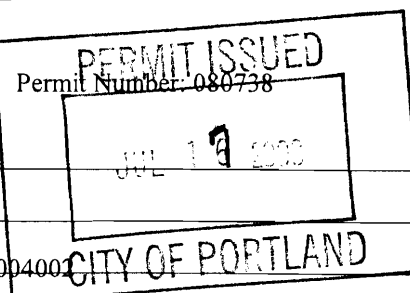


DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
 Application And
 Notes, If Any,
 Attached

BUILDING INSPECTION

PERMIT



This is to certify that IRISH HERITAGE CENTER Consigli Construction

has permission to Irish Heritage Center - repair to the roof, masonry, exterior and

AT 3 GRAY ST

044 H004000

CITY OF PORTLAND

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is altered or service is closed-in. 24 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Area Class

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

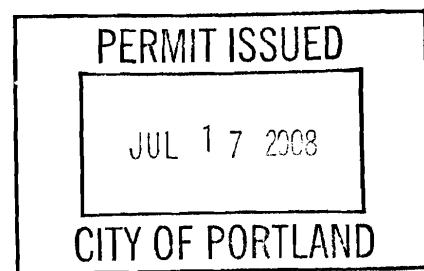
Permit No: 08-0738	Issue Date:	CBL: 044 H004002
-----------------------	-------------	---------------------

Location of Construction: 3 GRAY ST	Owner Name: IRISH HERITAGE CENTER	Owner Address: PO BOX 7588	Phone:
Business Name:	Contractor Name: Consigli Construction	Contractor Address: 50 Monument Square Suite 300 Portla	Phone: 2077484173
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: R-6

Past Use: Community Hall - Irish Heritage Center	Proposed Use: Community Hall - Irish Heritage Center - repairs to the roof, masonry exterior area	Permit Fee: \$520.00	Cost of Work: \$50,000.00	CEO District: 2
Proposed Project Description: Irish Heritage Center - repairs to the roof, masonry exterior area		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: A-3 Type: 3 FBC-2003	
Legal Use: "Community Hall"		Signature: <i>Corey Cass</i> Signature: <i>JMB 7/16/08</i>		
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
		Signature: _____ Date: _____		

Permit Taken By: ldobson	Date Applied For: 06/23/2008	Zoning Approval		
------------------------------------	--	------------------------	--	--

<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation to D.A. <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Date: <i>6/24/08</i>	Date: <i>6/25/08</i>	Date: <i>6/25/08</i>



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0738	Date Applied For: 06/23/2008	CBL: 044 H004002
------------------------------	--	----------------------------

Location of Construction: 3 GRAY ST	Owner Name: IRISH HERITAGE CENTER	Owner Address: PO BOX 7588	Phone:
Business Name:	Contractor Name: Consigli Construction	Contractor Address: 50 Monument Square Suite 300 Portla	Phone (207) 748-4173
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Community Hall - Irish Heritage Center - repairs to the roof, masonry exterior area	Proposed Project Description: Irish Heritage Center - repairs to the roof, masonry exterior area
---	--

Dept: Historic	Status: Approved	Reviewer: Deborah Andrews	Approval Date: 06/25/2008	Note:	Ok to Issue: <input checked="" type="checkbox"/>
Dept: Zoning	Status: Approved with Conditions	Reviewer: Marge Schmuckal	Approval Date: 06/24/2008	Note: 1) This permit only covers repair work of the existing building and does not authorize any change of use. 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.	Ok to Issue: <input checked="" type="checkbox"/>
Dept: Building	Status: Approved with Conditions	Reviewer: Jeanine Bourke	Approval Date: 07/16/2008	Note: 1) Required egresses shall remain safe for passage throughout the project. 2) All structural repairs shall be reviewed by an engineer and plans to be submitted to this office.	Ok to Issue: <input checked="" type="checkbox"/>
Dept: Fire	Status: Approved	Reviewer: Capt Greg Cass	Approval Date: 06/26/2008	Note:	Ok to Issue: <input checked="" type="checkbox"/>

Comments:

6/24/2008-mes: The Community Hall use was approved under a conditional use to the Planning Board on 11/26/02.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>34 GRAY STREET</u>		
Total Square Footage of Proposed Structure/Area <u>ROOFING & MASONRY REPAIRS ~ 2000 ft²</u>		Square Footage of Lot <u>28,020</u>
Tax Assessor's Chart, Block & Lot Chart# <u>044</u>	Block# <u>(H)</u>	Lot# <u>4</u>
Applicant *must be owner, Lessee or Buyer* Name <u>MAINE IRISH HERITAGE CENTER</u>		Telephone: <u>207-780-0118</u>
Address <u>34 GRAY ST</u>		
City, State & Zip <u>PORTLAND, ME 04101</u>		
Lessee/DBA (If Applicable) <u>NA JUN 23 2008</u>	Owner (if different from Applicant) Name <u>NA</u>	Cost Of Work: \$ <u>50,000</u>
	Address <u>NA</u>	C of O Fee: \$ _____
	City, State & Zip <u>NA</u>	Total Fee: \$ _____
Current legal use (i.e. single family) <u>ASSEMBLY SPACE</u>		
If vacant, what was the previous use? <u>NA</u>		
Proposed Specific use: <u>CONTINUED AS CURRENT USE</u>		
Is property part of a subdivision? <u>NO</u> If yes, please name <u>NA</u>		
Project description: <u>REPAIRS TO ROOFING & MASONRY AT EXTERIOR AREAS WHICH HAVE BEEN DEEMED UNSAFE OR ARE CAUSING DAMAGE TO BUILDING.</u>		
Contractor's name: <u>CONSIELLI CONSTRUCTION COMPANY, INC.</u>		
Address: <u>84 MIDDLE STREET</u>		
City, State & Zip: <u>PORTLAND, ME, 04101</u>		Telephone: <u>207-773-3000</u>
Who should we contact when the permit is ready: <u>JEREMY WHITEHOUSE</u>		Telephone: <u>207-771-2509</u>
Mailing address: <u>84 MIDDLE ST, PORTLAND ME 04101</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: J. H. Whitehouse Date: 06/23/08

This is not a permit; you may not commence ANY work until the permit is issue

~ 116541

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X Final inspection required at completion of work.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

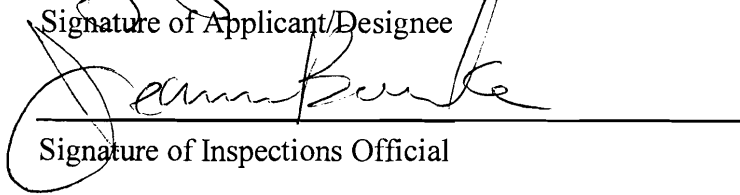
CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee



Date



Signature of Inspections Official



Date

JUN 23 2008

MASONRY REPAIR NOTES:

GENERAL:

1. AREAS OF MASONRY REPAIRS ARE INDICATED ON PLANS AND INCLUDE REMOVING AND REBUILDING OF DAMAGED MASONRY. THE AREAS SHOWN ARE INTENDED TO HIGHLIGHT THE APPROXIMATE LOCATION OF THE REPAIR. CONTRACTOR SHALL FIELD VERIFY THE EXTENT OF THE REQUIRED REPAIR.
2. MASONRY CONTRACTOR PERFORMING THE WORK SHALL HAVE A MINIMUM OF 5 YEARS DOCUMENTED EXPERIENCE IN COMPARABLE MASONRY RECONSTRUCTION WORK.
3. NOTIFY STRUCTURAL ENGINEER OF EXISTING CONDITIONS WHICH MAY PREVENT A REPAIR FROM BEING COMPLETED.

SUBMITTALS:

1. SUBMIT MANUFACTURER'S TECHNICAL DATA FOR EACH PRODUCT INDICATED, INCLUDING RECOMMENDATIONS FOR ITS APPLICATION AND USE. INCLUDE TEST REPORTS AND CERTIFICATIONS INDICATING THAT THE PRODUCT COMPLIES WITH REQUIREMENTS.
2. RESTORATION AND RECONSTRUCTION PROGRAM: SUBMIT DETAILED WRITTEN PROGRAM FOR EACH PHASE OF RESTORATION AND RECONSTRUCTION PROCESS. THE WRITTEN PROGRAM SHALL FOLLOW THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES WITH GUIDELINES FOR PRESERVING, REHABILITATION, RESTORING & RECONSTRUCTION HISTORIC BUILDINGS. THE PROGRAM SHALL INCLUDE:
 - A. PROTECTION OF SURROUNDING MATERIALS ON BUILDING AND SITE DURING CONSTRUCTION
 - B. DETAILED DESCRIPTION OF MATERIALS, METHODS AND EQUIPMENT TO BE USED FOR EACH PHASE.

PRECONSTRUCTION TESTING:

1. PRIOR TO PERFORMING WORK, THE MORTAR MIXES SHALL BE DEVELOPED AND TESTED. MORTAR MIXES SHALL BE PROPORTIONED TO MATCH ORIGINAL MORTAR IN STRENGTH, COMPOSITION, COLOR AND TEXTURE.

