE RECTORY LOT.

ZONING REQUIREMENTS

ZONE R6: RESIDENTIAL ZONE PERMITTED USES; RESIDENTIAL USES PERMITTED IN THE R6 ZONE THAT COMPLY WITH THE FOLLOWING DIMENSIONAL REQUIREMENTS:

- MINIMUM LOT SIZE: 4,500 S.F.
- MINIMUM STREET FRONTAGE: 40 FEET
- MINIMUM YARD DIMENSIONS:
FRONT YARD: 10 FEET
REAR YARD: 20 FEET
SIDE YARD: 4 STORY BUILDING: 12 FEET
- MAXIMUM LOT COVERAGE: 50%
- MINIMUM LOT WIDTH: 50 FEET
- MAXIMUM STRUCTURE HEIGHT: 45 FEET
- OPEN SPACE RATIO: 20%
- MAXIMUM RESIDENTIAL DENSITY: 60 DWELLING UNITS/ACRE
- MAXIMUM BUILDING HEIGHT: 65 FEET

PARKING: 1 1/2 PARKING SPACES PER DWELLING UNIT - FOR RENOVATION OF EXISTING BUILDING



LOCATION PLAN

SCALE: 1"=150'±

GENERAL NOTES

- OWNER/ DEVELOPER: SAINT DOMINIC'S HOUSING LIMITED PARTNERSHIP, 510 CUMBERLAND AVENUE, PORTLAND, MAINE 04101.
- ARCHITECT: TFH ARCHITECTS, PORTLAND, MAINE.
- ENGINEER: PINKHAM & GREER CONSULTING ENGINEERS, FALMOUTH, MAINE.
- TOPOGRAPHY TAKEN FROM CITY OF PORTLAND AERIAL PHOTOGRAPHY. ELEVATIONS ARE BASED CITY DATUM.
- BOUNDARY INFORMATION BY OWEN HASKELL, PORTLAND, MAINE, SEE DEED REFERENCE #3.
- SEE "CONDOMINIUM PLAN" BY TFH ARCHITECTS, PORTLAND MAINE FOR EASEMENT DESCRIPTION.
- LANDSCAPE DESIGN BY TFH ARCHITECTS, PORTLAND, MAINE.
- ZONE: R-6, RESIDENTIAL.
- TAX MAP REFERENCE: MAP 44, BLOCK H, LOTS 4.
- TOTAL LOT SIZE: 28,019 S.F.
UNIT 1 AREA: 12,915 S.F.
UNIT 1 BUILDING FOOTPRINT: 4,910 S.F.
UNIT 1 BUILDING FOOTPRINT AS % OF UNIT 1 AREA: 38 %
PARKING: 13 SPACES
- NO OPEN SPACE OR PUBLIC USE AREAS ARE INCLUDED IN THIS SUBDIVISION.
- LOT TO BE SERVICED BY EXISTING PUBLIC GAS, SEWER AND WATER.
- TRASH WILL BE STORED IN THE ENCLOSURE OUTDOORS FOR COLLECTION BY PROP PERSONNEL.
- SOILS AS SHOWN IN "SOIL SURVEY CUMBERLAND COUNTY, MAINE" PUBLISHED BY SOILS CONSERVATION SERVICE ARE CLASSIFIED AS HINKLEY.
- THIS PROJECT IS THE CONVERSION OF A LOT INTO 2-CONDOMINIUM UNITS AND THE SUBDIVISION OF UNIT 1, 12,915 S.F. OF LAND, INTO 12 RESIDENTIAL UNITS.
- OWNER IS TO REMOVE SNOW AS NEEDED.
- CALL DIG-SAFE (1-800-225-4971) PRIOR TO BEGINNING WORK.

LEGEND

EXISTING	PROPOSED
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SUBDIVISION PLAN, APPROVED BY THE CITY OF PORTLAND PLANNING BOARD

DATE

REV.	DATE	DESCRIPTION
1	3/3/02	REVISED PARKING & DUMPSTER LOCATION

OWNER: SAINT DOMINIC'S HOUSING LIMITED PARTNERSHIP
510 CUMBERLAND AVE. PORTLAND ME
SAINT DOMINIC'S CONDOMINIUM
GRAY STREET, PORTLAND, MAINE

PINKHAM & GREER
CONSULTING ENGINEERS, INC.
FALMOUTH, MAINE

SUBDIVISION PLAN

SCALE: AS SHOWN DRN BY: JDC
DATE: JULY 2, 2002 DESG BY: TSG
PROJECT: 02154 CHK BY: TSG

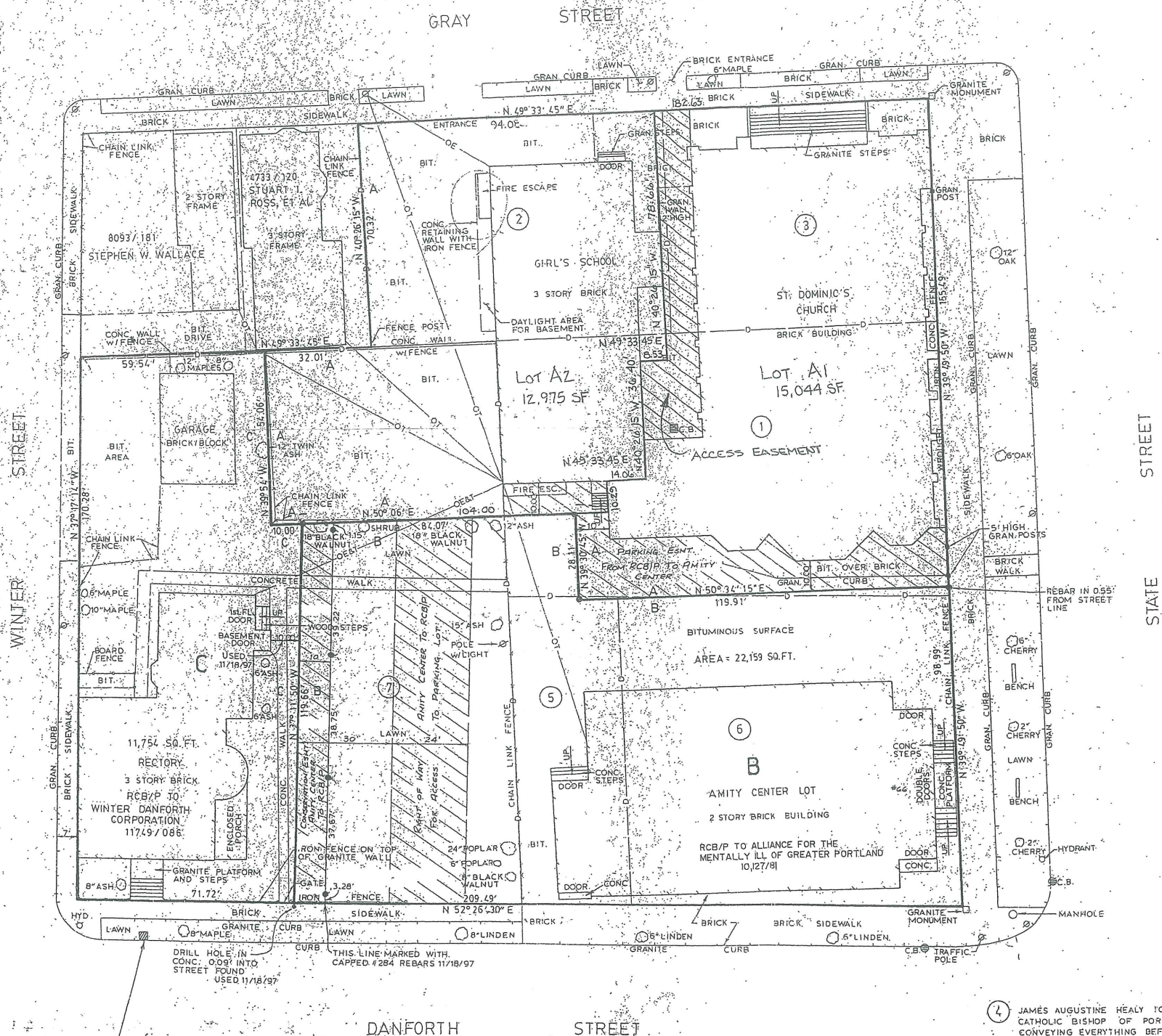


PLOT DATE: 2-7-02
FILE SCALE: 1"=1
CAD FILE: 01403

APPROVED BY THE CITY OF PORTLAND PLANNING BOARD

DATE

AH 24



- LEGEND:**
- ⊙ SIBI REBAR SET
 - ② DEED REFERENCE NUMBER
 - RCB/P ROMAN CATHOLIC BISHOP OF PORTLAND
 - ⊕ UTILITY POLE
 - TREE
 - ▭ CHAIN LINK FENCE
 - ▭ IRON FENCE
 - ▭ CURB
 - BIT. BITUMINOUS PAVEMENT
 - ▭ BUILDING
 - GRAN. GRANITE
 - ▭ CATCH BASIN
 - OE— OVERHEAD ELECTRIC
 - OT— OVERHEAD TELEPHONE
 - D— DEED LINE

PLAN REFERENCE:
 PLAN MADE BY H. A. J. JORDAN, FILE NO. 172, DATED 1904 AND 1911.
 "A" - ST. DOMINIC'S CHURCH LOT
 "B" - AMITY CENTER LOT
 "C" - RECTORY

- DEED REFERENCES:**
- 1) 257146 JOHN B. FITZPATRICK TO DAVID W. BACON, OCT. 27, 1865
 - 2) 334172 ROBERT EVANS TO RT. REV. DAVID W. BACON, MAY 6, 1865
 - 3) 4281504 GEORGE W. NICHOLS TO JAMES AUGUSTINE HEALY, APRIL 12, 1867
 - 4) 557178 JAMES AUGUSTINE HEALY TO THE ROMAN CATHOLIC BISHOP OF PORTLAND, A CORPORATION CREATED BY THE ACT OF THE LEGISLATURE OF THE STATE OF MAINE APPROVED THE 25TH DAY OF FEBRUARY, 1887
 - 5) 6151175 EBEN HARMON TO THE RCB/P, JULY 11, 1894
 - 6) 11231353 PHINEAS VARNUM STEPHENS TO THE RCB/P, DEC. 9, 1922
 - 7) 16431416 ELIAS THOMAS ESTATE TO THE RCB/P, JULY 17, 1941

AMITY CENTER LOT CERTIFICATION
 OWEN HASKELL, INC. HEREBY CERTIFIES TO LAWYERS TITLE INSURANCE COMPANY, MAINE HEALTH AND HIGHER EDUCATIONAL FACILITIES AUTHORITY AND THE ALLIANCE FOR THE MENTALLY ILL OF GREATER PORTLAND THAT THE AMITY CENTER LOT SHOWN HEREON IS THE RESULT OF AN ACTUAL SURVEY COMPLETED IN 1991 THAT NO ENCROACHMENTS EXIST, EITHER WALK OR ACROSS PROPERTY LINES AND THAT THIS LOT IS NOT IN A FLOOD HAZARD ZONE AS DEFINED BY HLD.

June 16, 1992
 DATE *Louis T. Maguire*
 LOUIS T. MAGUIRE, PLS NO. 284

NOTE: THE ORIGINAL OF THIS PLAN IS RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 192, PAGE 137, RECORDING DATE JUNE 22, 1992. SINCE THAT TIME THE PLAN HAS BEEN REVISED BY COMPLETING DIMENSIONS AROUND THE RECTORY LOT AND ADDING LOT IDENTIFICATIONS "A", "B", "C". THIS RECORDING OF THE PLAN IS TO BE A PART OF THE SALE OF THE RECTORY LOT.

