

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND

# BUILDING PERMIT

PERMIT ISSUED

This is to certify that HERITAGECENTER IRISH

Located At 3 GRAY

Job ID: 2011-03-519-ALTCOMM

CBL: 044 - - H - 004 - 002 - - - -

MAR 17 2011

City of Portland

has permission to Install Vertical Platform Lift and Shaft

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY.**

**PENALTY FOR REMOVING THIS CAR**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-03-519-ALTCOMM	Date Applied: 3/2/2011	CBL: 044 - - H - 004 - 002 - - - - -	
Location of Construction: 34 GRAY	Owner Name: HERITAGE CENTER IRISH	Owner Address: PO BOX 7588 PORTLAND, ME - MAINE 04112	Phone:
Business Name:	Contractor Name: Chretien, Carl	Contractor Address: 35 Berry RD SACO, MAINE 04072	Phone: 284-5843
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: R-6
Past Use: Irish Community Center a Community Hall by definition	Proposed Use: SAME Irish Community Center a Community Hall by zoning definition - to add an internal vertical platform lift	Cost of Work: 45000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: Type: <i>IBC 09</i>
		Signature: <i>CAPT. R. Sanborn</i>	Signature: <i>[Signature]</i>
Proposed Project Description: 34 Gray - Irish Heritage Center - to add a vertical platform lift		Pedestrian Activities District (P.A.D.)	
Permit Taken By:	<b>Zoning Approval</b>		

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <i>OK with conditions</i> <i>3/4/11</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <i>within</i> <input type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>Any extension or work requires a separate review &amp; approval</i>
	<b>CERTIFICATION</b>		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHON



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 34 Gray Street		
Total Square Footage of Proposed Structure/Area 36		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# 044          H004          002	Applicant <b>'must be owner, Lessee or Buyer'</b> Name Maine Irish Heritage Center Address 34 Gray Street City, State & Zip Portland, ME 04101	Telephone:
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ 45,000.00 C of O Fee: \$ <del>100</del> 470 Total Fee: \$ <u>100</u> <u>\$570</u>
Current legal use (i.e. single family) <u>Function Hall</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>accessibility</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: Install vertical platform lift and shaft for 3 stops with 1 hour fire rating from basement to first floor with intermediate stop at street level. Shaft walls to be continuous from top to bottom with floor framing attached to sidewalls as detailed by engineer and architect. 1 hour fire doors and frames to be installed with ADA hardware, smoke detectors as required and rework fire sprinklers to meet state code.		
Contractor's name: <u>Chretien Construction Inc</u> Address: <u>35 Berry Rd</u> City, State & Zip <u>Saco, ME 04072</u> Telephone: <u>207-284-5843</u> Who should we contact when the permit is ready: <u>Carl Chretien</u> Telephone: <u>207-229-5843</u> Mailing address: <u>Same</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Carl M Chretien Date: February 27, 2011

This is not a permit; you may not commence ANY work until the permit is issue

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MAR 1 2011  
Dept. of Building Inspections  
City of Portland Maine

470 + 100 Belated # 3802

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
  - **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
  - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
1. Close-in inspection of framing, electrical, and plumbing required prior to installing drywall.
  2. All fire penetrations must be properly sealed with a rated product.
  3. Final inspection required upon completion of work prior to use.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCU0PIED.



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life* • [www.portlandmaine.gov](http://www.portlandmaine.gov)

Director of Planning and Urban Development  
Penny St. Louis

Job ID: 2011-03-519-ALTCOMM

Located At: 3 GRAY

CBL: 044 - - H - 004 - 002 - - - -

## **Conditions of Approval:**

### **Zoning**

1. ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.
2. This property shall remain a Community Hall as permitted in the R-6 residential zone and approved by the Planning Board. Any change of use shall require a separate permit application for review and approval.

### **Fire**

Fire Conditions:

All construction shall comply with City Code Chapter 10.

Platform lift shall meet ADA requirements, enforced by the State.

Lift may need to be inspected by the State Elevator Inspector.

Capt. Gautreau

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Lift may need to be inspected by the State Elevator Inspector.

Capt. Gautreau

**Job Summary Report**  
**Job ID: 2011-03-519-ALTCOMM**

Report generated on Mar 3, 2011 3:43:35 PM

Page 1

<b>Job Type:</b>	Adds/Alter Commercial	<b>Job Description:</b>	34 Gray - AKA 3 Gray St Dom's Housing Assoc	<b>Job Year:</b>	2011
<b>Building Job Status Code:</b>	In Review	<b>Pin Value:</b>	783	<b>Tenant Name:</b>	St Dom's Housing Assoc
<b>Job Application Date:</b>		<b>Public Building Flag:</b>	N	<b>Tenant Number:</b>	
<b>Estimated Value:</b>	45,000	<b>Square Footage:</b>			
<b>Related Parties:</b>		HERITAGE IRISH		<i>Property Owner</i>	
		Chretien Construction Inc - Carl Chretien		<i>MECHANICAL CONTRACTOR</i>	

**Job Charges**

Fee Code Description	Charge Amount	Permit Charge Adjustment	Net Charge Amount	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Net Payment Amount	Outstanding Balance
Belated Fees	\$100.00		\$100.00						\$100.00
Job Valuation Fees	\$470.00		\$470.00						\$470.00

**Location ID: 47542**

**Location Details**

Alternate Id	Parcel Number	Census Tract	GIS X	GIS Y	GIS Z	GIS Reference	Longitude	Latitude	
	044 H 004 002		M				-70.262647	43.650264	
			<i>R-4</i>						
Location Type	Subdivision Code	Subdivision Sub Code	Related Persons	Address(es)					
1				3 GRAY STREET WEST					
Location Use Code	Variance Code	Use Zone Code	Fire Zone Code	Inside Outside Code	District Code	General Location Code	Inspection Area Code	Jurisdiction Code	
BENEVOLENT & CHARITABLE					Historic District		DISTRICT 3		

**Structure Details**

**Structure: 12 Unit Residential**

**Occupancy Type Code:**

Structure Type Code	Structure Status Type	Square Footage	Estimated Value	Address
Mutli-Family 5+ Building	0			3 GRAY STREET WEST

**Longitude Latitude GIS X GIS Y GIS Z GIS Reference**

**User Defined Property Value**

*Community Hall  
~~Center Hall~~ 3/2/11 in Que in Historic*





# Certificate of Design Application

From Designer: tll-architects, LLC John Turk  
 Date: 16 August 2010  
 Job Name: Maine Irish Heritage Center New Vertical Platform Lift  
 Address of Construction: 34 Gray Street