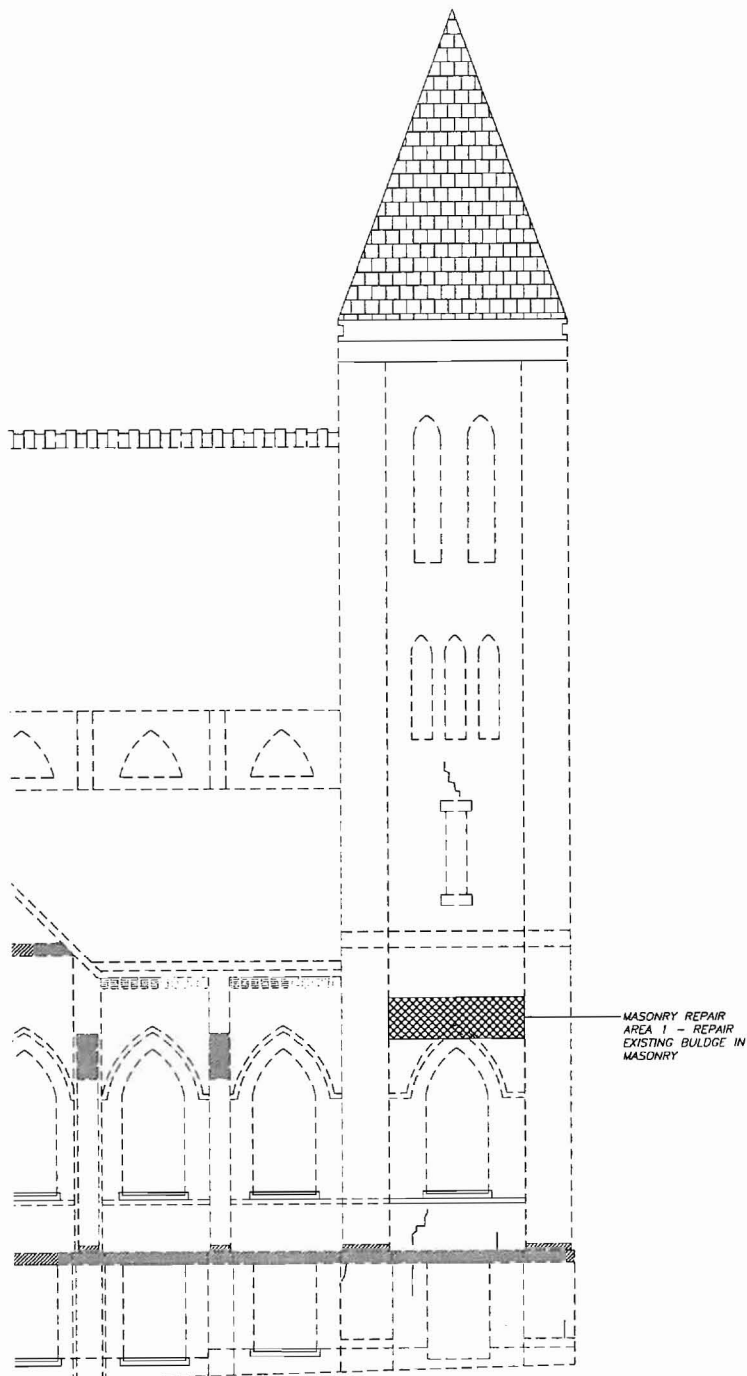
MASONRY REPAIR NOTES

EXECUTION:

1. PROVIDE TEMPORARY SHORING OF EXISTING MASONRY.
2. REMOVE DAMAGED AND DETERIORATED MASONRY. PREVENT DAMAGE TO ADJACENT REMAINING MASONRY.
3. REMOVE LOOSE OR UNSOUND ADJOINING MASONRY. FIRM AND SOLID BEARING FOR NEW WORK.
4. USE OF HAND TOOLS ONLY IS REQUIRED FOR DETERIORATED MORTAR. BY CAREFULLY HANDLING TO AVOID DAMAGING THE MASONRY.
5. BUILD IN NEW AND RECLAIMED MASONRY UNIFORM IN COLOR AND TEXTURE.
6. DUPLICATE EXISTING MASONRY JOINTS IN WIDTH AND LOCATION.
7. IMMEDIATELY REMOVE STAINS, EFFLORESCENCE FROM WORK OF THIS SECTION.

CLEANING:

1. EACH DAY, CLEAN DOWN WORK SURFACES TO REMOVE FOREIGN MATTER ON EXPOSED MASONRY SURFACES.
2. AFTER MORTAR HAS FULLY HARDENED, THOROUGHLY CLEAN MASONRY SURFACES OF EXCESS MORTAR AND GROUT WITH NYLON OR BRISTLE BRUSHES AND CLEAN WATER.
3. USE OF METAL SCRAPPERS OR BRUSHES WILL BE PROHIBITED.
4. USE OF ACID OR ALKALI CLEANING AGENTS WILL BE PROHIBITED.



MASONRY REPAIR AREA 2 -
REBUILD EXISTING MASONRY
PILASTER AS REQUIRED

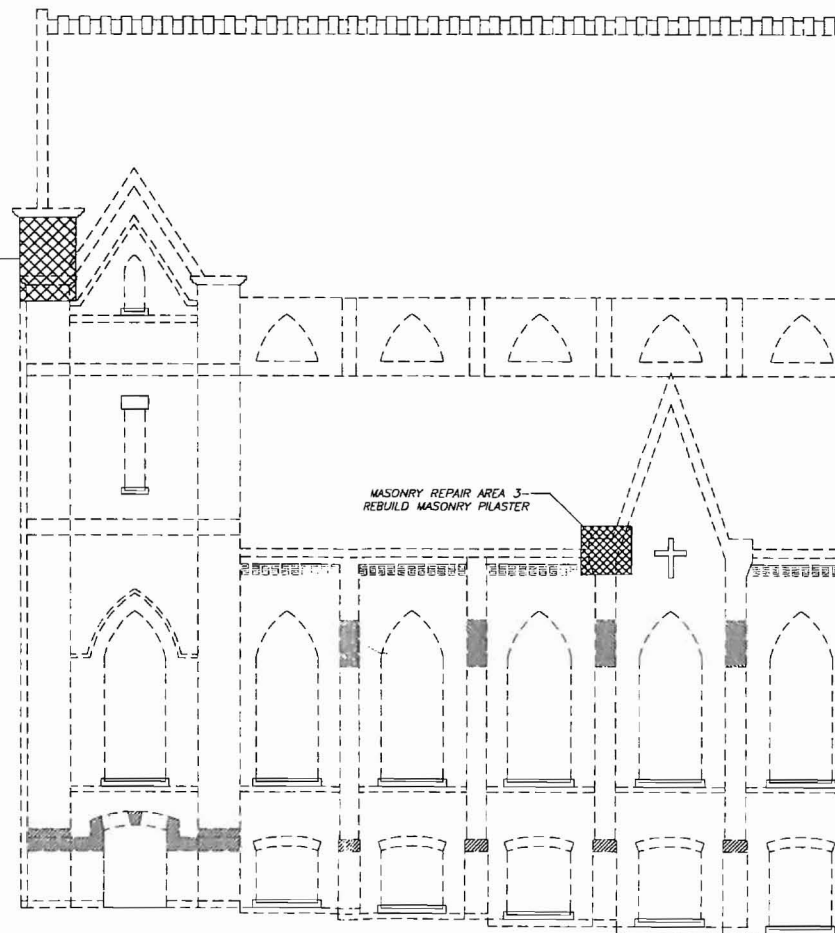
MASONRY REPAIR AREA 3 -
REBUILD MASONRY PILASTER

MASONRY REPAIR
AREA 1 - REPAIR
EXISTING BULGE IN
MASONRY

PARTIAL EAST ELEVATION

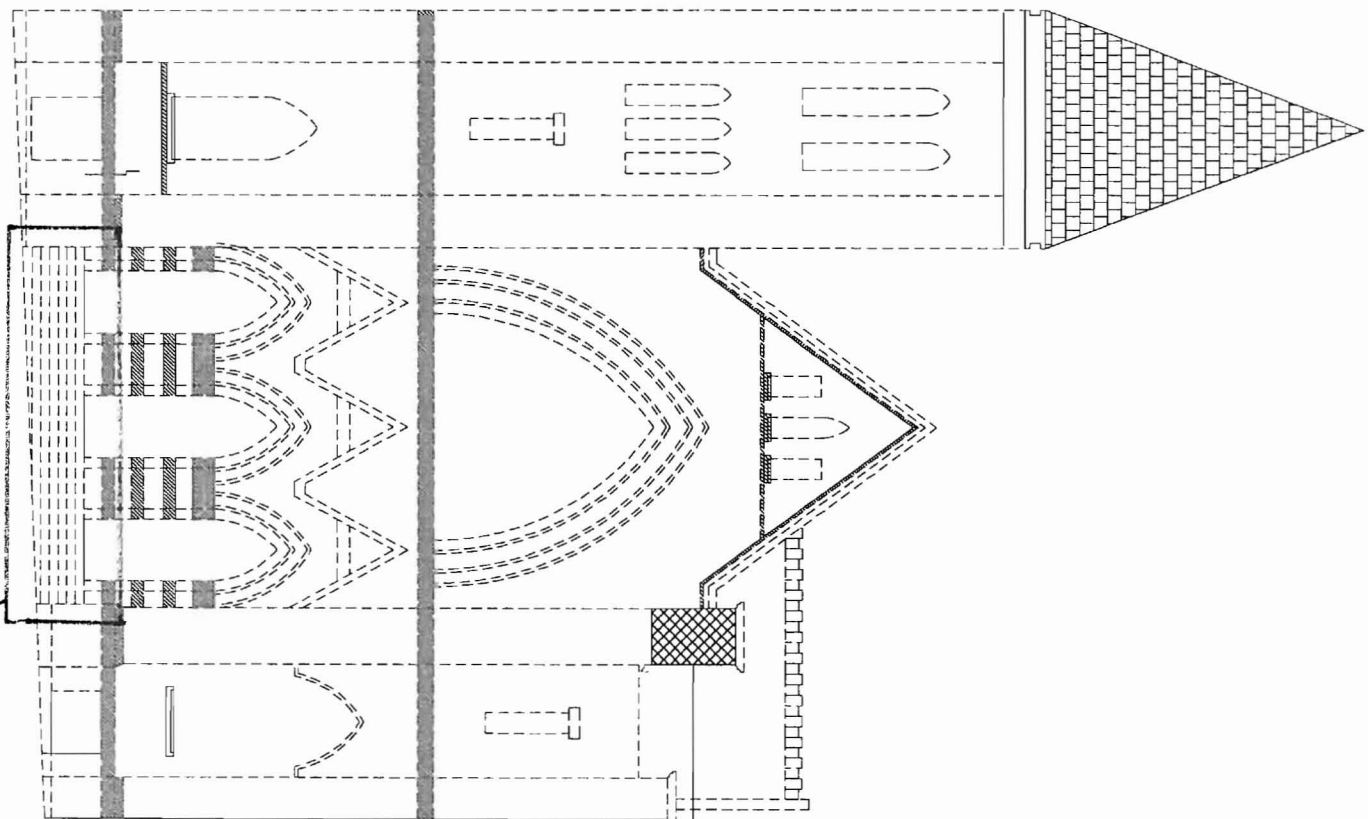
1/8"=1'-0"