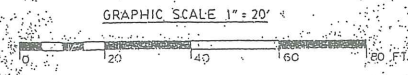
HISTORIC MONUMENT TO BE PRESERVED AS SHOWN ON CITY OF PORTLAND PUBLIC WORKS DEPT. PLAN FILE 710/5 SHI 20 OF 24

CERTIFICATE:
 OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON, AND IS THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS STANDARDS FOR A CATEGORY 1, CONDITION II SURVEY WITH THE FOLLOWING EXCEPTIONS:
 1) DEED DESCRIPTION WRITTEN ONLY FOR AMITY CENTER LOT
 2) NOT ALL CORNERS MARKED

Louis T. Maguire
 LOUIS T. MAGUIRE, PLS #284
 DATE Nov 26, 1991

STATE OF MAINE, CUMBERLAND SS
 REGISTRY OF DEEDS
 RECEIVED JUNE 22 1992
 AT 11:43:38 A.M. AND RECORDED
 IN PLAN BOOK 192, PAGE 137

ATTEST _____
 REGISTRAR



5/3/02	SPLIT LOT A	
11/16/97	MARKED EAST LINE CONSERVATION EASEMENT	
12/2/94	UPDATE FOR RE-RECORDING RE: RECTORY LOT	
1/18/94	LOT IDENTIFICATION	
10/14/93	RECTORY LOT	
6/16/92	TITLE BLOCK	
6/15/92	LAND TITLE CERTIFICATION, AMITY CENTER LOT	
12/2/91	RIGHT OF WAY AND EASEMENT AREAS	
LAND TITLE SURVEY OF AMITY CENTER LOT, 66 STATE STREET, PORTLAND, MAINE, MADE FOR THE ALLIANCE FOR THE MENTALLY ILL OF GREATER PORTLAND, 12 CEDAR ST., PORTLAND, MAINE. STANDARD BOUNDARY SURVEY OF THE ST. DOMINIC'S CHURCH LOT, RECORD OWNER, THE ROMAN CATHOLIC BISHOP OF PORTLAND, A CORPORATION SOLE, 510 OCEAN AVENUE, PORTLAND, MAINE.		
Owen Haskell, Inc. Civil Engineers Land Surveyors South Portland, Maine		
Drawn By: T.G.	Date: AUGUST 22, 1991	Job No: 94132P
Check By: LJM	Scale: 1" = 20'	Drawn No:
Bk No: 5/2/35		

**CITY OF PORTLAND
SITE PLAN AND SUBDIVISION NOTES**

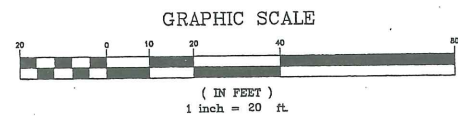
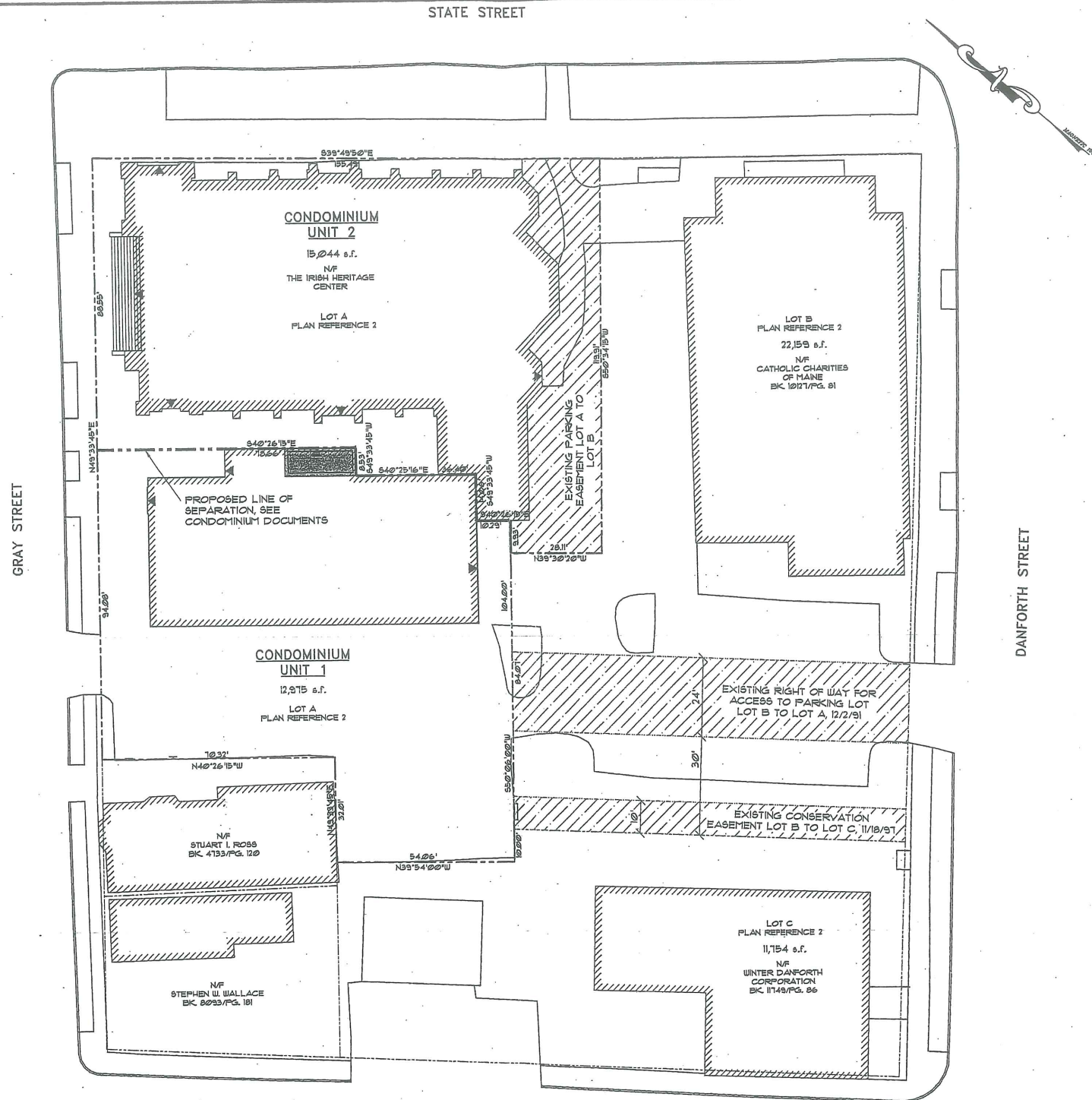
- LANDSCAPING SHALL MEET THE "ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE "CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES".
- THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION: TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION, AND SURFACING OF PARKING AREAS AND LOCATION AND SIZE OF BUILDINGS.
- SEE PLAN FOR INSTALLATION OF POWERLINE UTILITIES, OVERHEAD OR UNDERGROUND.
- SIDEWALKS AND CURBING SHALL BE DESIGNED AND BUILT WITH TYPED RAMPES AT ALL STREET CORNERS, CROSSWALKS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED IN ACCORDANCE WITH "MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES" PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. (NOTE: THE SITE PLAN SHOULD SPECIFY THE EROSION CONTROL DEVICE TO BE EMPLOYED: SILT FENCE, HAY BALE, ETC. AS WELL AS THEIR LOCATION.)
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
- ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES (SEE ABOVE).
- PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME, THE SITE/BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.
- ALL UTILITY SERVICE CONNECTIONS PROPOSED WITHIN CITY STREETS ARE TO BE INSPECTED BY THE INDIVIDUAL UTILITY COMPANIES AND THE CITY OF PORTLAND WHERE APPLICABLE.
- "SUBDIVISION SHALL MEAN THE DIVISION OF A LOT, TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE LOTS, INCLUDING LOTS OF FORTY (40) ACRES OR MORE, WITHIN ANY FIVE-YEAR PERIOD WHETHER ACCOMPLISHED BY SALE, LEASE, DEVELOPMENT, BUILDINGS OR OTHERWISE AND AS FURTHER DEFINED IN 30-A M.R.S.A. SECTION 4401. THE TERM "SUBDIVISION SHALL ALSO INCLUDE THE DIVISION OF A NEW STRUCTURE OR STRUCTURES ON A TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD AND THE DIVISION OF AN EXISTING STRUCTURE OR STRUCTURES PREVIOUSLY USED FOR COMMERCIAL OR INDUSTRIAL USE INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD. THE AREA INCLUDED IN THE EXPANSION OF AN EXISTING STRUCTURE IS DEEMED TO BE A NEW STRUCTURE FOR THE PURPOSE OF THIS PARAGRAPH. A DWELLING UNIT SHALL INCLUDE ANY PART OF A STRUCTURE WHICH, THROUGH SALE OR LEASE, IS INTENDED FOR HUMAN HABITATION INCLUDING SINGLE-FAMILY AND MULTIFAMILY HOUSING CONDOMINIUMS, TIME-SHARE UNITS AND APARTMENTS."

PLAN REFERENCES

- PLAN MADE BY H.I. & E.C. JORDAN, FILE NO. 112 DATED 1904 AND 1911
- SEE DEED REFERENCE #3
"A" ST. DOMINIC'S CHURCH LOT
"B" AMITY CENTER LOT
"C" RECTORY
- PLAN MADE BY OWEN HASKELL, INC. DATED AUGUST 22, 1991, REVISED 5/3/02 "LAND TITLE SURVEY OF AMITY CENTER LOT, 66 STATE STREET, PORTLAND, MAINE, MADE FOR THE ALLIANCE FOR THE MENTALLY ILL OF GREATER PORTLAND, 12 CEDAR ST., PORTLAND, MAINE. STANDARD BOUNDARY SURVEY OF THE ST. DOMINIC'S CHURCH LOT, RECORD OWNER, THE ROMAN CATHOLIC BISHOP OF PORTLAND, A CORPORATION SOLE, 510 OCEAN AVENUE, PORTLAND, MAINE."

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- 1123/353 PHINEHAS YARNUM STEPHENS TO THE RCB/P, DEC. 9, 1922.
- 1643/416 ELIAS THOMAS ESTATE TO THE RCB/P, JULY 11, 1941
- PLAN BOOK 182/151 RCB/P TO THE ALLIANCE FOR THE MENTALLY ILL OF GREATER PORTLAND, JUNE 22, 1992. THE PLAN HAS BEEN REVISED. THE REVISION OF 11/18/91 OF THE PLAN IS TO BE A RECORD PART OF THE SALE OF THE RECTORY LOT.