## 2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year 2003 IBC Use Group Classification (s) A-3  
 Type of Construction III A&B  
 Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC no NFPA 13  
 Is the Structure mixed use? no If yes, separated or non separated or non separated (section 302.3) \_\_\_\_\_  
 Supervisory alarm System? yes Geotechnical/Soils report required? (See Section 1802.2) NA

### Structural Design Calculations

\_\_\_\_\_ Submitted for all structural members (106.1 - 106.11)

### Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
Corridor	Existing

### Wind loads (1603.1.4, 1609)

NA \_\_\_\_\_ Design option utilized (1609.1.1, 1609.6)  
 NA \_\_\_\_\_ Basic wind speed (1809.3)  
 NA \_\_\_\_\_ Building category and wind importance factor,  $I_w$ ,  
 table 1604.5, 1609.5)  
 NA \_\_\_\_\_ Wind exposure category (1609.4)  
 NA \_\_\_\_\_ Internal pressure coefficient (ASCE 7)  
 NA \_\_\_\_\_ Component and cladding pressures (1609.1.1, 1609.6.2.2)  
 NA \_\_\_\_\_ Main force wind pressures (7603.1.1, 1609.6.2.1)

### Earth design data (1603.1.5, 1614-1623)

NA \_\_\_\_\_ Design option utilized (1614.1)  
 NA \_\_\_\_\_ Seismic use group ("Category")  
 NA \_\_\_\_\_ Spectral response coefficients,  $S_D$  &  $S_{D1}$  (1615.1)  
 NA \_\_\_\_\_ Site class (1615.1.5)

NA \_\_\_\_\_ Live load reduction  
 NA \_\_\_\_\_ Roof live loads (1603.1.2, 1607.11)  
 NA \_\_\_\_\_ Roof snow loads (1603.7.3, 1608)  
 NA \_\_\_\_\_ Ground snow load,  $P_g$  (1608.2)  
 NA \_\_\_\_\_ If  $P_g > 10$  psf, flat-roof snow load  $P_f$   
 NA \_\_\_\_\_ If  $P_g > 10$  psf, snow exposure factor,  $C_e$   
 NA \_\_\_\_\_ If  $P_g > 10$  psf, snow load importance factor,  $I_s$   
 NA \_\_\_\_\_ Roof thermal factor,  $C_t$  (1608.4)  
 NA \_\_\_\_\_ Sloped roof snowload,  $P_s$  (1608.4)  
 NA \_\_\_\_\_ Seismic design category (1616.3)  
 NA \_\_\_\_\_ Basic seismic force resisting system (1617.6.2)  
 NA \_\_\_\_\_ Response modification coefficient,  $R$ , and  
 deflection amplification factor  $C_{di}$  (1617.6.2)  
 NA \_\_\_\_\_ Analysis procedure (1616.6, 1617.5)  
 NA \_\_\_\_\_ Design base shear (1617.4, 1617.5.1)

### Flood loads (1803.1.6, 1612)

NA \_\_\_\_\_ Flood Hazard area (1612.3)  
 NA \_\_\_\_\_ Elevation of structure

### Other loads

NA \_\_\_\_\_ Concentrated loads (1607.4)  
 NA \_\_\_\_\_ Partition loads (1607.5)  
 NA \_\_\_\_\_ Misc. loads (Table 1607.8, 1607.6.1, 1607.7,  
 1607.12, 1607.13, 1610, 1611, 2404)

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 City of Portland Maine



# Commercial Interior & Change of Use Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

## **One (1) complete set of construction drawings must include:**

Note: Construction documents for costs in excess of \$50,000.00 must be prepared by a Design Professional and bear their seal.

- Cross sections w/framing details
- Detail of any new walls or permanent partitions
- Floor plans and elevations
- Window and door schedules
- Complete electrical and plumbing layout.
- Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment or other types of work that may require special review
- Insulation R-factors of walls, ceilings, floors & U-factors of windows as per the IECC 2003
- Proof of ownership is required if it is inconsistent with the assessors records.
- Reduced plans or electronic files in PDF format are required if originals are larger than 11" x 17".
- Per State Fire Marshall, all new bathrooms must be ADA compliant.

Separate permits are required for internal and external plumbing, HVAC & electrical installations.

## **For additions less than 500 sq. ft. or that does not affect parking or traffic, a site plan exemption should be filed including:**

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines.
- Location and dimensions of parking areas and driveways, street spaces and building frontage.
- Dimensional floor plan of existing space and dimensional floor plan of proposed space.

**A Minor Site Plan Review is required for any change of use between 5,000 and 10,000 sq. ft. (cumulatively within a 3-year period)**

## Fire Department requirements.

The following shall be submitted on a separate sheet:

- Name, address and phone number of applicant **and** the project architect.
- Proposed use of structure (NFPA and IBC classification)
- Square footage of proposed structure (total and per story)
- Existing and proposed fire protection of structure.
- Separate plans shall be submitted for
  - a) Suppression system
  - b) Detection System (separate permit is required)
- A separate Life Safety Plan must include:
  - a) Fire resistance ratings of all means of egress
  - b) Travel distance from most remote point to exit discharge
  - c) Location of any required fire extinguishers
  - d) Location of emergency lighting
  - e) Location of exit signs
  - f) NFPA 101 code summary
- Elevators shall be sized to fit an 80" x 24" stretcher.

For questions on Fire Department requirements call the Fire Prevention Officer at (207) 874-8405.

**Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.**

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Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

**This is not a Permit; you may not commence any work until the Permit is issued.**

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# Accessibility Building Code Certificate

Designer: tfl-architects, LLC

Address of Project: 34 Gray Street

Nature of Project: Installation of vertical lift

\_\_\_\_\_

\_\_\_\_\_

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: *John Turk*

Title: Architect

Firm: tfl-architects LLC

Address: 28 Danforth St  
Portland ME 04101

Phone: 207.761.9662

For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)



# Certificate of Design

Date: 2/25/2011

From: John Turk

These plans and / or specifications covering construction work on:

Vertical Lift Platform

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.