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF BRECKER STRUCTURAL ENGINEERS INC. IT SHALL NOT BE REPRODUCED, COPIED, LEASED OR DISPOSED OF DIRECTLY OR INDIRECTLY FOR ANY PURPOSE OTHER THAN THAT FOR WHICH IT IS SPECIFICALLY FURNISHED AND MUST BE RETURNED TO BRECKER STRUCTURAL ENGINEERS INC. ON COMPLETION OF WORK, IF REQUESTED.



WEST ELEVATION

1/8"=1'-0"

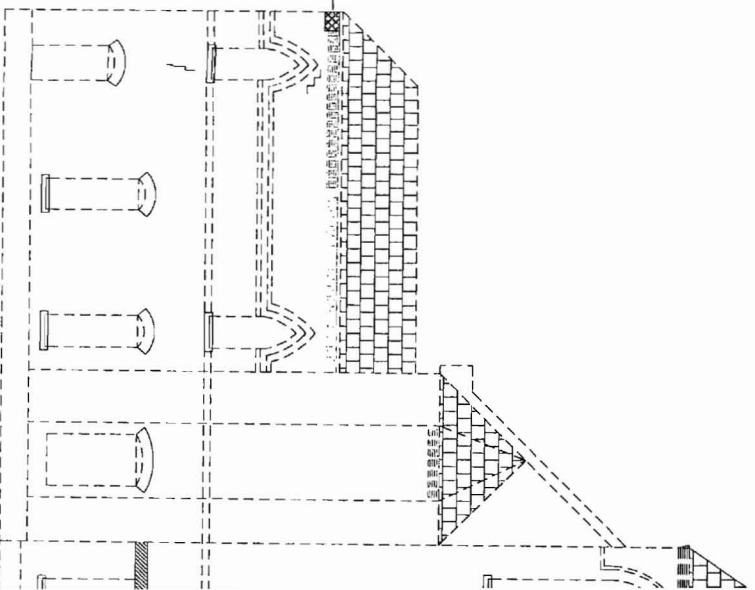


MASONRY REPAIR AREA 2 -
REBUILD EXISTING MASONRY
PLASTER AS REQUIRED

MASONRY REPAIR AREA 5 -
REBUILD MASONRY AT CORNER

NORTH ELEVATION

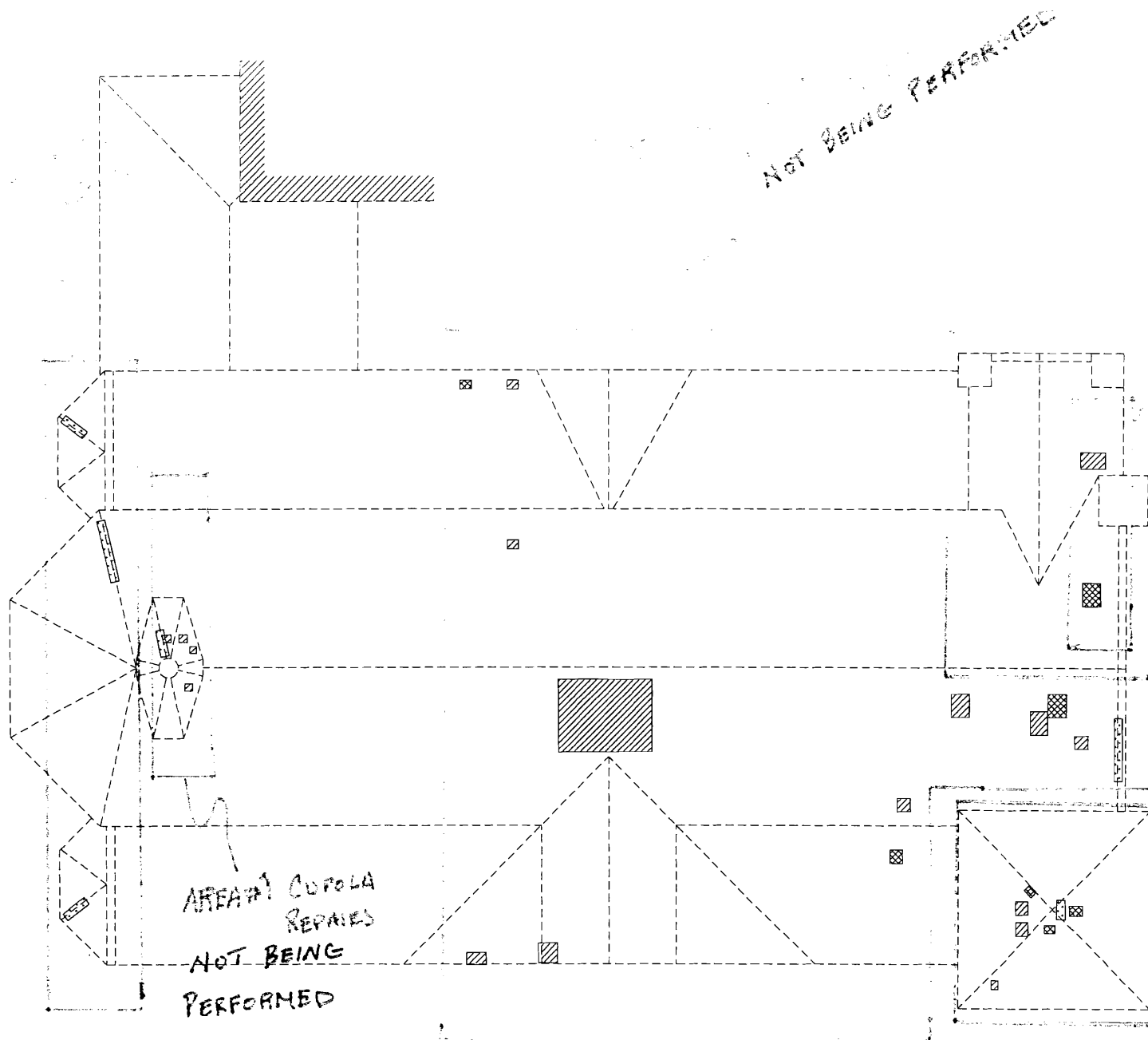
AREA 7 - REPAIRS To
FRONT STEPS



SOUTH ELEVATION

1/8"=1'-0"

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THE ARCHITECT ASSUMES NO LIABILITY FOR CONSTRUCTION OF WORK NOT INDICATED ON THIS DRAWING.