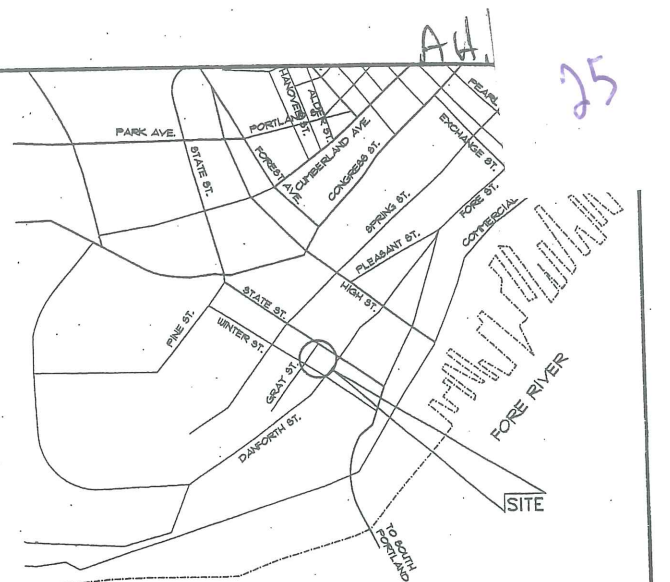


ZONING REQUIREMENTS

- ZONE R6: RESIDENTIAL ZONE
PERMITTED USES: RESIDENTIAL USES PERMITTED IN THE R6 ZONE THAT COMPLY WITH THE FOLLOWING DIMENSIONAL REQUIREMENTS:
- MINIMUM LOT SIZE: 4,500 S.F.
 - MINIMUM STREET FRONTAGE: 40 FEET
 - MINIMUM YARD DIMENSIONS:
 - FRONT YARD: 10 FEET
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 - SIDE YARD: 4 STORY BUILDING: 12 FEET
 - MAXIMUM LOT COVERAGE: 50%
 - MINIMUM LOT WIDTH: 50 FEET
 - MAXIMUM STRUCTURE HEIGHT: 45 FEET
 - OPEN SPACE RATIO: 20%
 - MAXIMUM RESIDENTIAL DENSITY: 60 DWELLING UNITS/ACRE
 - MAXIMUM BUILDING HEIGHT: 65 FEET
- PARKING: 1 1/2 PARKING SPACES PER DWELLING UNIT - FOR RENOVATION OF EXISTING BUILDING

SUBDIVISION PLAN, APPROVED BY THE
CITY OF PORTLAND PLANNING BOARD

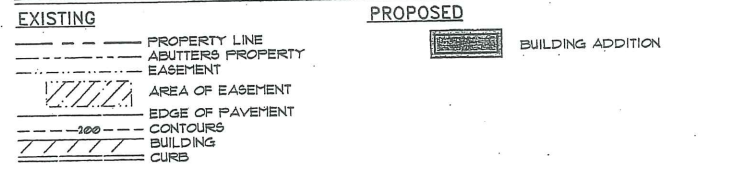
DATE



GENERAL NOTES

- OWNER/ DEVELOPER: SAINT DOMINIC'S HOUSING LIMITED PARTNERSHIP, 510 CUMBERLAND AVENUE, PORTLAND, MAINE 04101.
- ARCHITECT: TFH ARCHITECTS, PORTLAND, MAINE.
- ENGINEER: PINKHAM & GREER CONSULTING ENGINEERS, FALMOUTH, MAINE.
- TOPOGRAPHY TAKEN FROM CITY OF PORTLAND AERIAL PHOTOGRAPHY. ELEVATIONS ARE BASED CITY DATUM.
- BOUNDARY INFORMATION BY OWEN HASKELL, PORTLAND, MAINE, SEE DEED REFERENCE #3.
- SEE "CONDOMINIUM PLAN" BY TFH ARCHITECTS, PORTLAND MAINE FOR EASEMENT DESCRIPTION.
- LANDSCAPE DESIGN BY TFH ARCHITECTS, PORTLAND, MAINE.
- ZONE: R-6, RESIDENTIAL.
- TAX MAP REFERENCE: MAP 44, BLOCK H, LOTS 4.
- TOTAL LOT SIZE: 28,019 s.f.
UNIT 1 AREA: 12,915 s.f.
UNIT 1 BUILDING FOOTPRINT: 4,910 s.f.
UNIT 1 BUILDING FOOTPRINT AS % OF UNIT 1 AREA: 38 %
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- TRASH WILL BE STORED IN THE ENCLOSURE OUTDOORS FOR COLLECTION BY PROP PERSONNEL.
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- CALL DIG-SAFE (1-800-225-4911) PRIOR TO BEGINNING WORK.

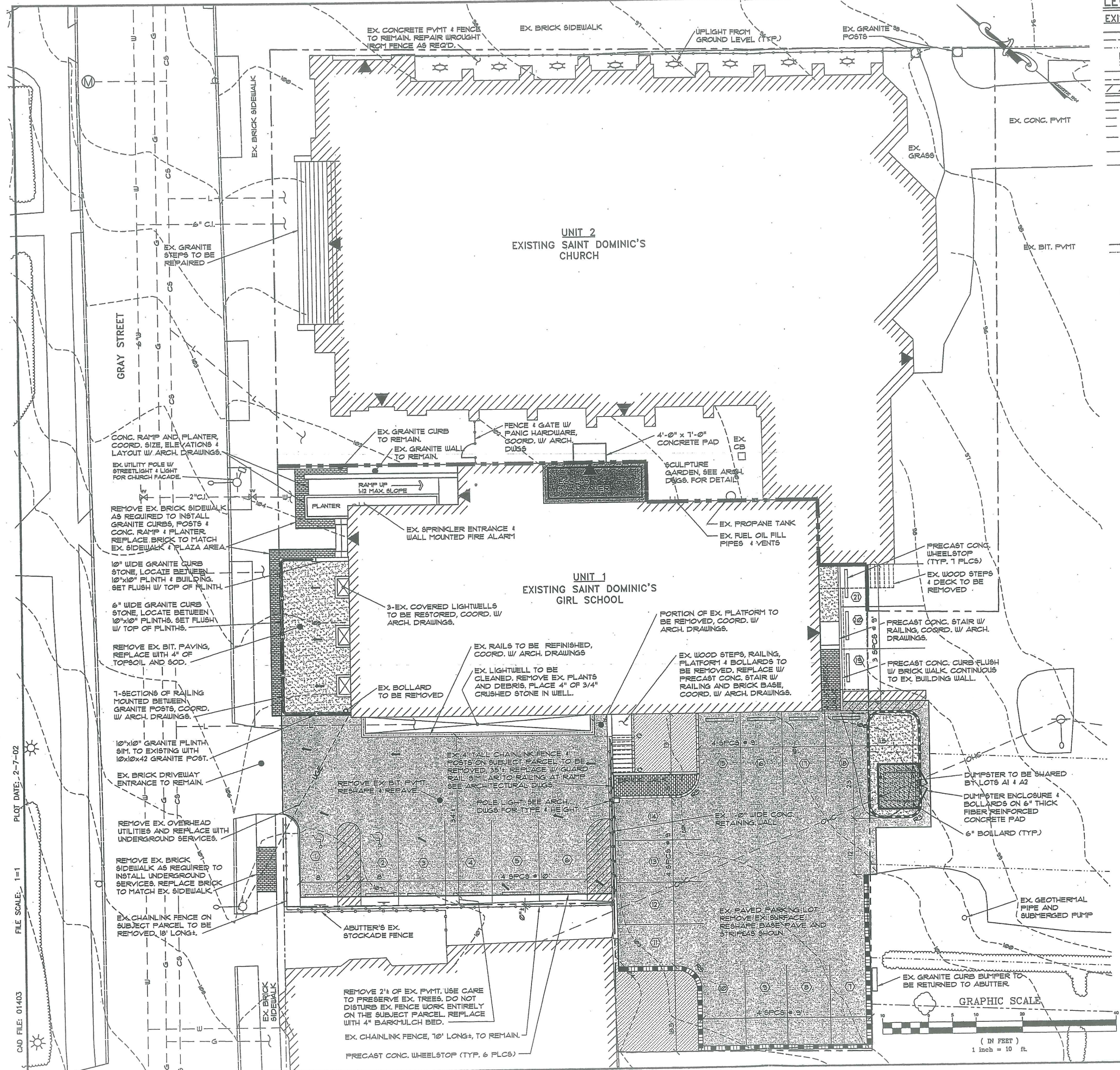
LEGEND



	1 9/3/02 REVISED PARKING & DUMPSTER LOCATION
	OWNER: SAINT DOMINIC'S HOUSING LIMITED PARTNERSHIP 510 CUMBERLAND AVE. PORTLAND ME SAINT DOMINIC'S CONDOMINIUM GRAY STREET, PORTLAND, MAINE
CONSULTING ENGINEERS, INC. FALMOUTH, MAINE	SUBDIVISION PLAN
SCALE: AS SHOWN DRN BY: JDC	DATE: JULY 2, 2002 DESG BY: TSG
PROJECT: 02154	CHK BY: TSG

PLOT DATE: 2-7-02
FILE SCALE: 1"=1
CAD FILE: 01403

44-26



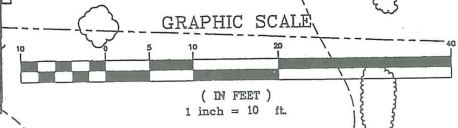
LEGEND

- | EXISTING | | PROPOSED | |
|-----------|-------------------------------|-----------|--------------------------------|
| --- | PROPERTY LINE | [Hatched] | BUILDING ADDITION |
| --- | ABUTTER'S PROPERTY EASEMENT | --- | EDGE OF PAVEMENT |
| [Hatched] | AREA OF EASEMENT | --- | VERTICAL GRANITE CURB |
| --- | EDGE OF PAVEMENT | --- | SLOPED GRANITE CURB |
| --- | CONTOURS | --- | BIT. CAPE COD CURB |
| --- | BUILDING CURB | --- | CONTOURS |
| --- | EDGE OF GRAVEL | --- | UNDERGROUND ELECTRIC GUARDRAIL |
| --- | GAS LINE | --- | 4" BOLLARD |
| --- | OHE | --- | SPOT GRADE |
| --- | OHC | --- | LIGHT POLE |
| --- | COMBINED SEWER AND STORMDRAIN | --- | UP-LIGHT |
| --- | LATERAL TO COMBINED SEWER | --- | SIGN |
| --- | WATER LINE | --- | HANDICAP PARKING |
| --- | MANHOLE | --- | PARKING SPACE DESIGNATION |
| --- | BOLLARD | --- | PAINTED "NO PARKING" AREA |
| --- | UTILITY POLE WITH STREETLIGHT | --- | SURFACE DRAINAGE |
| --- | IRON PIPE SET | --- | SOD |
| --- | CATCH BASIN | --- | BRICK SURFACE |
| --- | BOUND FOUND | --- | PAVEMENT |
| --- | HYDRANT | --- | BARK/MULCH |
| --- | GATE VALVE | --- | CONCRETE PAD |
| --- | GAS VALVE | | |

**CITY OF PORTLAND
SITE PLAN AND SUBDIVISION NOTES**

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- PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME, THE SITE-BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.
- ALL UTILITY SERVICE CONNECTIONS PROPOSED WITHIN CITY STREETS ARE TO BE INSPECTED BY THE INDIVIDUAL UTILITY COMPANIES AND THE CITY OF PORTLAND WHERE APPLICABLE.
- "SUBDIVISION SHALL MEAN THE DIVISION OF A LOT, TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE LOTS, INCLUDING LOTS OF FORTY (40) ACRES OR MORE, WITHIN ANY FIVE-YEAR PERIOD WHETHER ACCOMPLISHED BY SALE, LEASE, DEVELOPMENT, BUILDINGS OR OTHERWISE AND AS FURTHER DEFINED IN 30-A M.R.S.A. SECTION 4401. THE TERM "SUBDIVISION SHALL ALSO INCLUDE THE DIVISION OF A NEW STRUCTURE OR STRUCTURES ON A TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD AND THE DIVISION OF AN EXISTING STRUCTURE OR STRUCTURES PREVIOUSLY USED FOR COMMERCIAL OR INDUSTRIAL USE INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD. THE AREA INCLUDED IN THE EXPANSION OF AN EXISTING STRUCTURE IS DEEMED TO BE A NEW STRUCTURE FOR THE PURPOSE OF THIS PARAGRAPH. A DWELLING UNIT SHALL INCLUDE ANY PART OF A STRUCTURE WHICH, THROUGH SALE OR LEASE, IS INTENDED FOR HUMAN HABITATION, INCLUDING SINGLE-FAMILY AND MULTIFAMILY HOUSING CONDOMINIUMS, TIME-SHARE UNITS AND APARTMENTS."