(SEAL)

Signature: *John Turk*

Title: Architect

Firm: tfl-architects, LLC

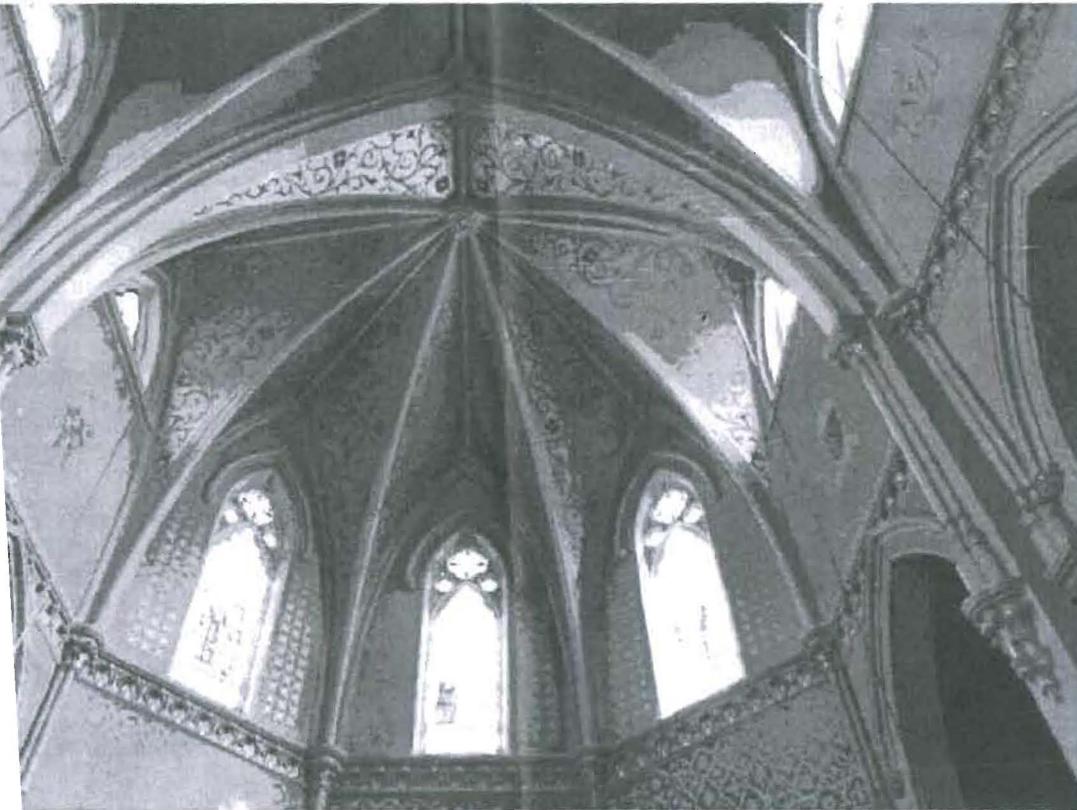
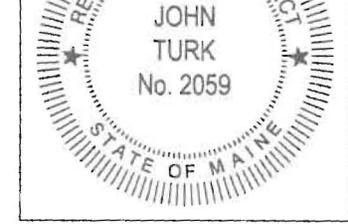
Address: 28 Danforth Street

Portland, ME 04101

Phone: 207.761.9662

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- 1 STRUCTURAL
- 1 BASEMENT PLAN
- 2 MAIN LEVEL PLAN
- 3 BUILDING SECTIONS
- 4 DOOR DETAILS



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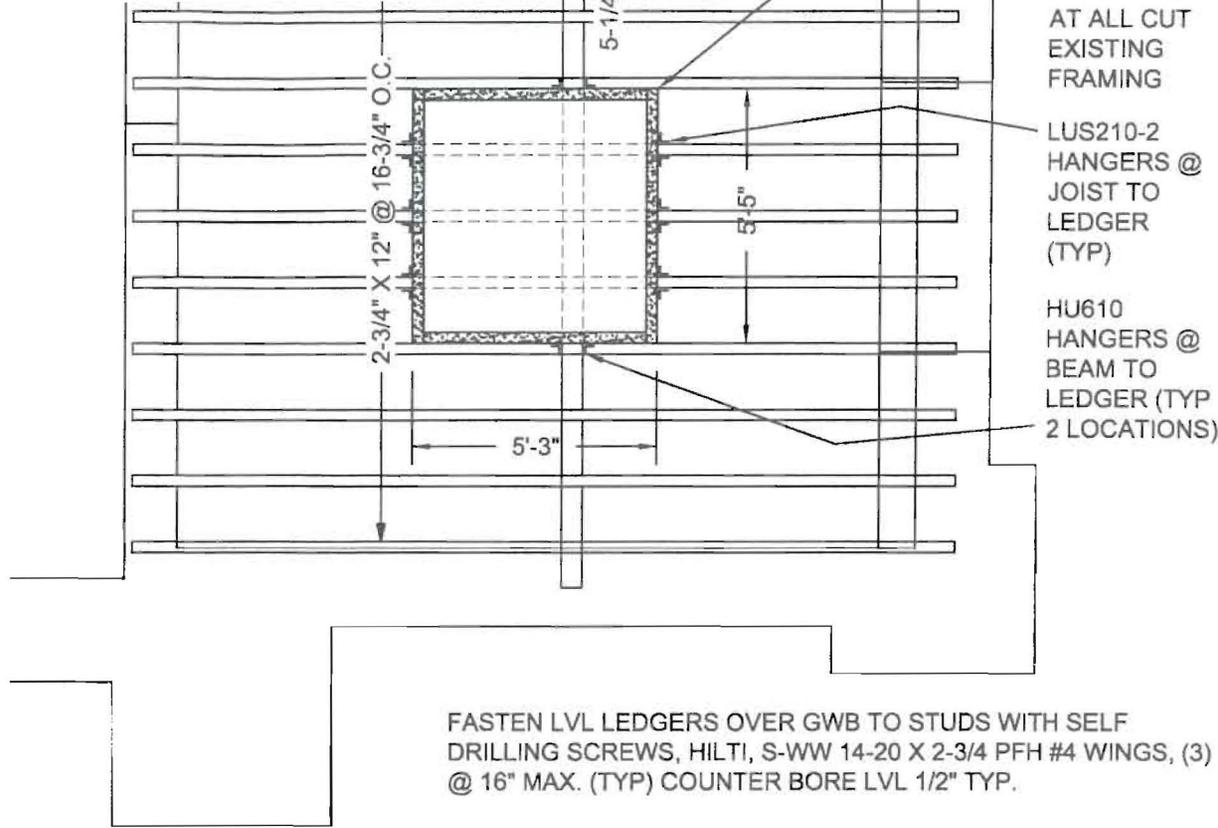
MAR - 1 2011

Dept. of Building Inspections  
City of Portland Maine

# RISH HERITAGE CENTER LIFT & SHAFT INSTALLATION

34 GRAY STREET

AND FRAMING AS INDICATED. TEMPORARILY SHORE STRUCTURE AS REQUIRED.