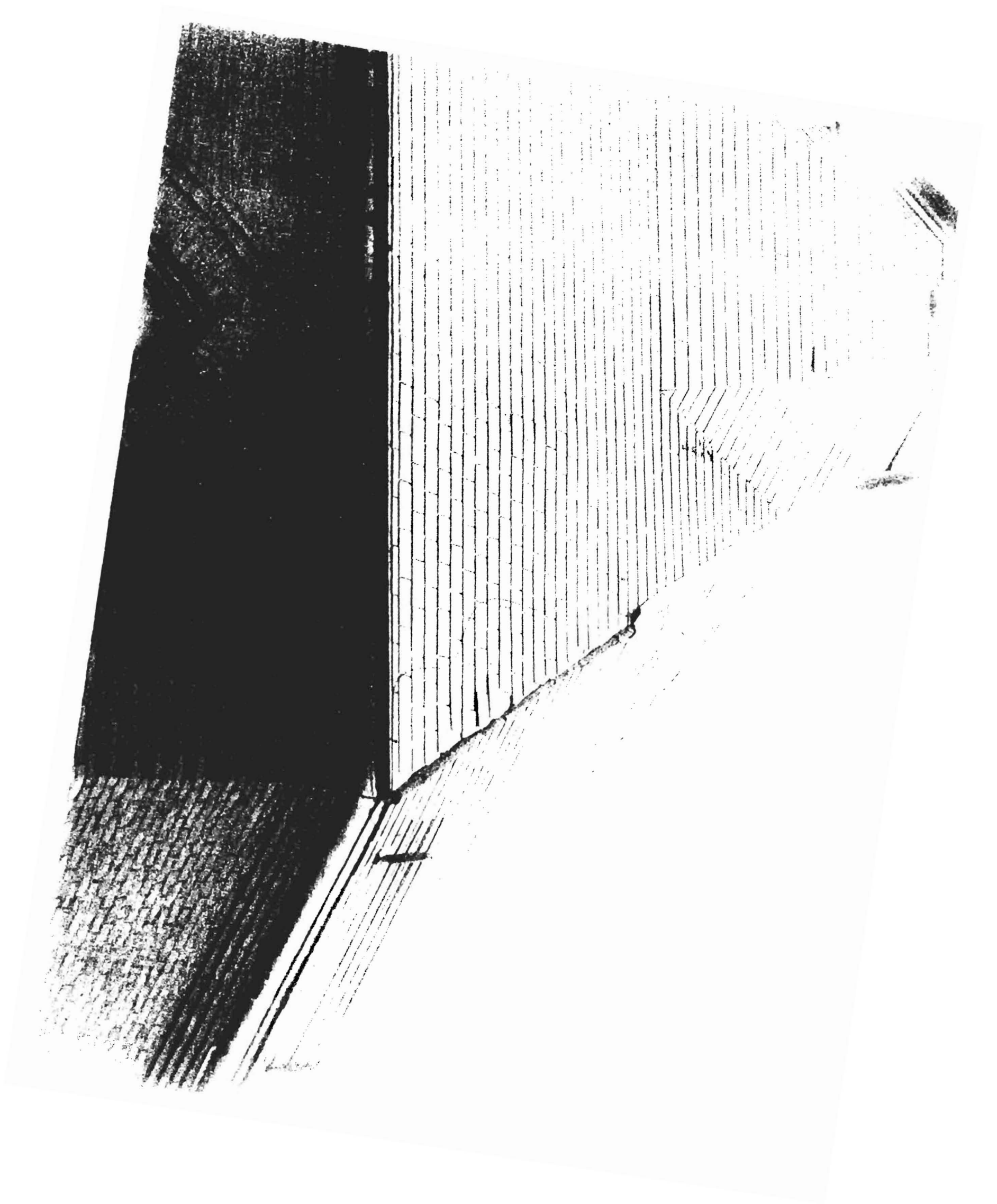


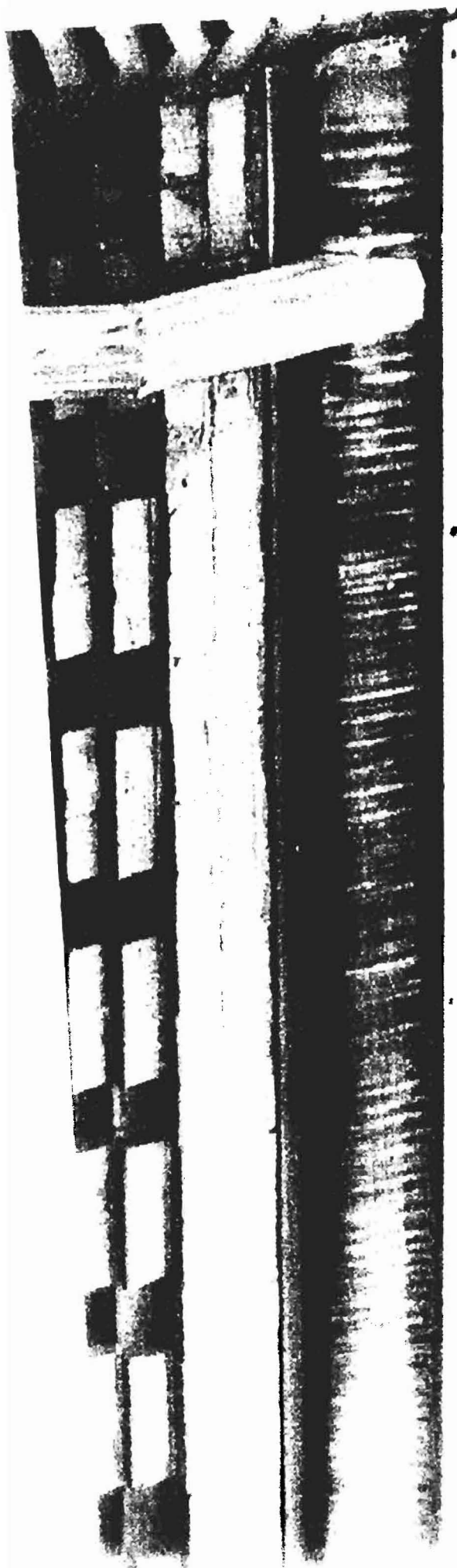
ROOF PLAN
1/8"=1'-0"