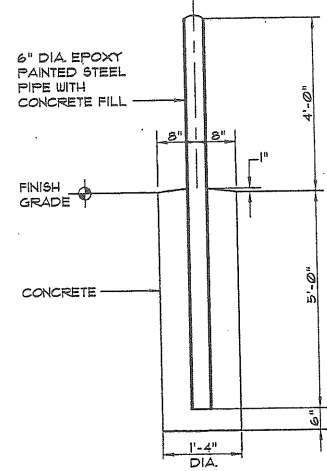
PLOT DATE: 2-7-02
FILE SCALE: 1"=1'
CAD FILE: 01403



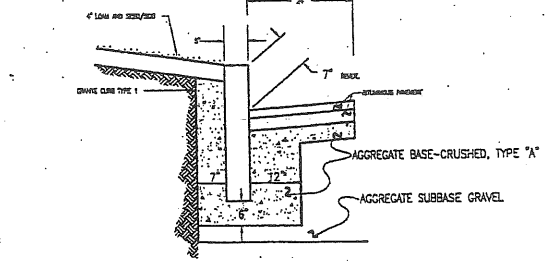
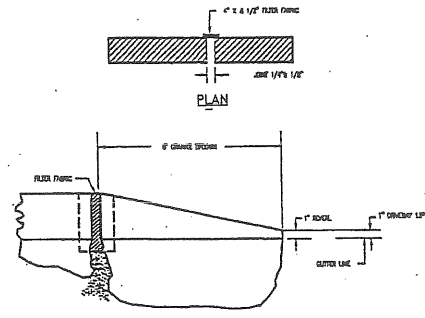
1	3/3/02	REVISED PARKING & DUMPSTER LOCATION
REV.	DATE	DESCRIPTION
OWNER: SAINT DOMINIC'S HOUSING LIMITED PARTNERSHIP 510 CUMBERLAND AVE. PORTLAND ME		
SAINT DOMINIC'S CONDOMINIUM GRAY STREET, PORTLAND, MAINE		
PINKHAM & GREER		
CONSULTING ENGINEERS, INC. REGISTERED PROFESSIONAL ENGINEERS		
SITE PLAN		
SCALE: AS SHOWN	DRN BY: JDC	C2
DATE: JULY 2, 2002	DESIGN BY: TSG	
PROJECT: 02154	CHK BY: TSG	



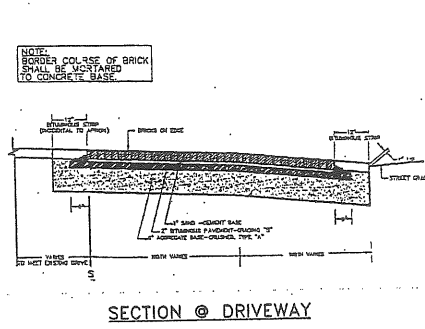
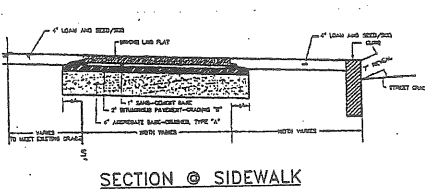
THOMAS S. GREER
4208
REGISTERED PROFESSIONAL ENGINEER
9/3/02



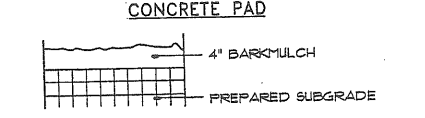
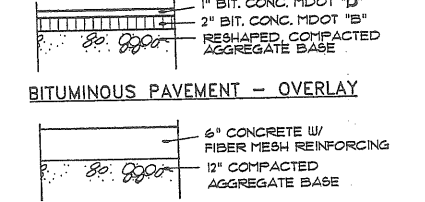
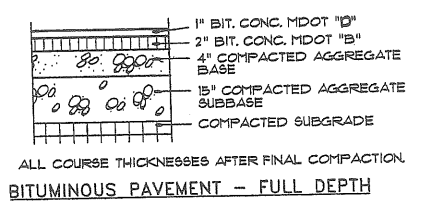
4 STEEL BOLLARD DETAIL
NOT TO SCALE



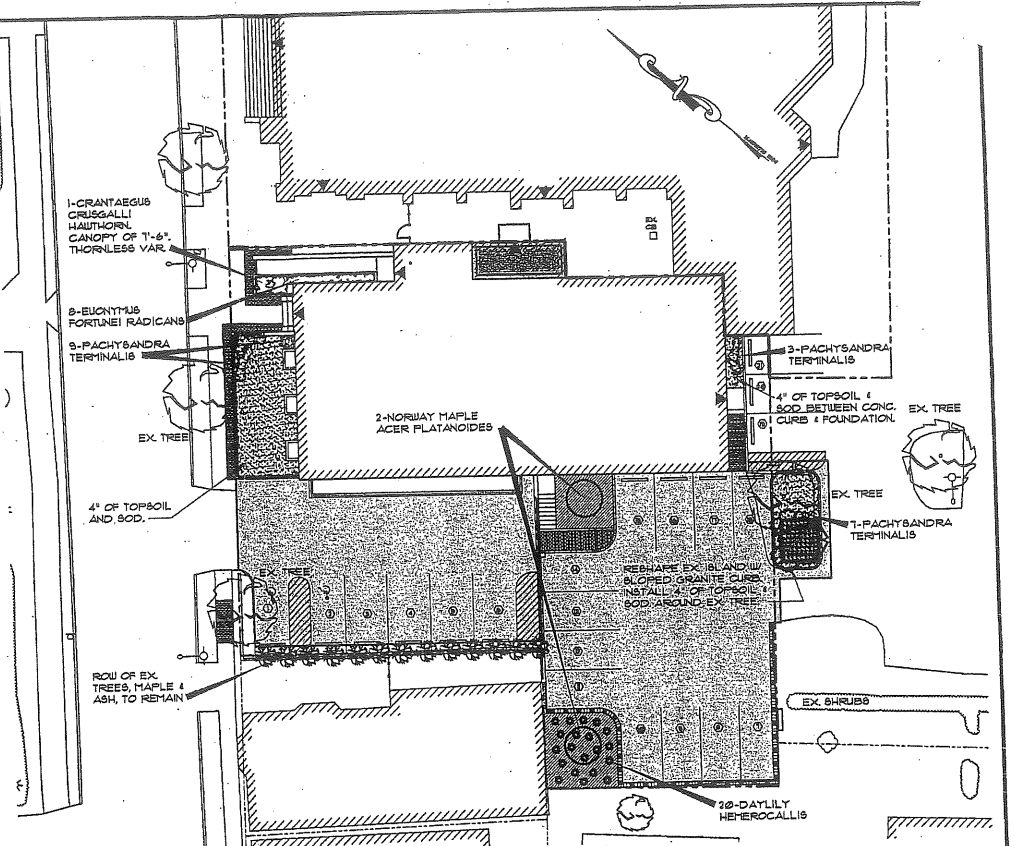
8 CURB INSTALLATION
NOT TO SCALE



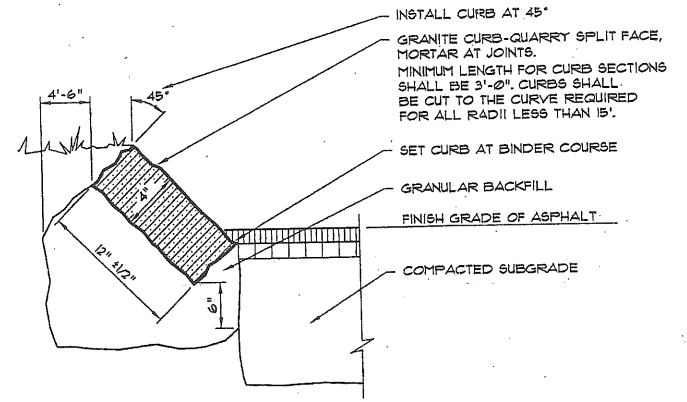
3 BRICK WITH BITUMINOUS BASE
SIDEWALK AND DRIVEWAY CONSTRUCTION
NOT TO SCALE



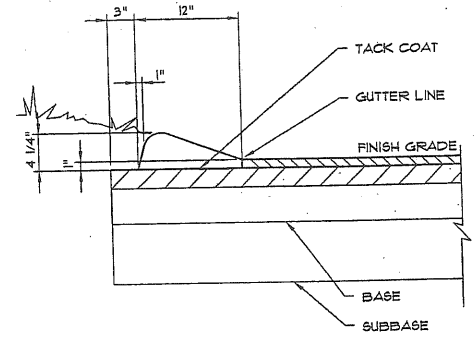
2 SURFACING DETAILS
NOT TO SCALE



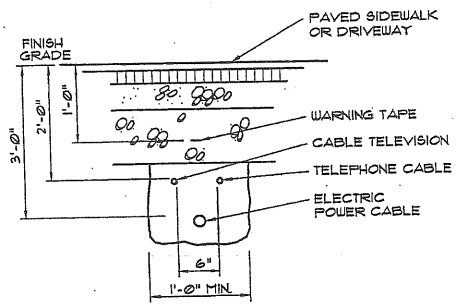
1 LANDSCAPE PLAN
SCALE: 1"=20'



7 SLOPED GRANITE CURB DETAIL
NOT TO SCALE

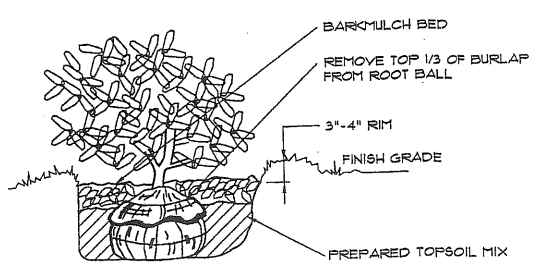


6 CAPE COD CURB DETAIL
NOT TO SCALE

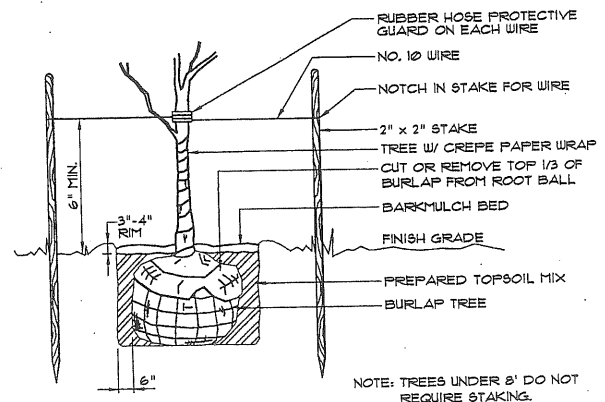


NOTES:
1. SEE CMP CO. STANDARD TRENCH FOR BACKFILL MATERIAL REQUIREMENTS.
2. PROVIDE SCH. 40 PVC CONDUIT UNDER PAVED AREAS.