**ttl- architects** LLC  
 28 Danforth Street, Suite 213  
 Portland, Maine 04101  
 ph: 207.761.9662

# MAINE IRISH HERITAGE CENTER

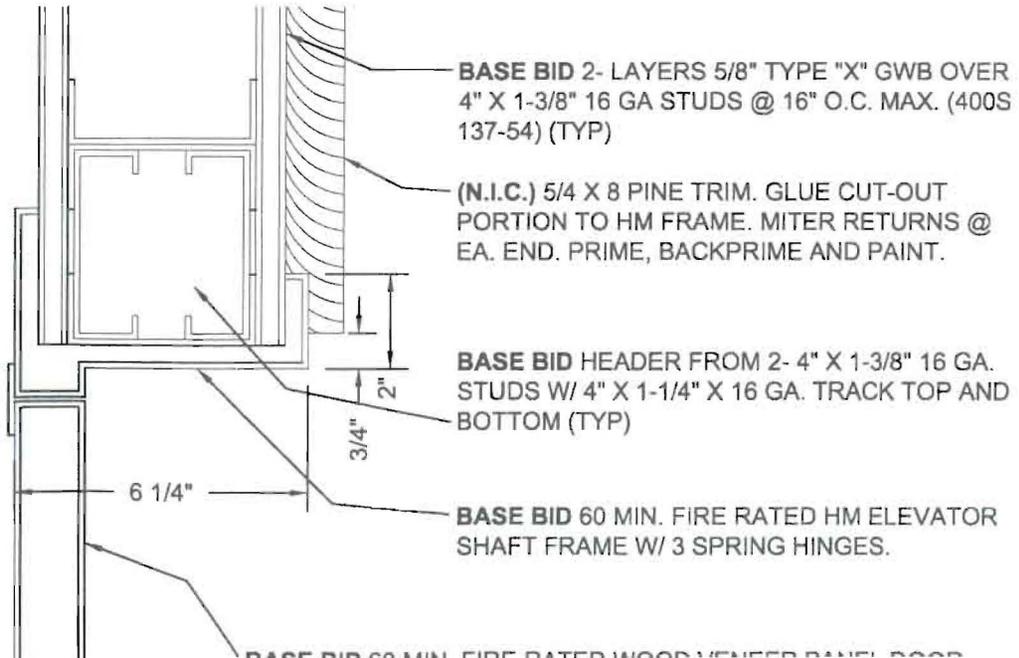
34 GRAY STREET  
 PORTLAND, MAINE

**2** EXISTING FIRST FLOOR FRAMING PLAN **BASE BID**  
 S1.1 1/4" = 1'-0"

FLOOR, SUBFLOOR AND MAIN AS INDICATED  
 WHITE OAK THRESHOLD FROM MAIN AND POLY TO MATCH

1/4" LVL LEDGER. SECURE FRAMING W/ (3) 1/4 - 20 SELF DRILLING SCREWS @ 16" O.C. MAX.

ALL FRAMING FROM 4" X 4" @ 16" O.C. MAX. (400S) & BOTTOM TRACKS (400T) 1-1/2" 16 GA. SECURE W/ 5/32, PAF @ 16" (TYP)

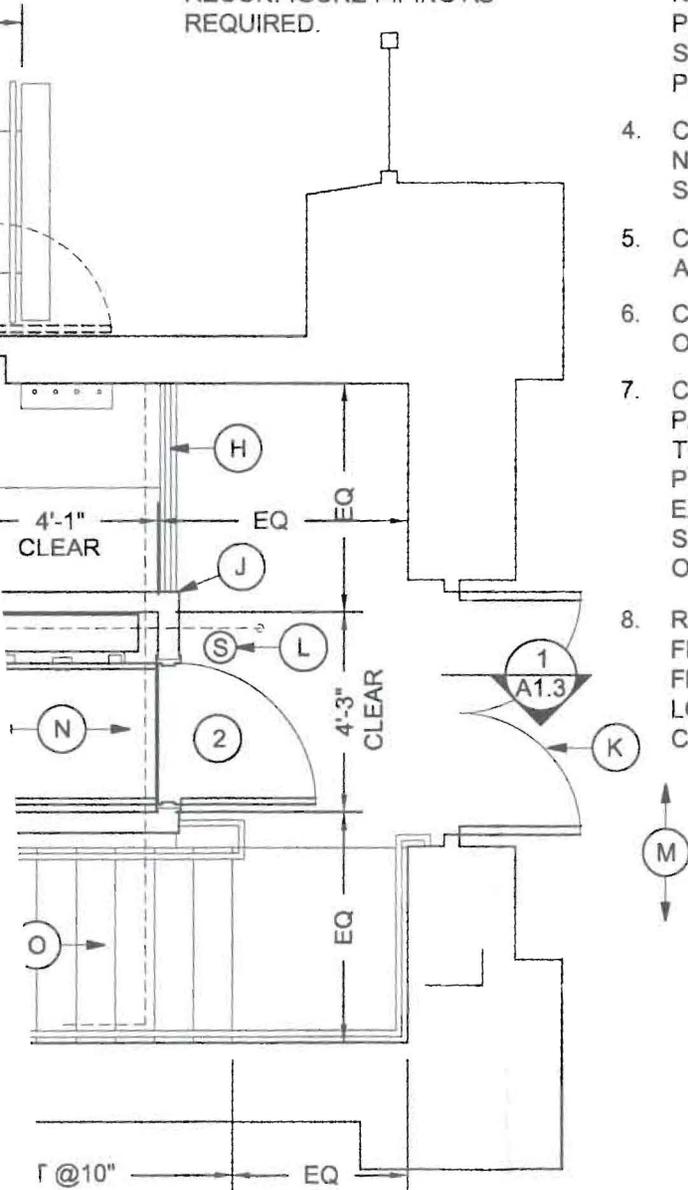


DATE:  
 16 AUGUST 2010

PROJECT NO.:  
 1002

REMOVE EXISTING SPRINKLER PIPING AND RECONFIGURE TO MEET CODE REQUIREMENTS.