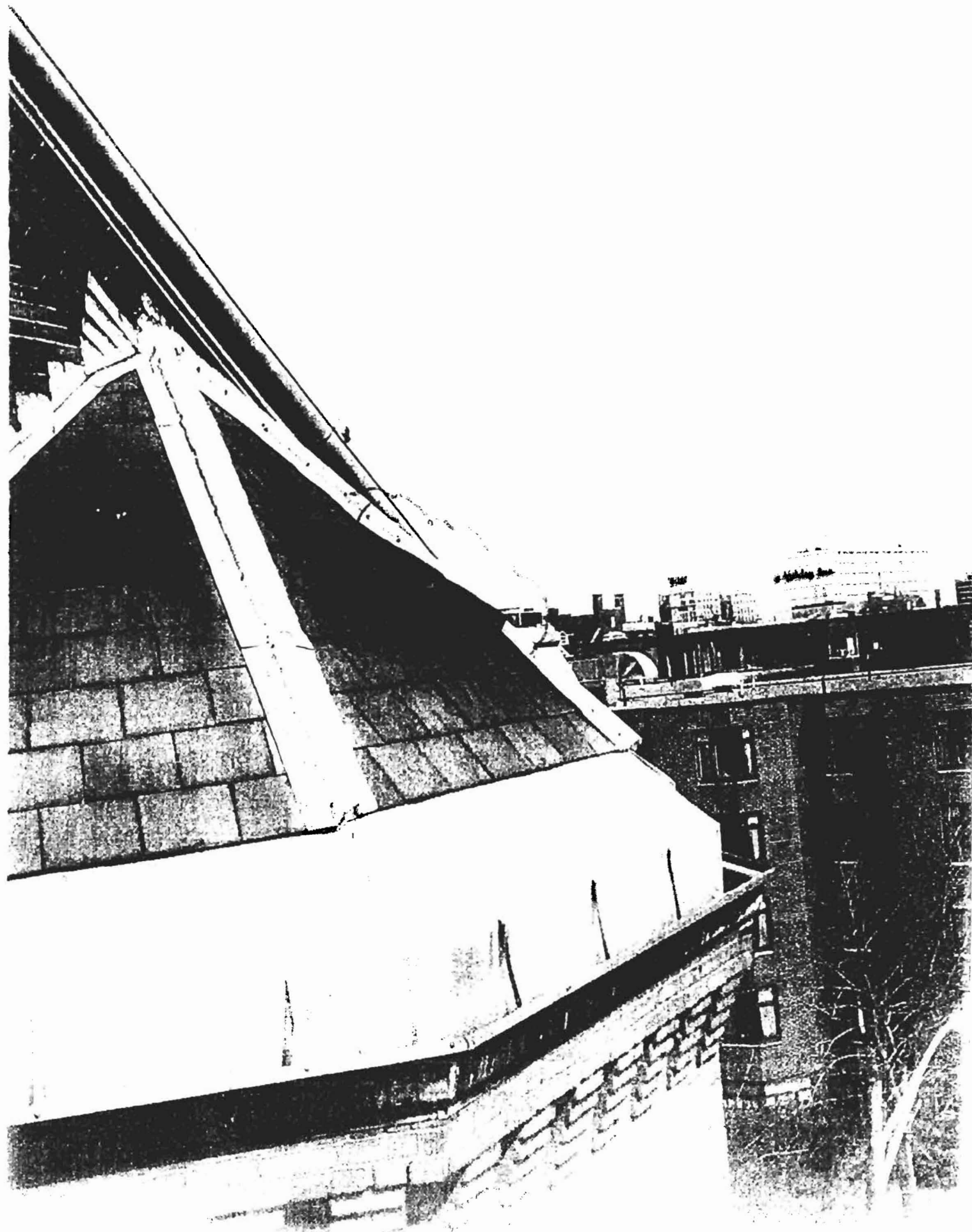


LEGEND

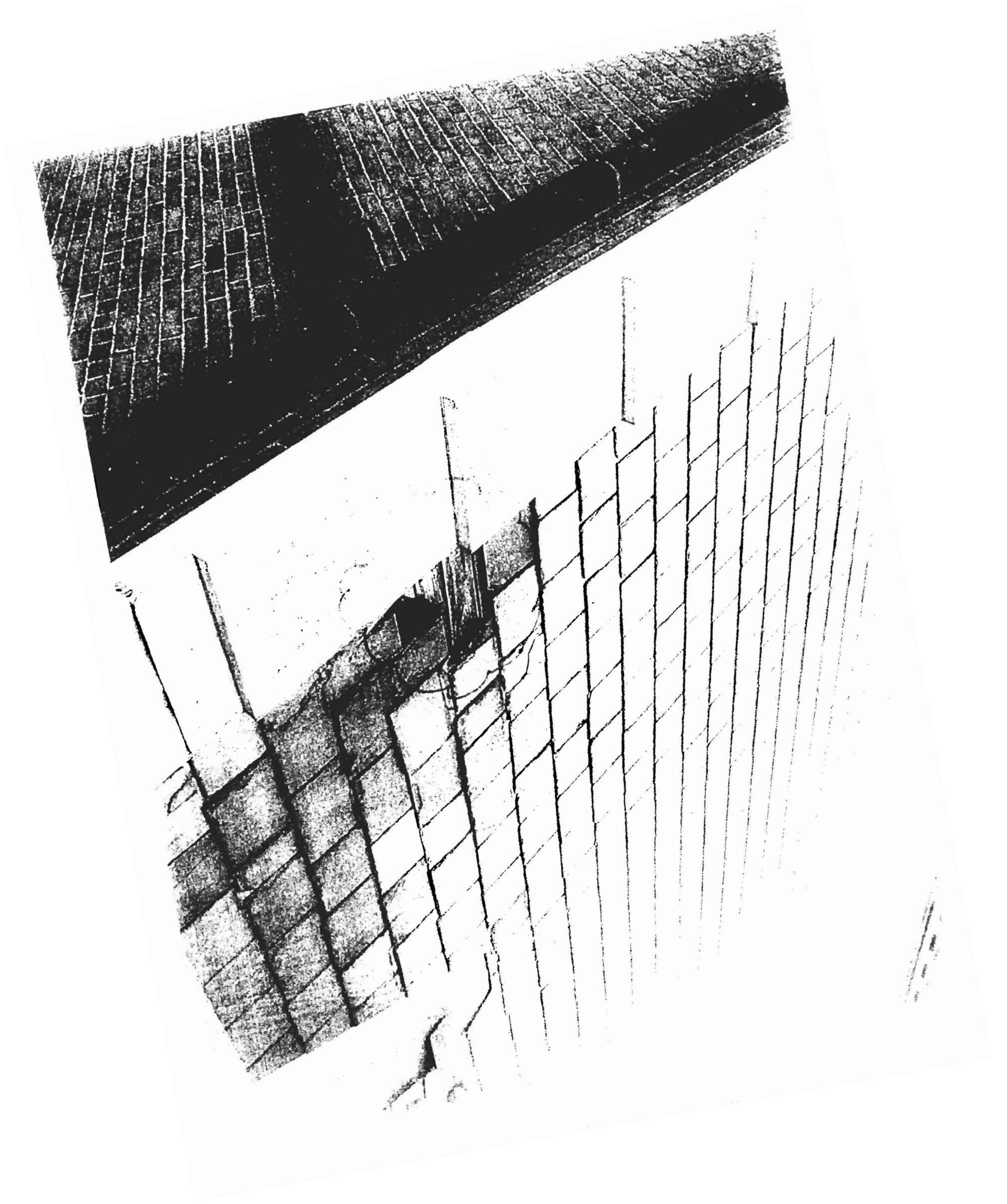
- ▨ INDICATES APPROXIMATE LOCATION OF MISSING SLATE TO BE REPLACED
- ▩ INDICATES APPROXIMATE LOCATION OF LOOSE ROOFING SLATES
- ▧ INDICATES APPROXIMATE LOCATION OF LOOSE COPPER FLASHING