5 UTILITY TRENCH SECTION
NOT TO SCALE

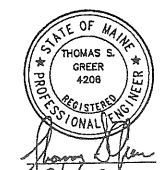


10 SHRUB PLANTING DETAIL
NOT TO SCALE



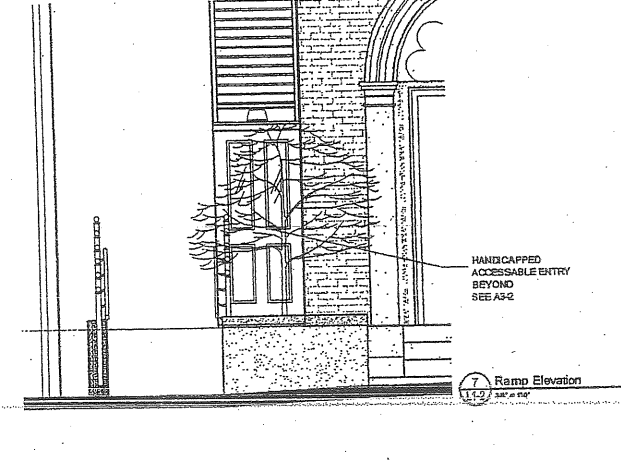
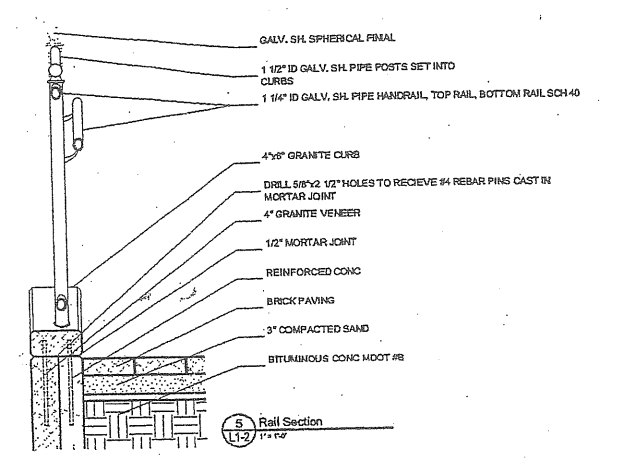
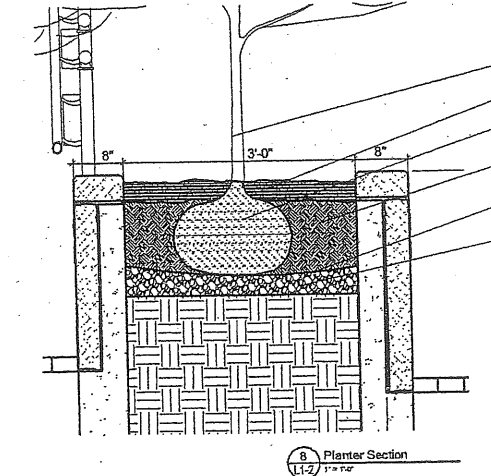
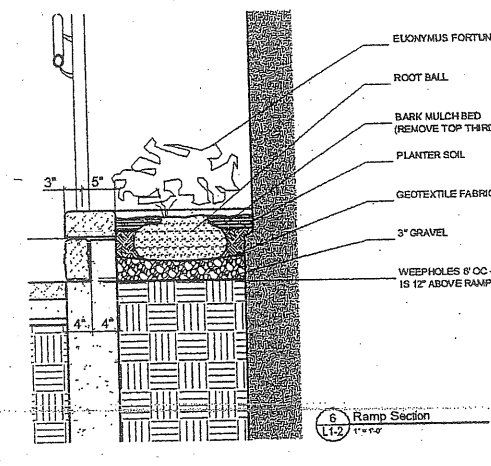
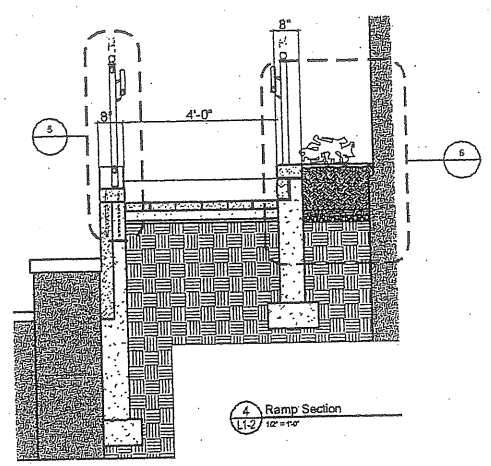
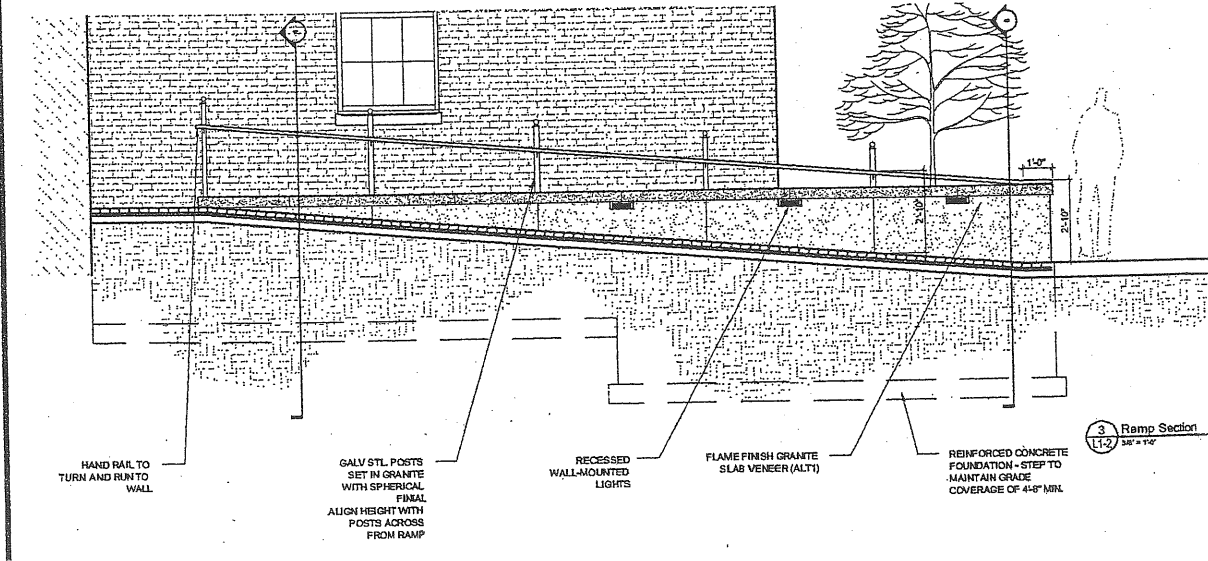
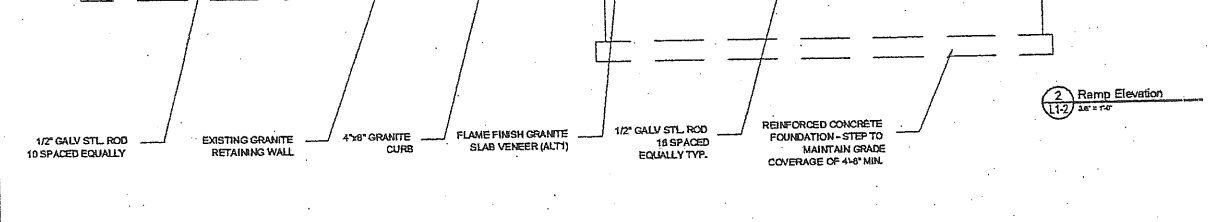
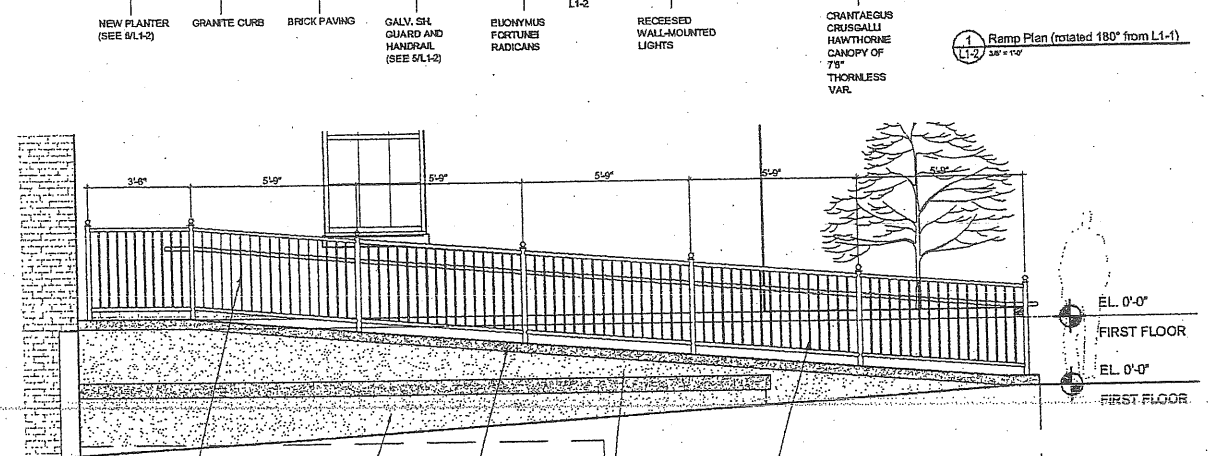
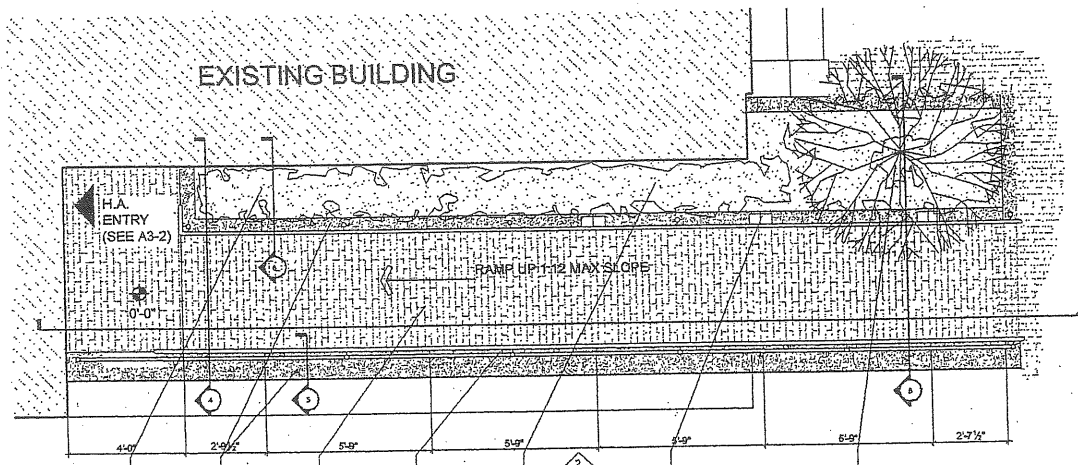
9 TREE PLANTING DETAIL
NOT TO SCALE

REVISED PARKING & DUMPSTER LOCATION	
1	9/3/02
REV.	DATE
DESCRIPTION	
OWNER: SAINT DOMINIC'S HOUSING LIMITED PARTNERSHIP 510 CUMBERLAND AVE. PORTLAND ME	
SAINT DOMINIC'S CONDOMINIUM GRAY STREET, PORTLAND, MAINE	
LANDSCAPE PLAN AND SITE DETAILS	
PINKHAM & GREER CONSULTING ENGINEERS, INC. FALMOUTH, MAINE	
SCALE: AS SHOWN	DRN BY: JDC
DATE: JULY 2, 2002	DESIGN BY: TSG
PROJECT: 02154	CHK BY: TSG



7/3/02

C3



GENERAL NOTES

1. DETAILS SHOW IMPLEMENTATION OF ALTERNATE #1 UPGRADED RAMP MATERIALS. BASE BID: CAST-IN-PLACE CONCRETE (NO GRANITE-VENEER)