**(G) BASE BID REMOVE EXISTING HOT WATER PIPING TO 2ND FLOOR RADIATOR. RECONFIGURE PIPING AS REQUIRED.**



2. CONTRACTOR SHALL SUPPLY AND INSTALL THE CODE REQUIRED FIRE ALARM DEVICES, WIRING AND TESTING ASSOCIATED WITH THE NEW LIFT INSTALLATION. EXISTING FIRE ALARM SYSTEM IS "NOTIFIER".
  3. CONTRACTOR SHALL REWORK EXISTING SPRINKLER PIPING OUT OF NEW HOISTWAY AREA AND PROVIDE CODE REQUIRED FIRE PROTECTION IN NEW HOISTWAY AND STAIRWELL. CONTRACTOR SHALL VISIT SITE DURING BIDDING TO DETERMINE QUANTITY OF PIPING.
  4. CONTRACTOR SHALL RELOCATE EXISTING HEATING PIPING OUT OF NEW HOISTWAY AREA AS REQUIRED. CONTRACTOR SHALL VISIT SITE DURING BIDDING TO DETERMINE QUANTITY OF PIPING.
  5. CONTRACTOR SHALL REWORK ALL EXISTING ELECTRICAL WIRING AND REMOVE EXISTING LIGHTING FIXTURES IN HOISTWAY AREA.
  6. CONTRACTOR SHALL INSTALL NEW LIGHT FIXTURES AS INDICATED ON THE PLANS. PROVIDE AND INSTALL NEW WIRING AS REQUIRED.
  7. CONTRACTOR SHALL RUN NEW PHONE LINE FROM ELECTRICAL PANEL IN KITCHEN (AT REAR OF THE BUILDING) ALONG THE CEILING TO THE ELECTRICAL CLOSET NEXT TO THE NEW VERTICAL PLATFORM LIFT. USE GRAY PLENUM CABLE AND LOCATE ALONG EXISTING, UNPAINTED CONDUIT AT THE AUDITORIUM CEILING. SECURE TO EXISTING CONDUIT WITH GRAY ZIP TIES. TOTAL LENGTH OF RUN APPROX. 120 FEET.
  8. RUN A NEW 20 FOOT ELECTRICAL LINE IN CONDUIT VERTICALLY, FROM THE ELECTRICAL CLOSET IN BASEMENT, UP THROUGH THE FLOOR TO A NEW SMOKE DETECTOR AT THE UPSTAIRS CEILING. LOCATE CONDUIT AT THE BOTTOM OF THE CHOIR STAIRS, IN THE CORNER NEAR EXISTING PIPING.
- (H) (N.I.C.) NEW BALUSTRADE**
- (J) BASE BID PAINT INSIDE AND OUTSIDE OF NEW SHAFT PAINT 1.**
- (K) EXISTING DOUBLE DOORS TO REMAIN.**
- (L) BASE BID NEW SMOKE DETECTOR.**
- (M) (N.I.C.) EXISTING BRICK DRIVE TO BE LIFTED (BY OTHERS) TO PROVIDE HANDICAP ACCESSIBILITY.**
- (N) BASE BID NEW 3-STOP VERTICAL PLATFORM LIFT AND 60 MIN. FIRE RATED SHAFT. BLOCK WALL ALONG MECHANISM AS PRESCRIBED BY LIFT MANUFACTURER. SECURE LIFT TO CONCRETE FLOOR AS PRESCRIBED BY LIFT MANUFACTURER.**
- (O) (N.I.C.) REMOVE EXISTING STAIR...**



**tli- architects LLC**  
 28 Danforth Street, Suite 213  
 Portland, Maine 04101  
 ph: 207.761.9662

# MAINE IRISH HERITAGE CENTER

34 GRAY STREET  
 PORTLAND, MAINE

DATE:  
 16 AUGUST 2010

PROJECT NO.



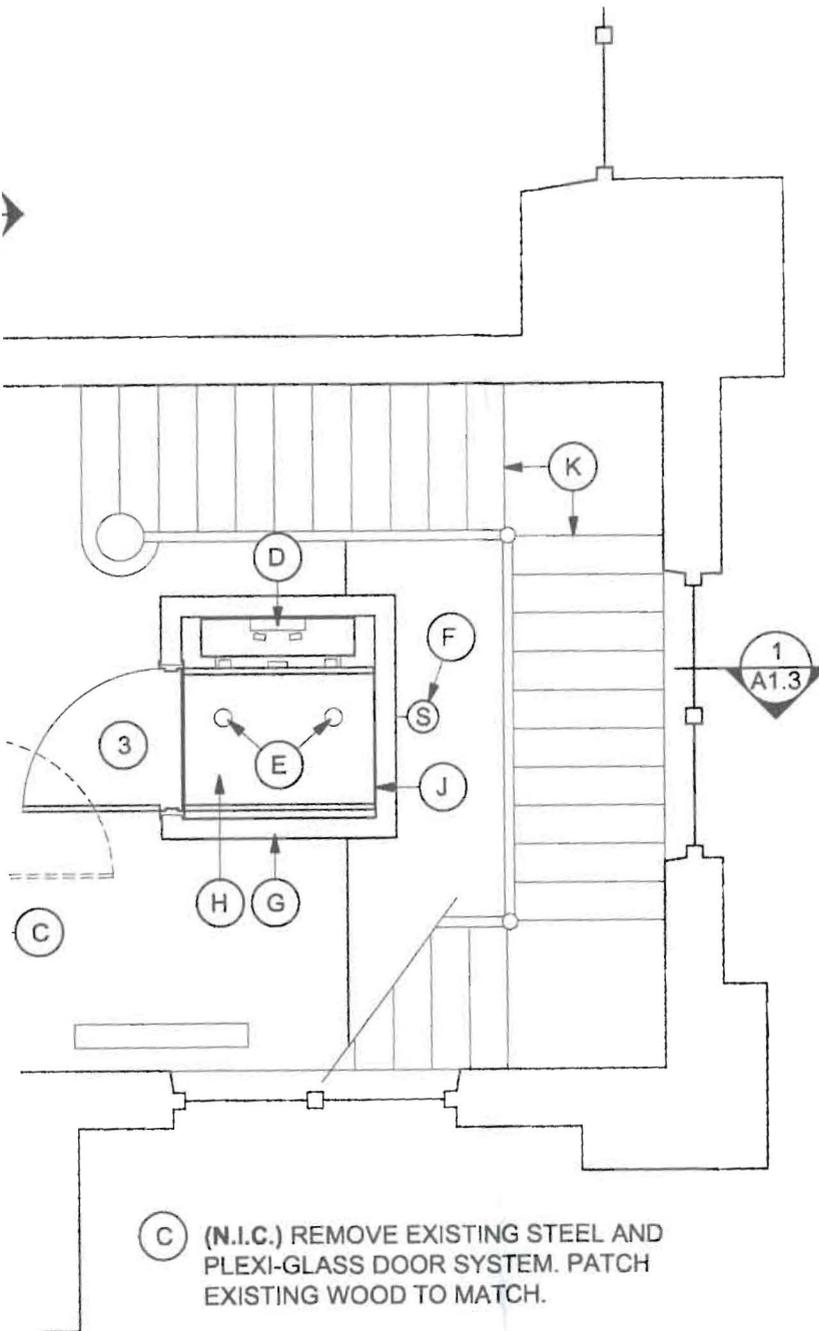
tll- architects llc  
28 Danforth Street, Suite 213  
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ph: 207.761.9662