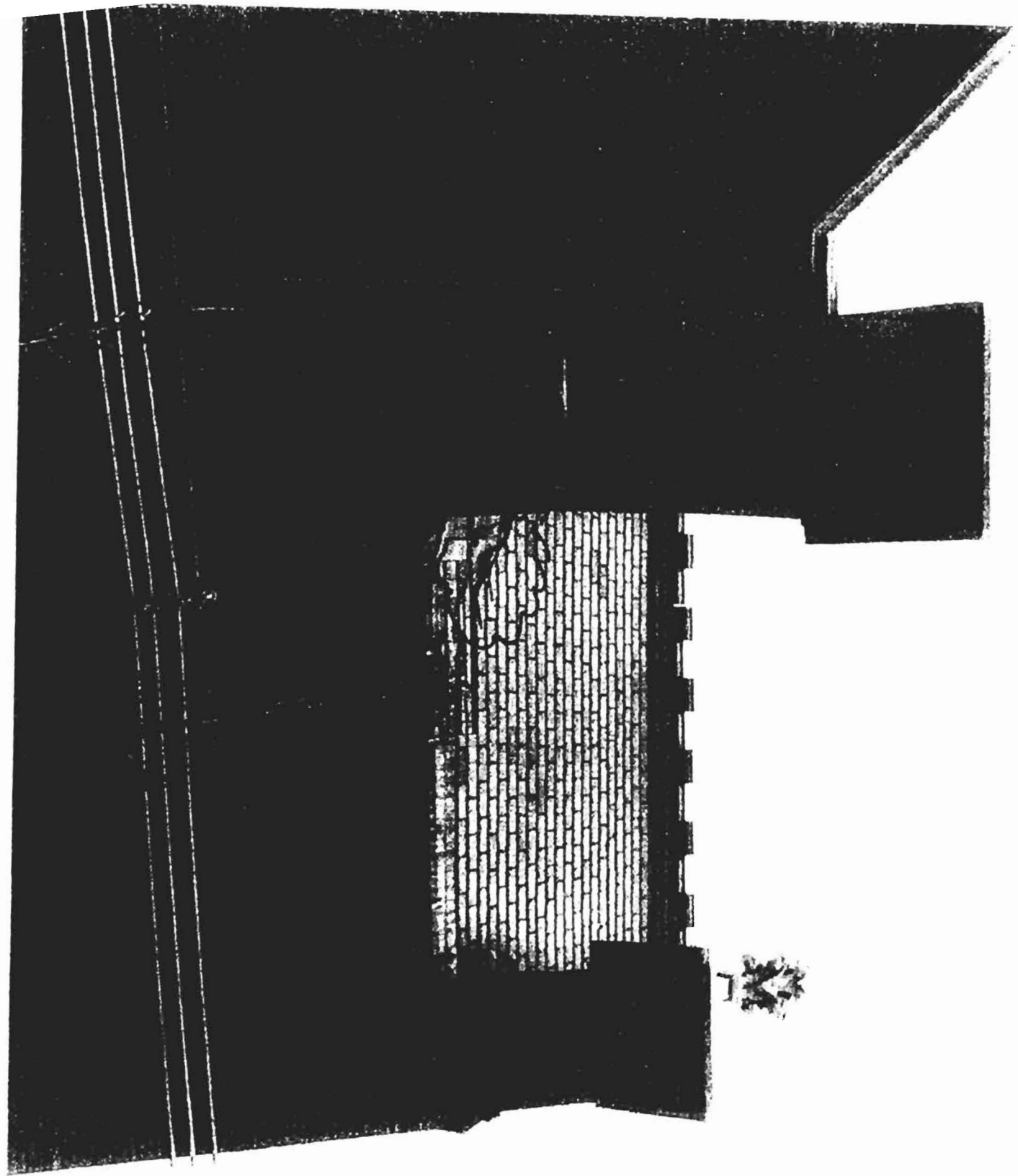


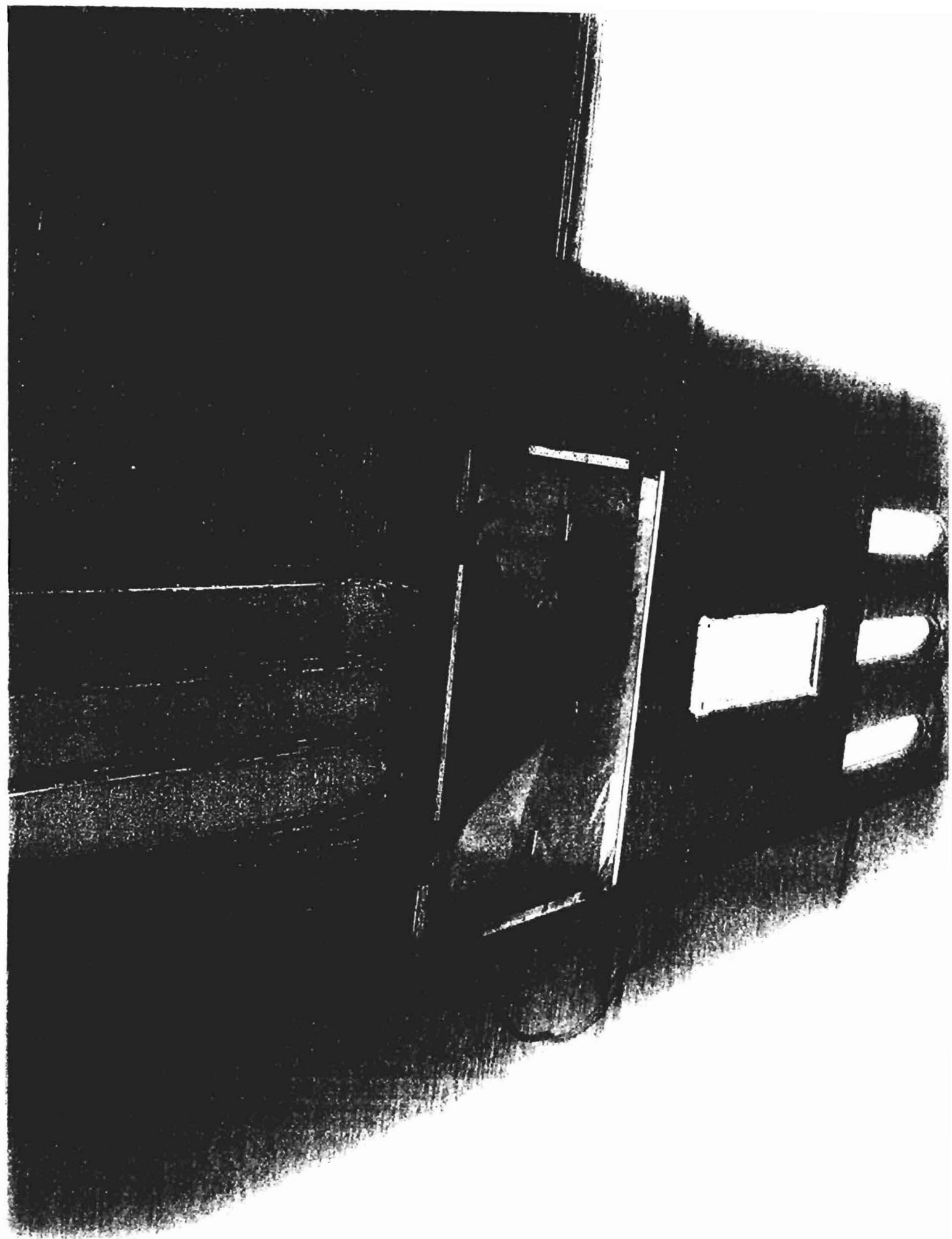


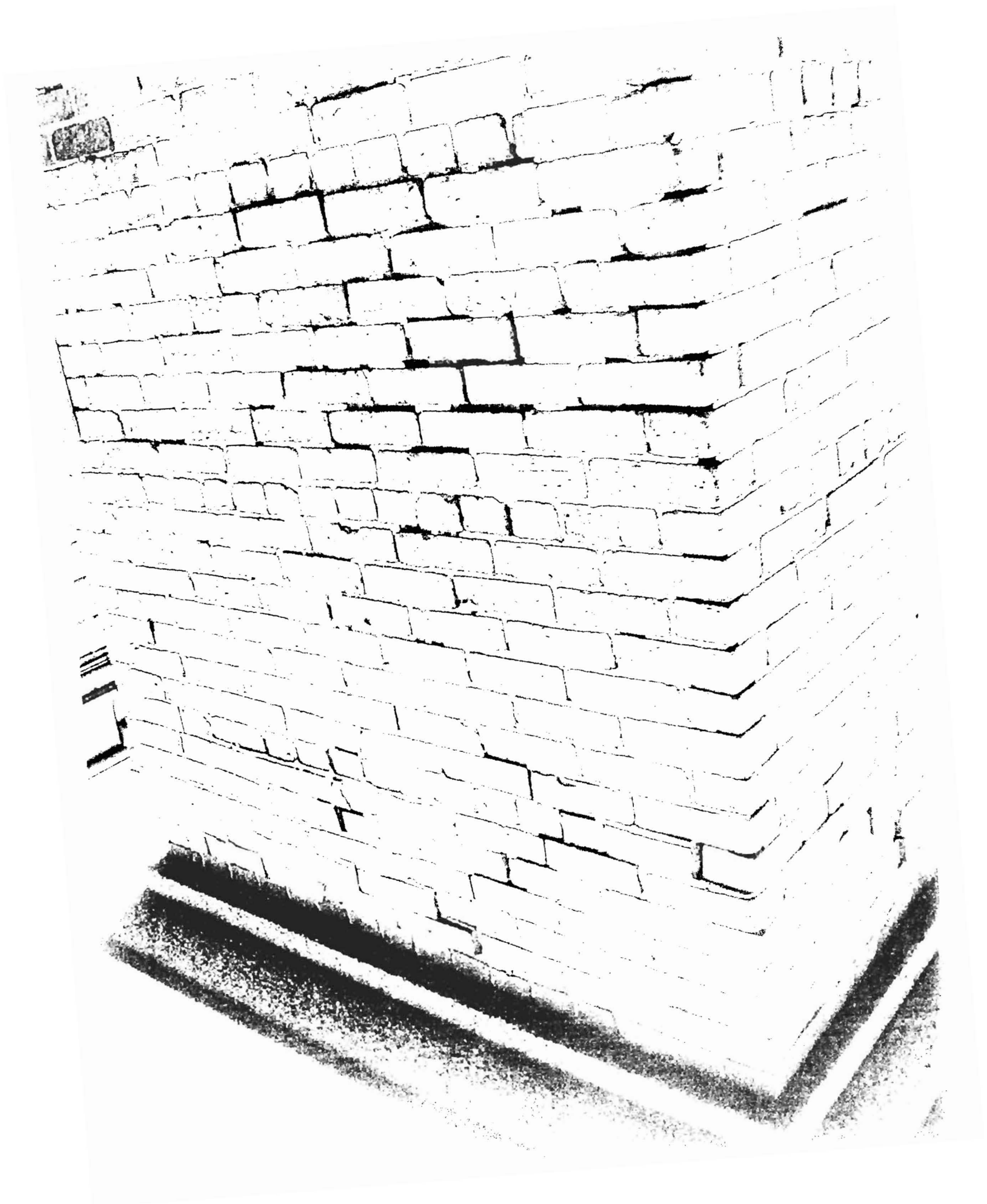


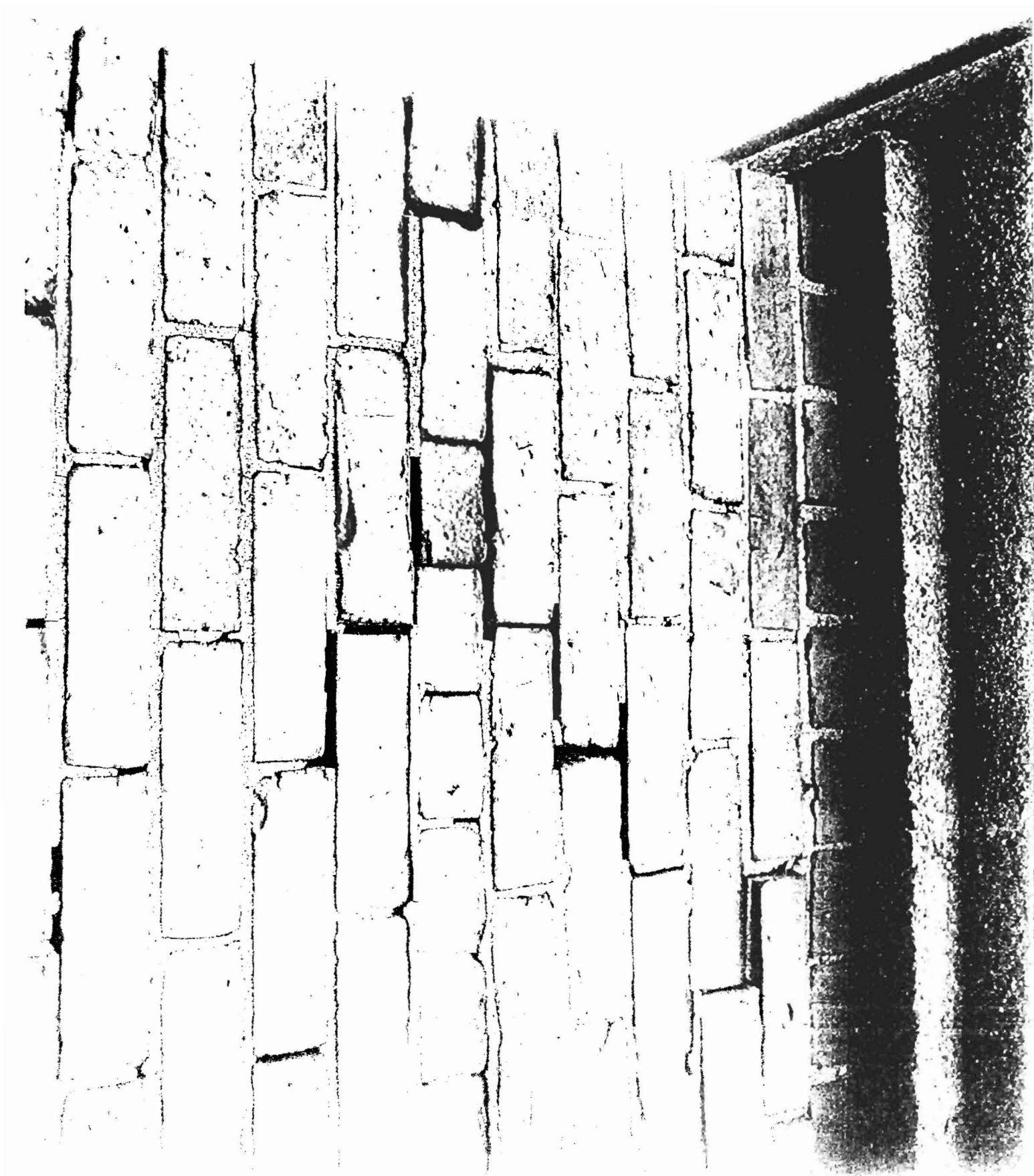


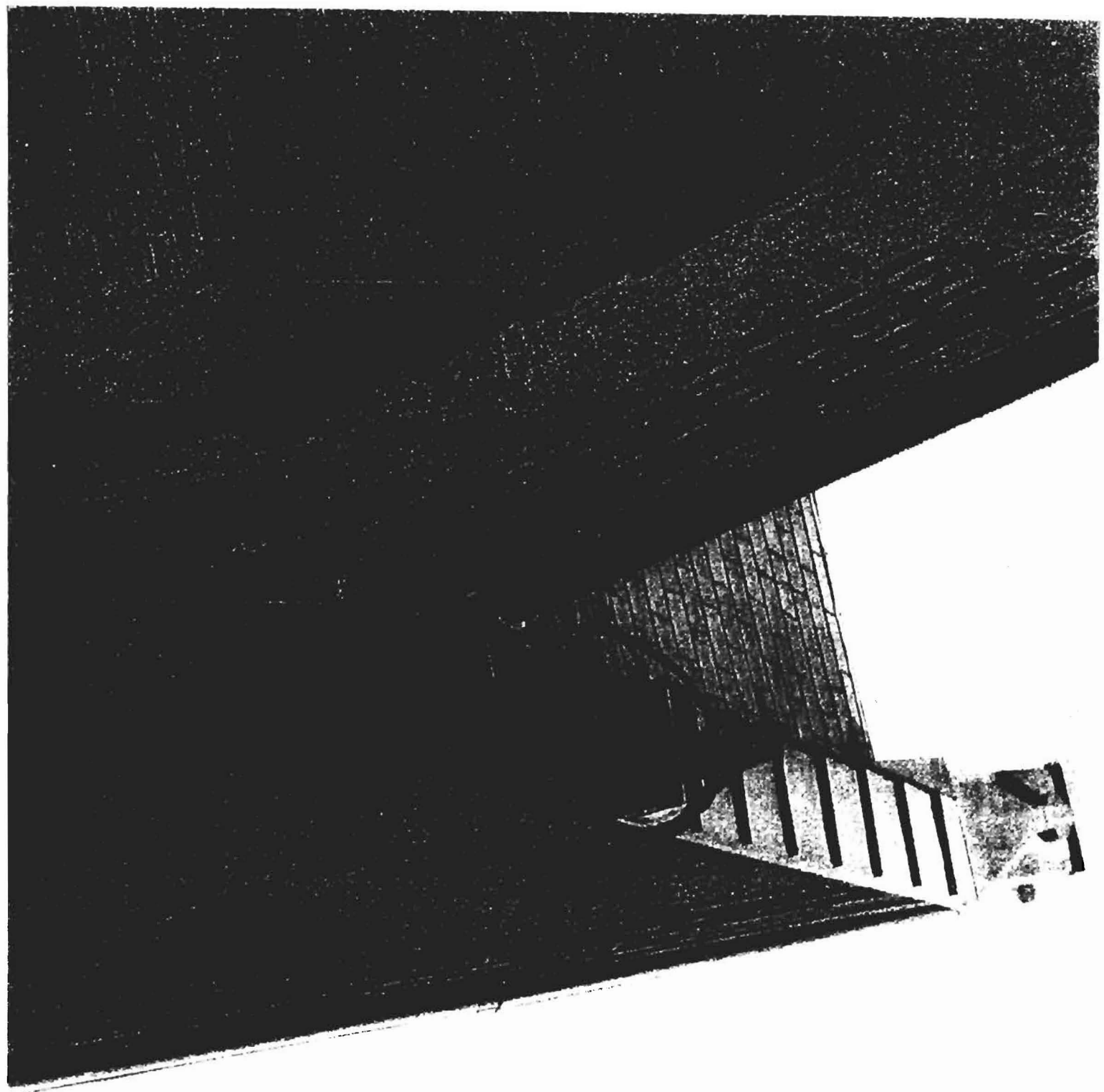












mortar joints are soft, and the mortar can easily be removed by scraping with a fingernail or pocket knife. Cracks in the granite sills below windows were noted as were cracks in the bricks at the arch bearing locations at many of the windows.

The brownstone bands and traceries around the windows are in fair condition. In many areas the brownstone was loose or delaminating.

More significant signs of masonry distress were noted at isolated areas. These areas included but were not limited to:

- A large bulge, failing mortar joints and loose brick at the top of the pilaster to the right of the main entrance from Gray Street.