ALT. #1 - REPLACE GRANITE CURB W/ PRECAST CONC. CURB
REPLACE BRICK PAVING WITH CAST-IN-PLACE REINFORCED CONC SLAB

PROGRESS PRINT ONLY
Not for Construction

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SAINT DOMINIC'S FAMILY HOUSING
For People's Regional Opportunity Program
And Portland West
PORTLAND, MAINE

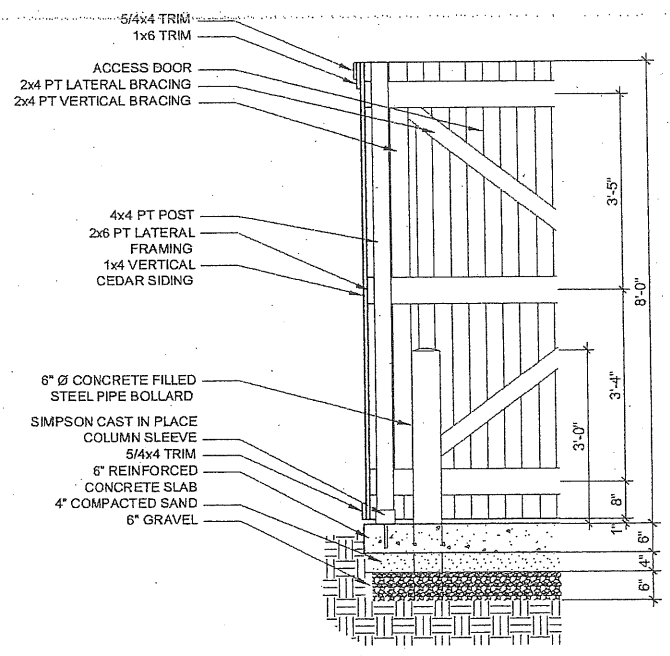
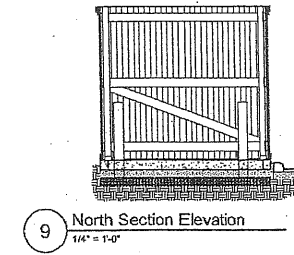
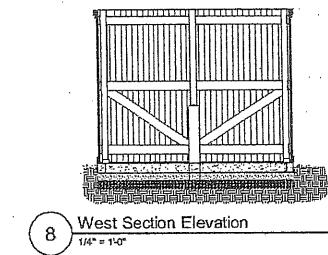
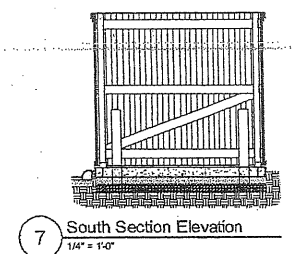
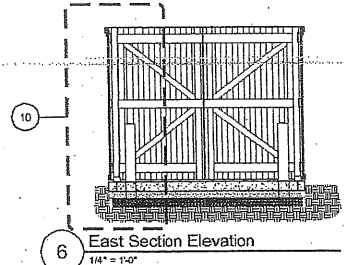
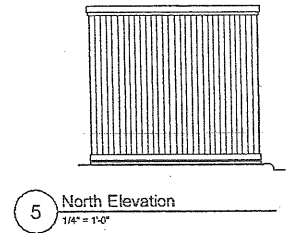
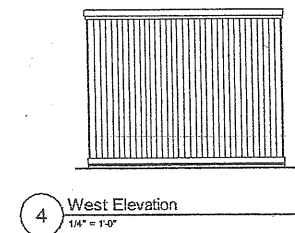
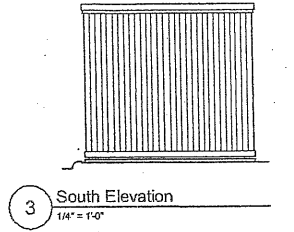
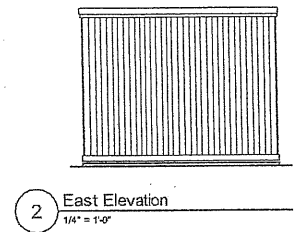
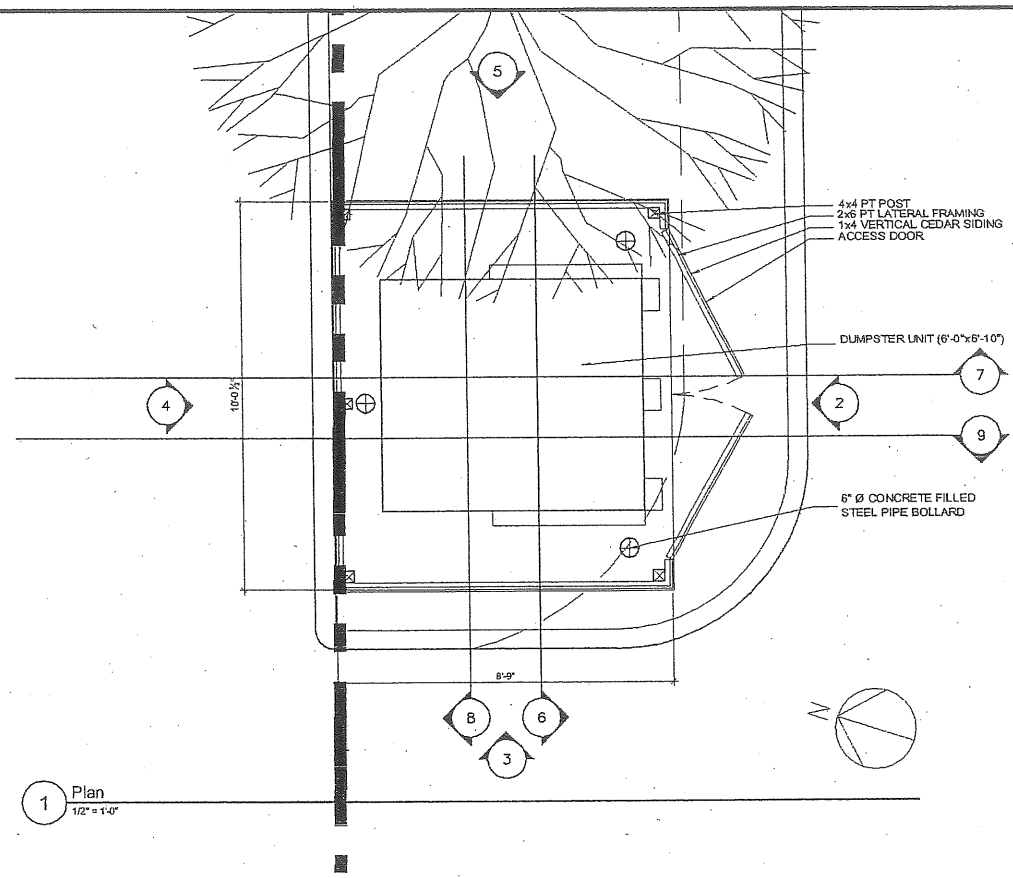
TFM ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 775 8141
ARCHITECTURE PLANNING

CONSULTANTS:

REVISIONS:

DATE: August 27, 2002
PROJECT No.: 0104
DRAWN BY: CMJ, CMB
CHECKED BY: CMB
SCALE: 1/8" = 1'-0"
SHEET TITLE:
Landscape Details

AS-1



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SAINT DOMINIC'S FAMILY HOUSING
St. Dominic's Housing Limited Partnership
PORTLAND, MAINE



TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 775 6141
ARCHITECTURE PLANNING

CONSULTANTS:
2002
Pittman & Grier Consulting Engineers
375 US A1
PORTLAND, ME 04103
207-761-6242

STRUCTURAL:
L. S. S. ENGINEERS
85 G Street
South Portland, ME 04086
207-875-4600

METALLURGY:
Metallurgical Engineering
10 Commercial
Portland, ME 04101
207-875-1340

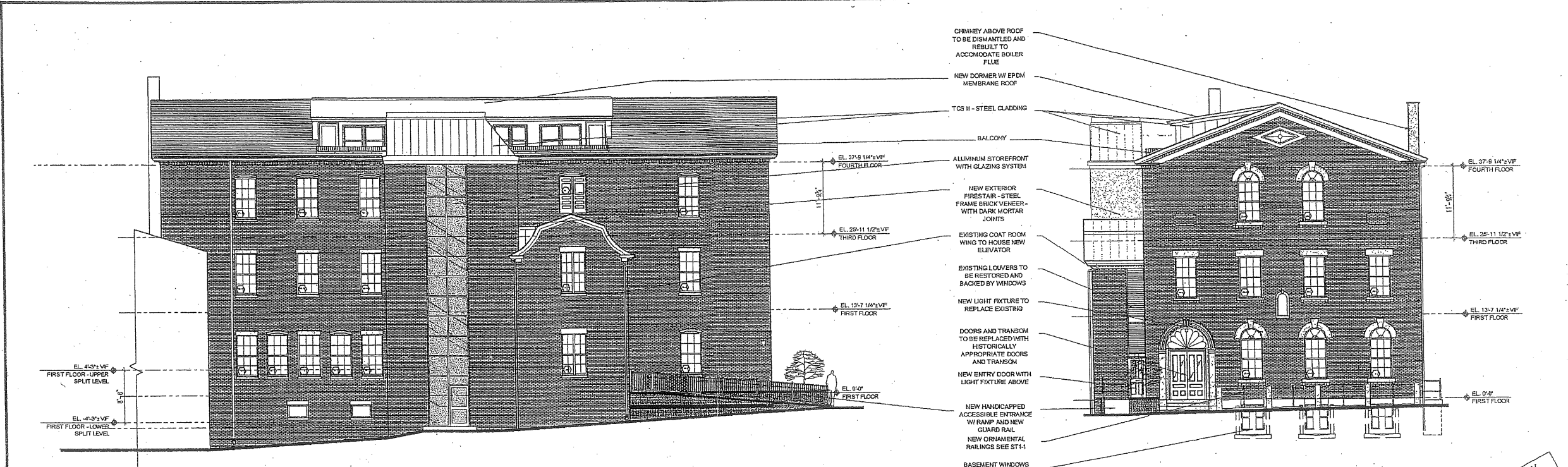
ELECTRICAL:
Electrical Engineering
178 Commercial Street
Portland, ME 04102
207-875-4100

REVISIONS:

DATE: September 3, 2002
PROJECT No. 0104
DRAWN BY: CMB, CMM
CHECKED BY: CMB
SCALE: As Marked