# MAINE IRISH HERITAGE CENTER

34 GRAY STREET  
PORTLAND, MAINE

DATE:  
16 AUGUST 2010

PROJECT NO.:



- (D) **BASE BID NEW HARD WIRED, 2- BULB EMERGENCY LIGHT WITH MIN. 4 HR. BATTERY LIFE. ELECTRIC LIGHT CO. EL-50-HD12 OR EQUAL.**
- (E) **BASE BID 2 NEW CEILING LIGHT HARDWIRED TO DOOR STRIKES. PRESCOLITE 5" DIRECT CEILING MOUNT CYLINDERS 1102 PAR30 OR EQUAL**
- (F) **BASE BID NEW SMOKE DETECTOR MOUNTED AT TOP OF NEW SHAFT WALL**
- (G) **BASE BID NEW 3-STOP VERTICAL PLATFORM LIFT AND 60 MIN. FIRE RATED SHAFT. BLOCK WALL ALONG MECHANISM AS PRESCRIBED BY LIFT MANUFACTURER. SECURE MECHANISM TO BLOCKING WITHIN SHAFT WALL.**
- (H) **BASE BID NEW PLATFORM LIFT TO WIRED TO 24 HOUR EMERGENCY CALL SERVICE (911, OR SECURITY SYSTEM).**
- (J) **BASE BID PAINT INSIDE AND OUTSIDE OF NEW SHAFT PAINT 1.**
- (K) **BASE BID PROTECT EXISTING WOOD STAIR, WAINSCOTING, BALUSTRADES, ETC.**

(C) (N.I.C.) REMOVE EXISTING STEEL AND PLEXI-GLASS DOOR SYSTEM. PATCH EXISTING WOOD TO MATCH.

IDRAIL SYSTEM FROM 1-1/2" DIA. WHITE OAK  
1/2" SQ. STEEL POSTS PAINTED FLAT BLACK.  
E MATERIAL TO BE 1X2 T&G BEADBOARD  
) PAINT 2) AND SCRIBE TO EXISTING STAIR  
REMAIN.

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# MAINE IRISH HERITAGE CENTER

34 GRAY STREET  
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1000

... WITH NEW 3-  
STOP VERTICAL PLATFORM  
LIFT. CUT NEW OPENING IN  
FIRST FLOOR FRAMING AS  
INDICATED. PROVIDE  
TEMPORARY SHORING AS  
REQUIRED.

- (J) **BASE BID PROTECT**  
EXISTING LIGHT  
FIXTURE TO REMAIN.
- (K) **BASE BID PAINT INSIDE**  
AND OUTSIDE OF NEW  
SHAFT PAINT 1.

- (B) **BASE BID 5/8" TYPE "X" GWB**  
UNDER 1/2" PLYWOOD CAP.  
6" X 1-1/4" X 16 GA. TRACK  
(600T125-54)

TOP OF SHAFT FRAMING  
22'-0-1/2" (VERIFY)

- (C) **BASE BID LVL LEDGER AND**  
HANGERS @ EXISTING  
FRAMING (TYP)

- (D) **BASE BID 11-1/4 LVL LEDGER.**  
SECURE TO WALL WITH (3)  
1/4-20 SELF DRILLING WINGED  
SCREWS @ 16" O.C. (TYP)

MAIN LEVEL FINISH FLOOR  
14'-0-1/2" (VERIFY)

- (E) **BASE BID NEW WALL OF 5/8"**  
TYPE "X" GWB EACH SIDE OF 4"  
X 1-3/8" 16 GA. STUDS @ 16"  
O.C. (400S 137-54). TOP & BOT.  
TRACKS FROM 4" X 1-1/2", 16  
GA. TRACK W/ 5/32, PAF @ 16"  
O.C. (TYP) (400T 125-54)

- (L) **BASE BID PROTECT**  
EXISTING STAIR,  
BALUSTRADE &  
WAINSCOTING TO  
REMAIN.

- (M) **BASE BID**  
RECONFIGURE  
EXISTING SPRINKLER  
AND RADIATOR PIPING  
AT BASEMENT CEILING.

- (F) (N.I.C.) REMOVE EXISTING  
DOUBLE DOORS. PATCH  
CASING.