- A severely damaged brick pilaster on the small gable end wall of the west elevation. At this location, a number of bricks appeared to be in danger of falling (Photo 6).
- A large bulge and several smaller bulges below the large arched window in the north elevation (Photo 7).
- Significantly deteriorated and sagging brick in the wall above the ridge of roof over the Irish Heritage Center office where this gable roof interfaces with the sanctuary side wall (Photo 8).



Photo 6: Damaged/Loose Brick at Parapet - West Gable Roof

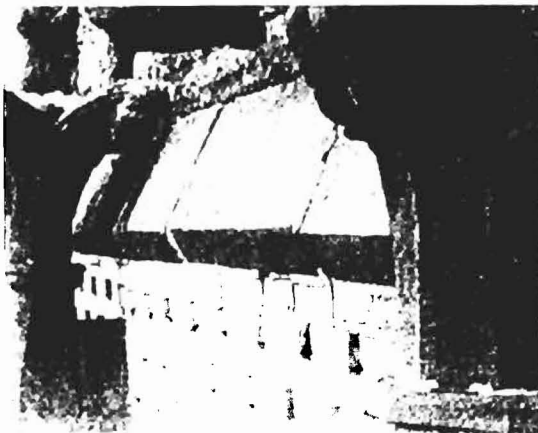


Photo 7: Bulge below Arch Window at Front of Building

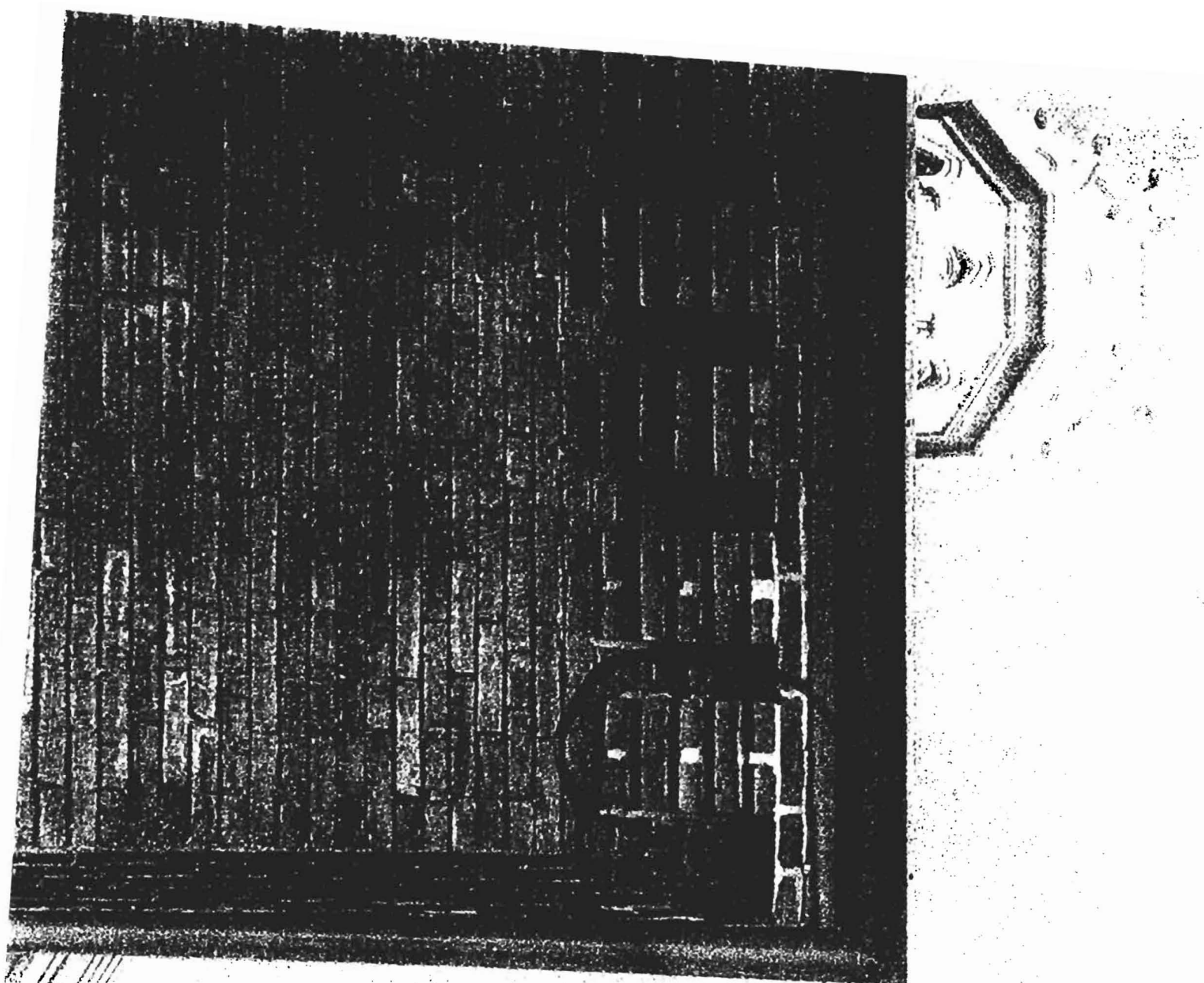


Photo 8: Damaged/Sagging Brick at Office Low Gable Roof

Several additional isolated areas were noted where bricks appeared loose and in danger of falling. These areas are indicated on the drawings attached in Appendix A.