SHEET TITLE:
Enclosure Unit

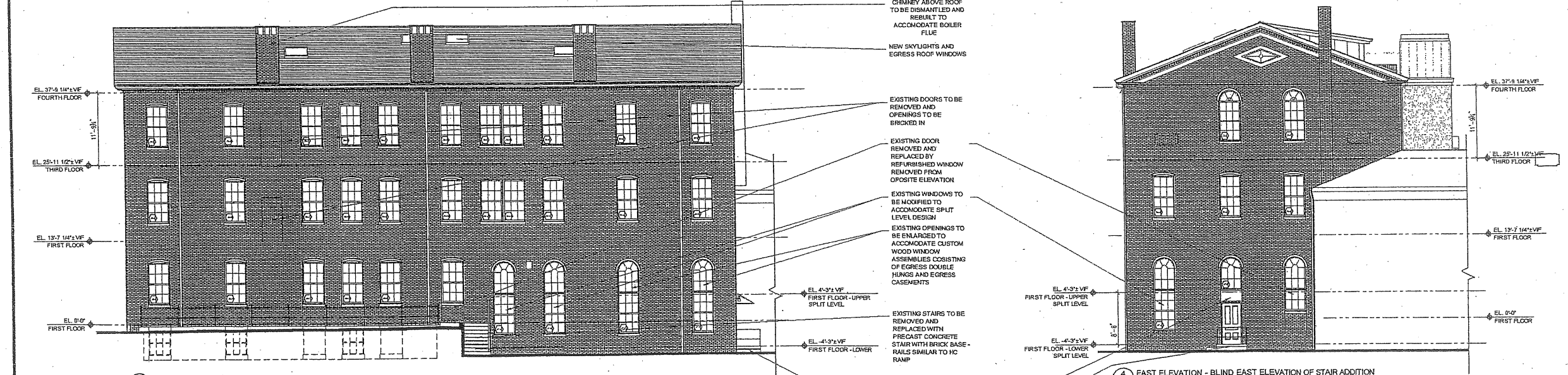
ST-3



1 BLIND NORTH ELEVATION
A2-1 1/8" = 1'-0"

2 WEST ELEVATION
A2-1 1/8" = 1'-0"

PROGRESS PRINT ONLY
Not for Construction

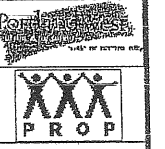


3 SOUTH ELEVATION
A2-1 1/8" = 1'-0"

4 EAST ELEVATION - BLIND EAST ELEVATION OF STAIR ADDITION
A2-1 1/8" = 1'-0"

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SAINT DOMINIC'S FAMILY HOUSING
St. Dominic's Housing Limited Partnership
PORTLAND, MAINE



TFH ARCHITECTS
180 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 775 6141
ARCHITECTURE PLANNING

CONSULTANTS:
CIVIL: William E. Grier Consulting Engineers
119 US PL 1
Portland, ME 04101
207-775-1042
STRUCTURAL: C.A.L. Morrill
36 G Street
South Portland, ME 04106
207-775-4000
MECHANICAL: William Engineering
15 Orchard St.
Portland, ME 04101
207-775-1100
ELECTRICAL: Norman Engineering
175 Oakwood Blvd
Portland, ME 04101
207-775-1001

REVISIONS:

DATE: August 23, 2002

PROJECT No. 0104

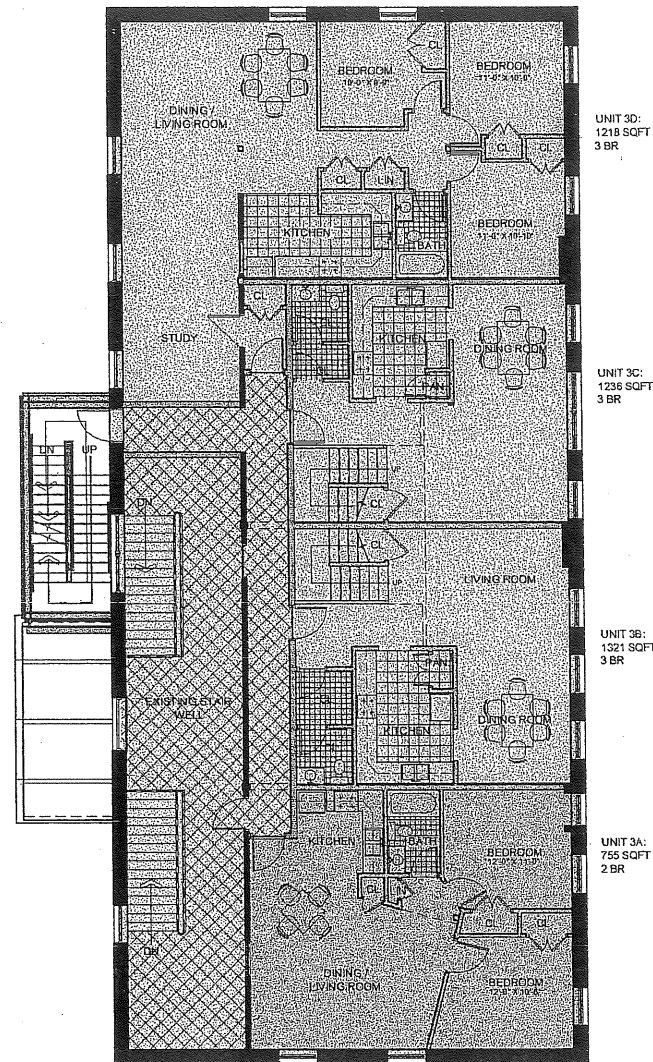
DRAWN BY: CMN, CMB

CHECKED BY: CMB

SCALE: 1/8" = 1'-0"

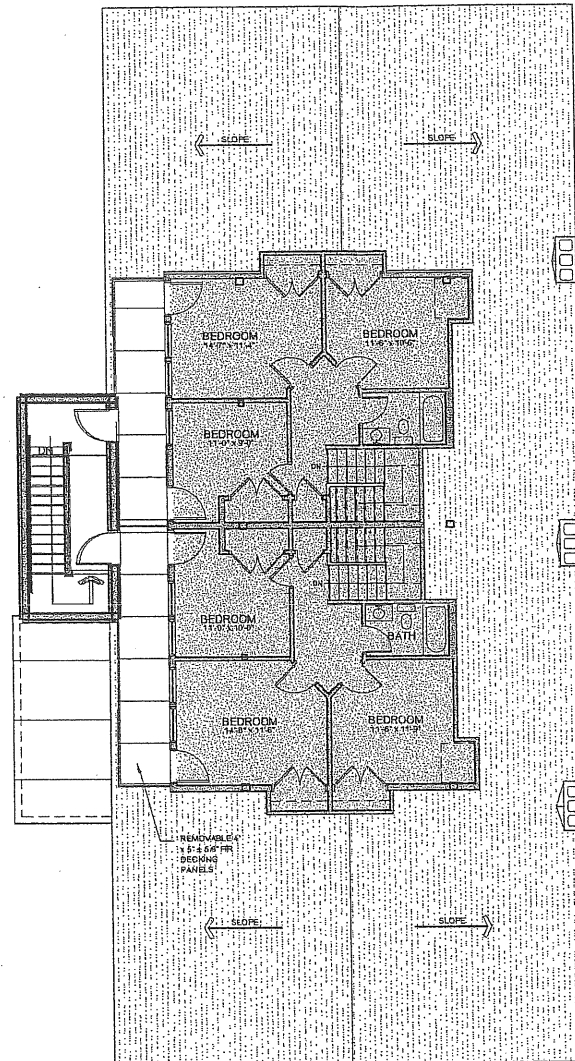
SHEET TITLE:

A2-1

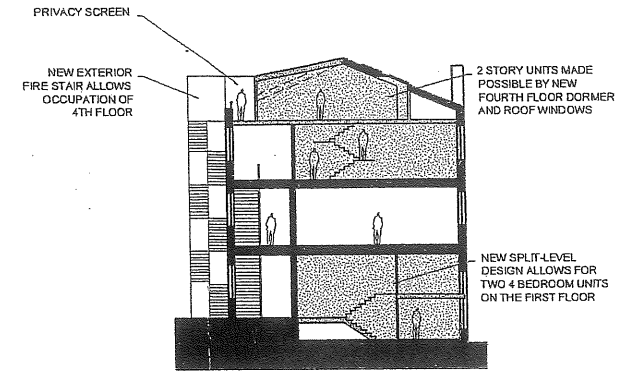


THIRD FLOOR
SCALE: 1/8" = 1'-0"

SECOND FLOOR SUMMARY
UNIT TOTAL: 4530 SQFT
PUBLIC: 1271 SQFT
NOTE: UNIT SQUARE FOOTAGES ARE MEASURED TO CENTER OF PARTY WALLS AND INSIDE FACE OF EXTERIOR WALLS.



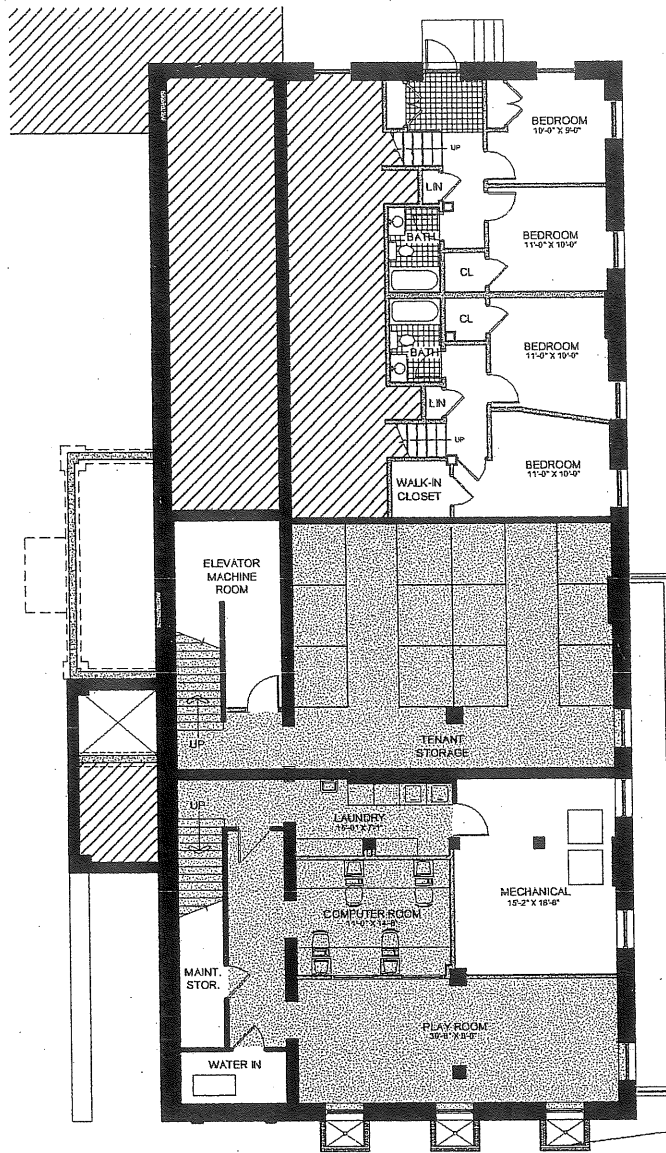
FOURTH FLOOR
SCALE: 1/8" = 1'-0"