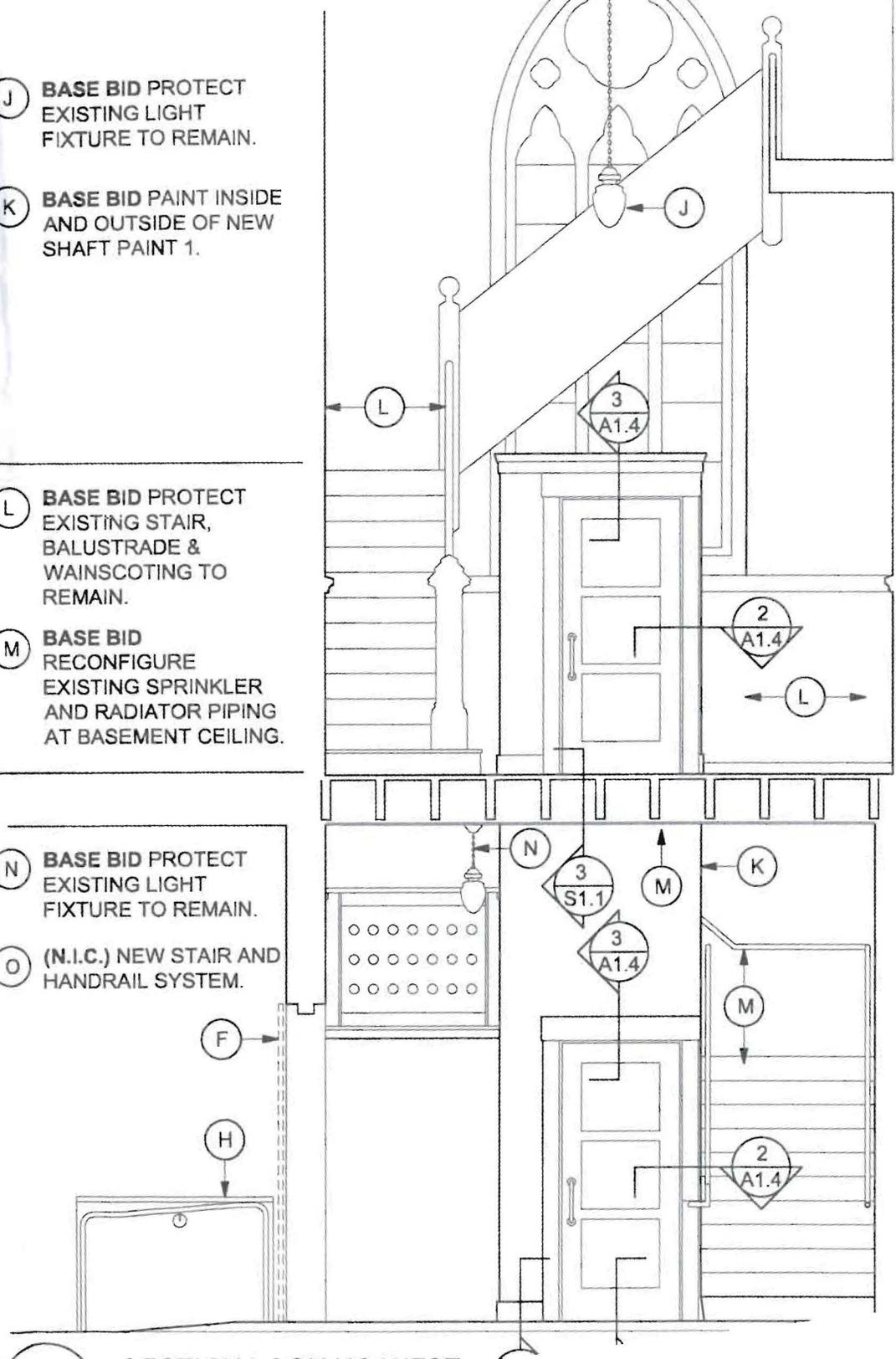
- (G) (N.I.C.) NEW BUILT-UP FLOOR  
FROM 1/2" P.T. PLYWOOD  
OVER 2-1/2" X 16 GA. STUD  
SLEEPERS @ 12" O.C. (MAX)  
(250S137-54)

- (H) (N.I.C.) NEW WOOD HALF-WALL,  
METAL HANDRAIL AND RAMP

BASEMENT FINISH FLOOR

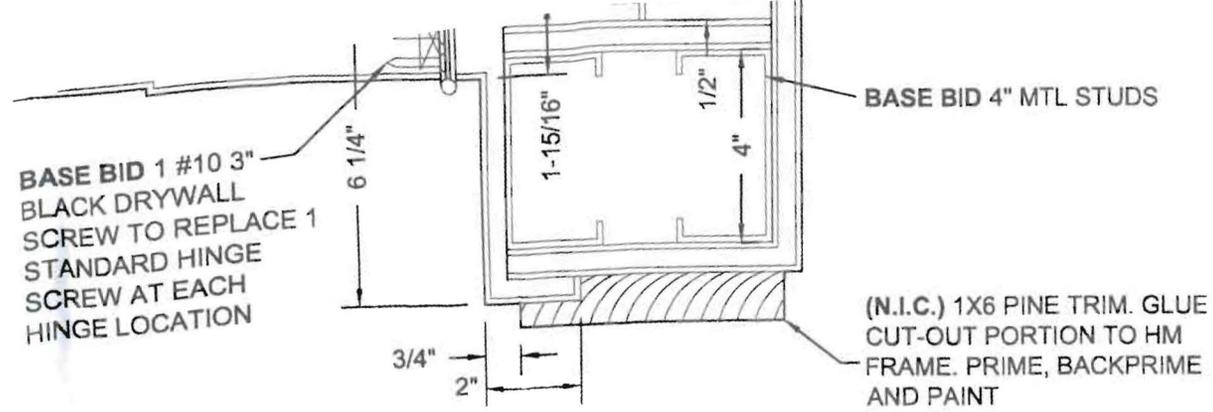
0'-0"

- (N) **BASE BID PROTECT**  
EXISTING LIGHT  
FIXTURE TO REMAIN.
- (O) (N.I.C.) NEW STAIR AND  
HANDRAIL SYSTEM.



BASE BID 60 MIN. FIRE RATED WOOD VENEER DOOR. PRIME & PAINT

BASE BID 1 #10 3" BLACK DRYWALL SCREW TO REPLACE 1 STANDARD HINGE SCREW AT EACH HINGE LOCATION



BASE BID 4" MTL STUDS

(N.I.C.) 1X6 PINE TRIM. GLUE CUT-OUT PORTION TO HM FRAME. PRIME, BACKPRIME AND PAINT

BASE BID: SEE PLATFORM LIFT AND HARDWARE SPECIFICATIONS FOR ELECTRICAL COORDINATION REQUIREMENTS

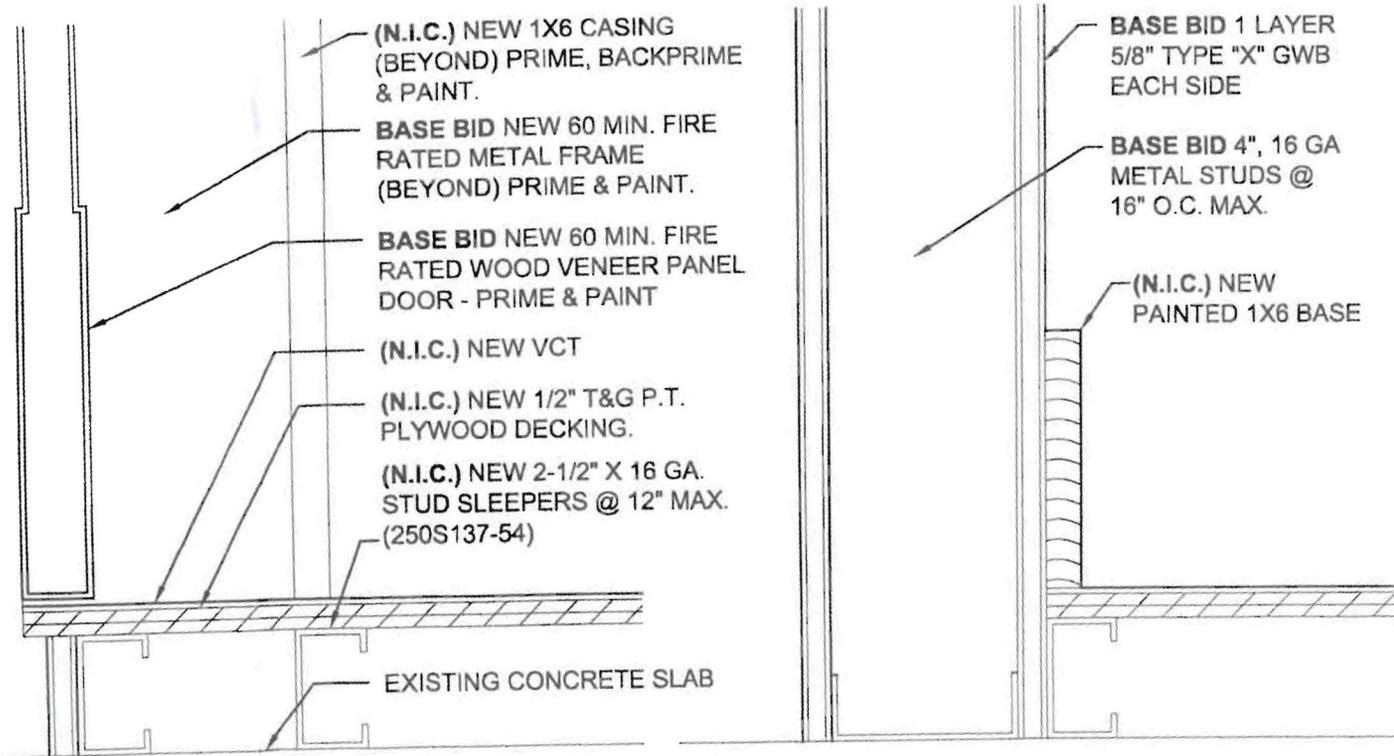
**A1.4** PLAN DETAIL @ NEW SHAFT  
3" = 1'-0"

ER PLY.  
5/4 X 3-

JS @ 16"  
JK

WB OVER AX. (400S  
' 16 GA.  
' TOP AND

T  
JS @  
TOR



SECTION DTL @ LIFT THRESHOLD

SECTION DTL @



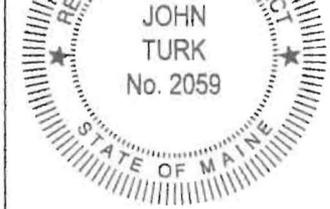
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ARE "NOT IN CONTRACT". THESE ITEMS ARE INCLUDED FOR INFORMATIONAL  
E PERFORMED BY THE OWNER'S OWN FORCES AFTER COMPLETION OF THE WORK OF

HISTORIC PROPERTY THAT HOSTS PRIVATE AND PUBLIC EVENTS. THE BUILDING WILL  
STRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PERMIT SAFE PASSAGE TO  
G IMMEDIATELY ADJACENT TO THE AREAS OF WORK.

ALL FEDERAL AND LOCAL SAFETY REQUIREMENTS. FURTHERMORE, THE CONTRACTOR  
R THE SAFETY OF THE WORK AREA.

CT IS BASED ON THE FULL INTERACTION OF ALL CONNECTED COMPONENTS. NO  
DRARY CONDITIONS THAT MAY ARISE DURING CONSTRUCTION. THE CONTRACTOR  
DESIGN AND CONSTRUCTION OF ALL SHORING AND TEMPORARY BRACING DURING THE

ERINTENDANT WHO WILL BE RESPONSIBLE FOR ASSURING THE WORK IS PERFORMED

DRAWINGS, BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT SHOWN AT  
JDED.

K, REVIEW WITH ARCHITECT AND OWNER ALL ASPECTS OF SITE ACCESS, WORK  
HERS TO ENSURE EFFICIENT PROJECT FLOW AND OWNER EVENT SCHEDULE.

ES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS THAT MAY AFFECT THE

PROPOSED MATERIALS SHALL NOT DAMAGE EXISTING COMPONENTS TO REMAIN.

IESE CONSTRUCTION DOCUMENTS OR CHANGES IN CONSTRUCTION FROM THE  
TRACTOR WITHOUT WRITTEN APPROVAL OF THE ARCHITECT SHALL REMOVE ALL  
ILITY OF THE ARCHITECT.

IE THE DRAWINGS AND SPECIFICATION THOROUGHLY, VISIT THE SITE, AND FULLY  
NDITIONS AND LIMITATIONS PRIOR TO SUBMITTING A BID. FAILURE TO VISIT THE SITE  
EXISTING CONDITIONS AND LIMITATIONS WILL IN NO WAY RELIEVE THE SUCCESSFUL  
; OR PERFORMING ANY WORK IN ACCORDANCE WITH DRAWINGS AND SPECIFICATION.  
THE GENERAL CONTRACTOR AT NO ADDITIONAL COST.

) TO ATTEND THE PRE-BID CONFERENCE, TO BE HELD AT A TIME AND DATE LISTED IN

JB CONTRACTORS ARE REQUIRED TO ATTEND A PRE-CONSTRUCTION CONFERENCE,  
THE OWNER.

HONE LINE FROM ELECTRICAL PANEL IN KITCHEN (LOCATED AT THE REAR OF THE  
E CEILING TO THE ELECTRICAL CLOSET NEXT TO THE NEW VERTICAL PLATFOMR  
E ALONG EXISTING, UNPAINTED CONDUIT AT THE AUDITORIUM CEILING. SECURE TO  
GTH APPROX. 120 FEET FROM KITCHEN TO ELECTRICAL CLOSET.

EMENTS.

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