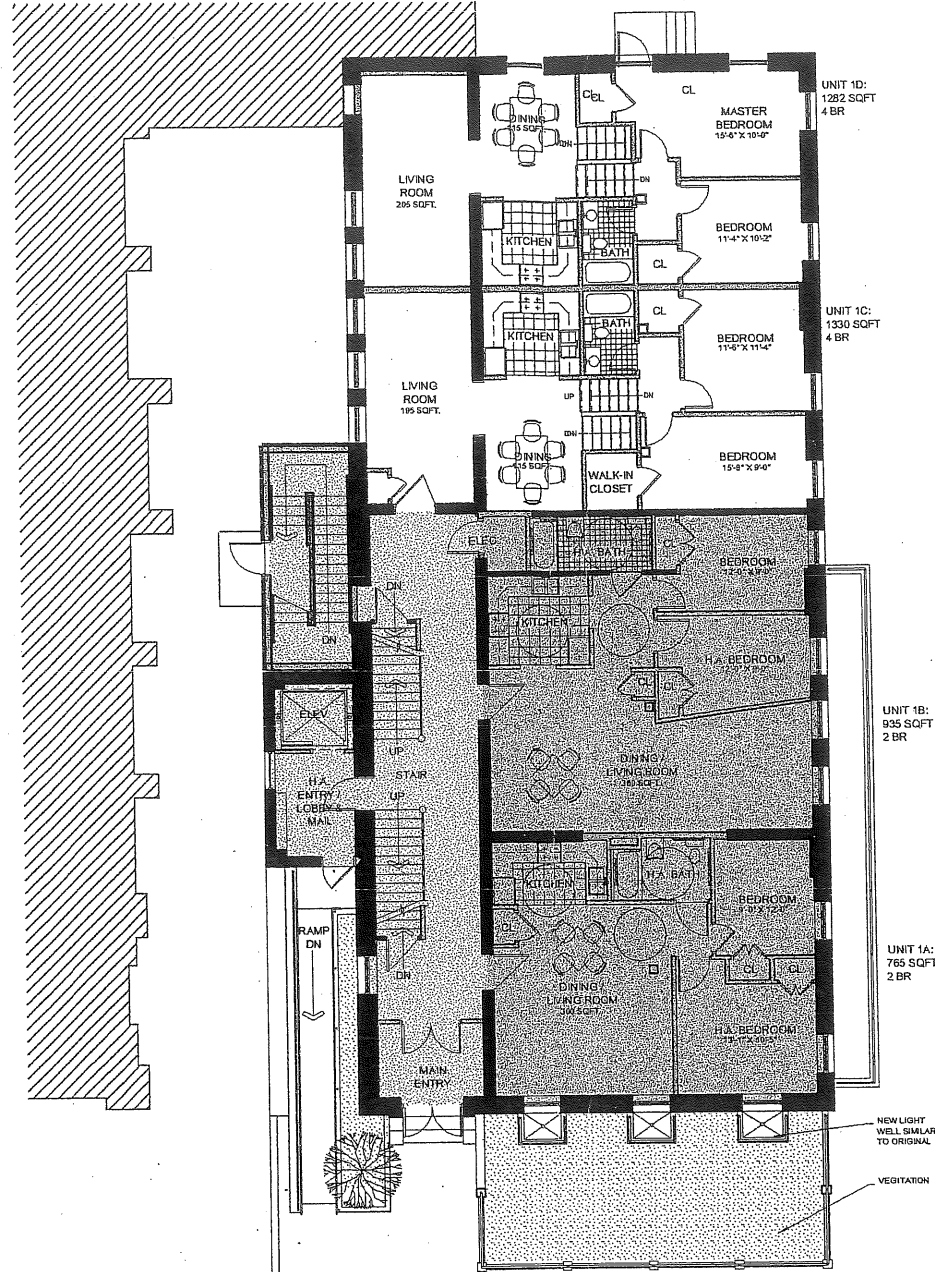
SCHEMATIC SECTION
SCALE: 1/16" = 1'-0"

SUMMARY OF UNITS				
	1 BDRM. UNITS	2 BDRM. UNITS	3 BDRM. UNITS	4 BDRM. UNITS
3RD & 4TH FLOOR		1 755 SQFT.	3 1,218 SQFT. 1,238 SQFT. 1,321 SQFT.	
SECOND FLOOR	1 661 SQFT.	2 760 SQFT. 752 SQFT.	1 1,058 SQFT.	
FIRST FLOOR		2 765 SQFT. 935 SQFT.		2 1,282 SQFT. 1,330 SQFT.
TOTAL	1 661 SQFT.	5 3,975 SQFT.	4 4,833 SQFT.	2 2,612 SQFT.
TOTAL OF 12 UNITS				

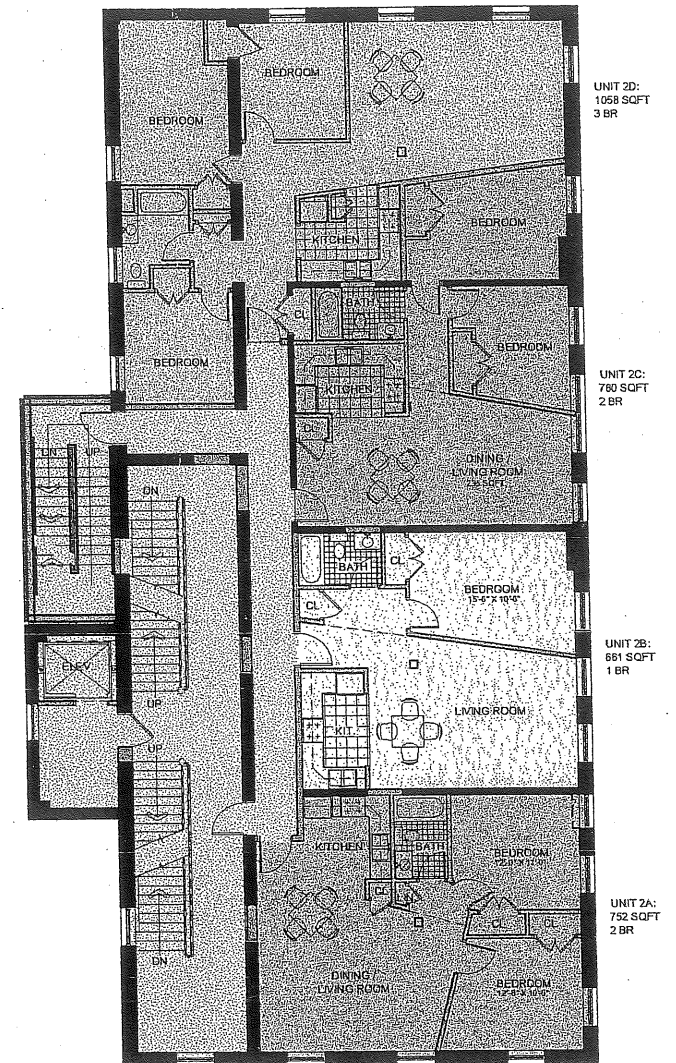
-TOTAL UNIT SQUARE FOOTAGE: 12,073 SQFT .-. INCLUDES 1/2 PARTY WALL, EXCLUDES EXTERIOR WALL
 -TOTAL COMMON CIRCULATION SQUARE FOOTAGE: 5,144 SQFT .-. INCLUDES EXTERIOR WALLS, PARTITIONS, AND CIRCULATION
 -TOTAL COMMON SPACE SQUARE FOOTAGE: 2,791 SQFT .-. INCLUDES LAUNDRY, COMPUTER ROOM, PLAY ROOM, MECHANICAL, PROJECT MAINTENANCE AND STORAGE
 -TOTAL PROJECT SQUARE FOOTAGE: 19,008 SQFT.



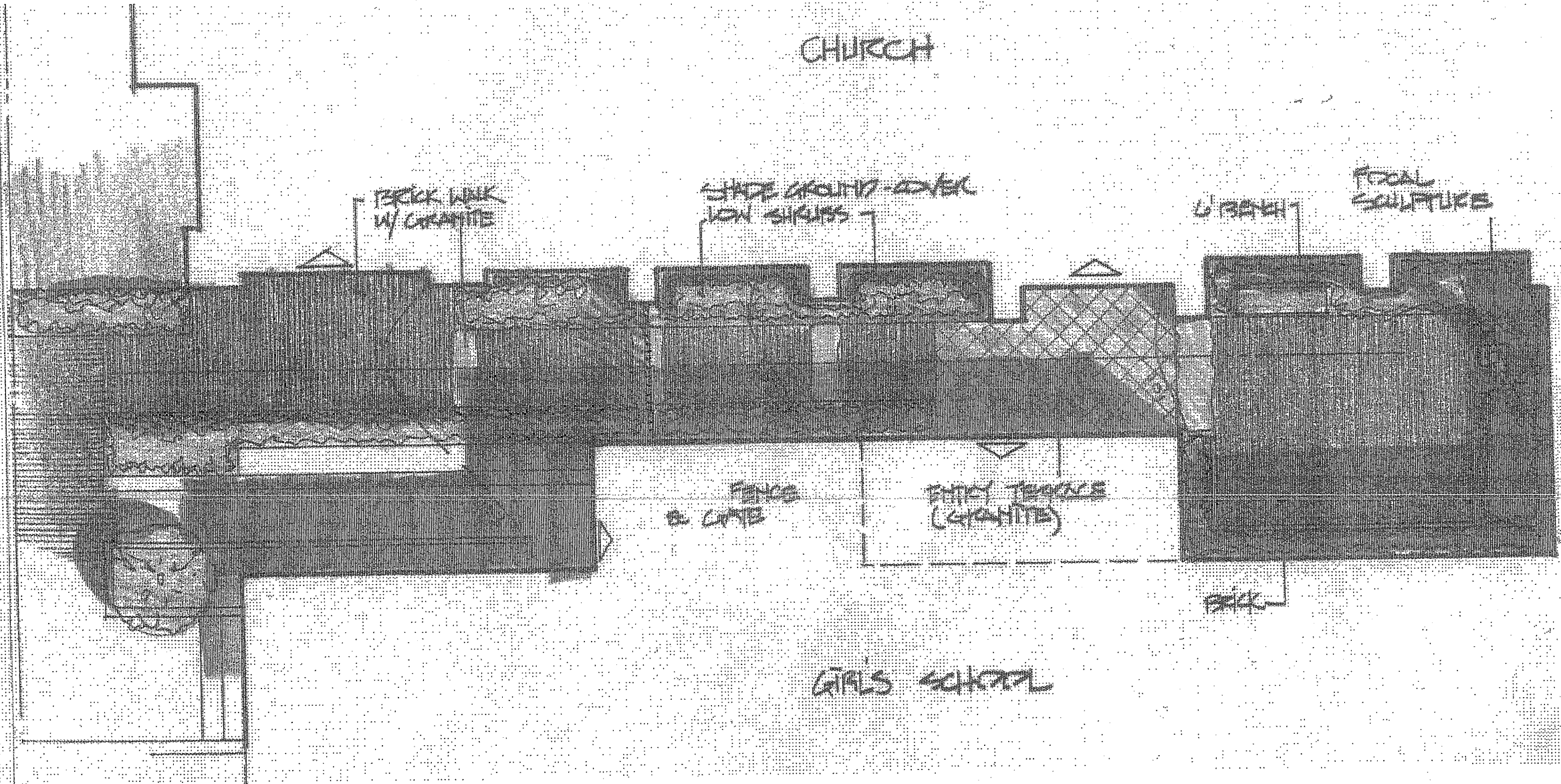
BASEMENT / LOWER LEVEL
SCALE: 1/8" = 1'-0"



FIRST FLOOR
SCALE: 1/8" = 1'-0"
FIRST FLOOR SUMMARY
UNIT TOTAL: 4312 SQFT
PUBLIC: 878 SQFT
NOTE: UNIT SQUARE FOOTAGES ARE MEASURED TO CENTER OF PARTY WALLS AND INSIDE FACE OF EXTERIOR WALLS.



SECOND FLOOR
SCALE: 1/8" = 1'-0"
SECOND FLOOR SUMMARY
UNIT TOTAL: 3231 SQFT
PUBLIC: 1195 SQFT
NOTE: UNIT SQUARE FOOTAGES ARE MEASURED TO CENTER OF PARTY WALLS AND INSIDE FACE OF EXTERIOR WALLS.



THE ARCHITECTS
 180 COMMERCIAL STREET
 PORTLAND MAINE 04101
 TELEPHONE 207 773 6343
 ARCHITECTURE PLANNING

1 LANDSCAPE PLAN
 N.T.S.

TONY MUENCH
 LANDSCAPE ARCHITECT
 94 COMMERCIAL STREET
 PORTLAND, MAINE 04101
 TELEPHONE 207 764 6624

Saint Dominic's Irish Heritage Center

September 3, 2002