Copper

The majority of walls between the low mono-pitch and high gable roof are clad with copper (refer to Drawing S9 in Appendix A for location). At a number of locations, the



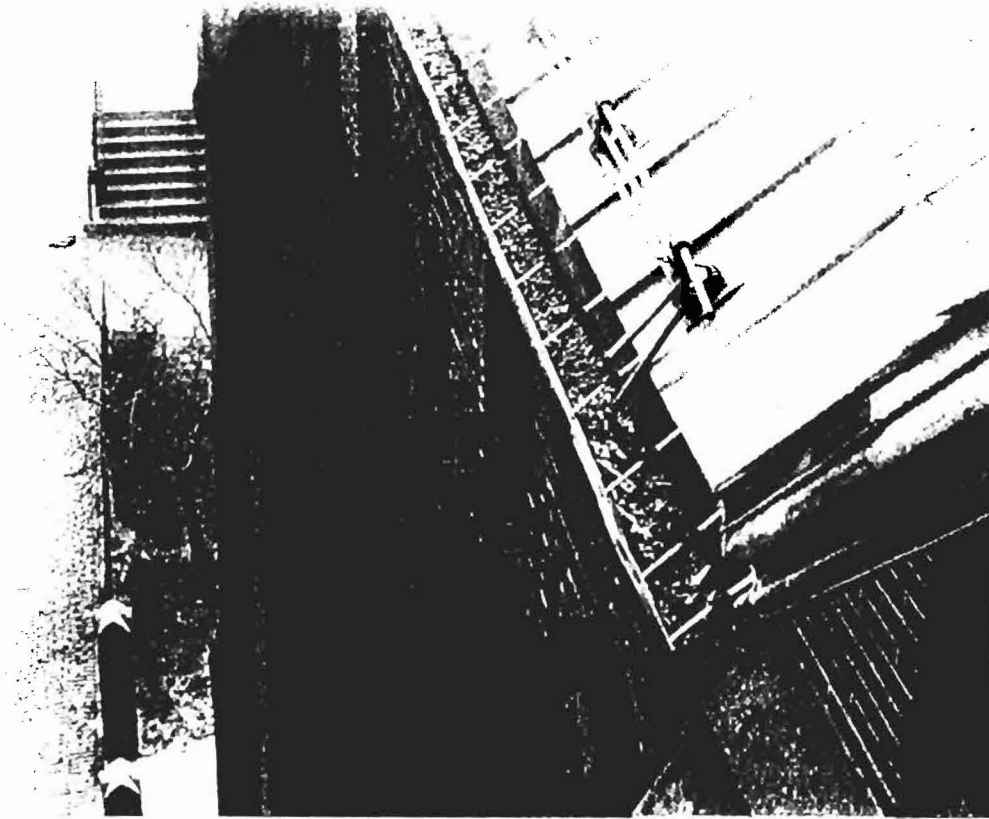


Photo B- 5: Debris in Gutter / Damaged Snow Guard

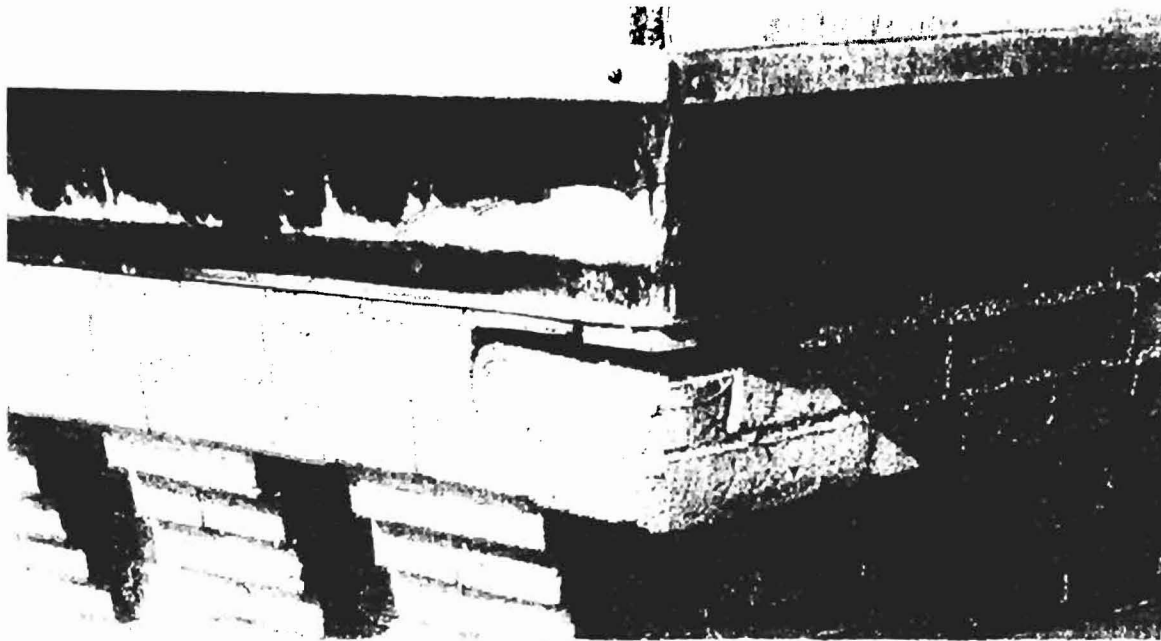
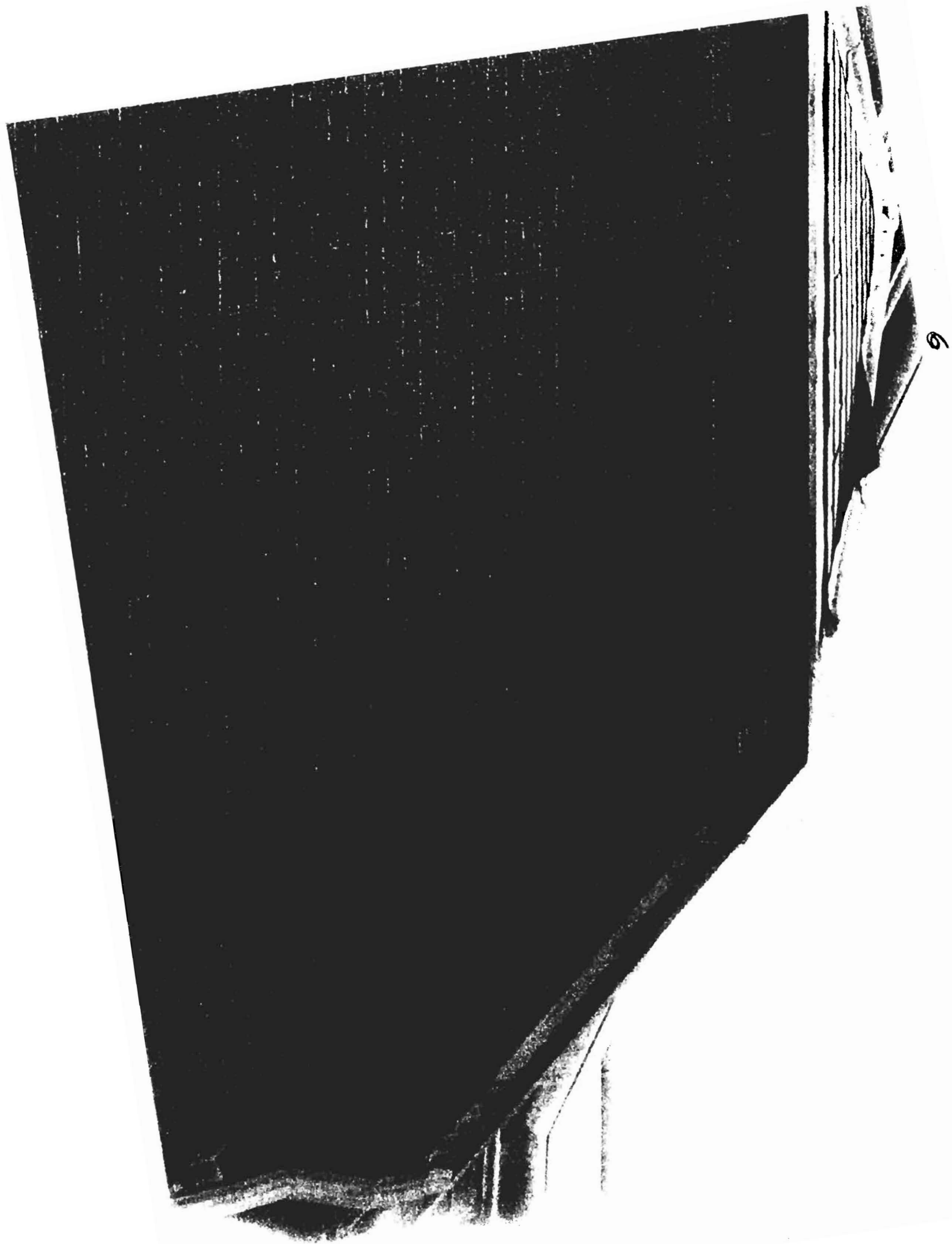
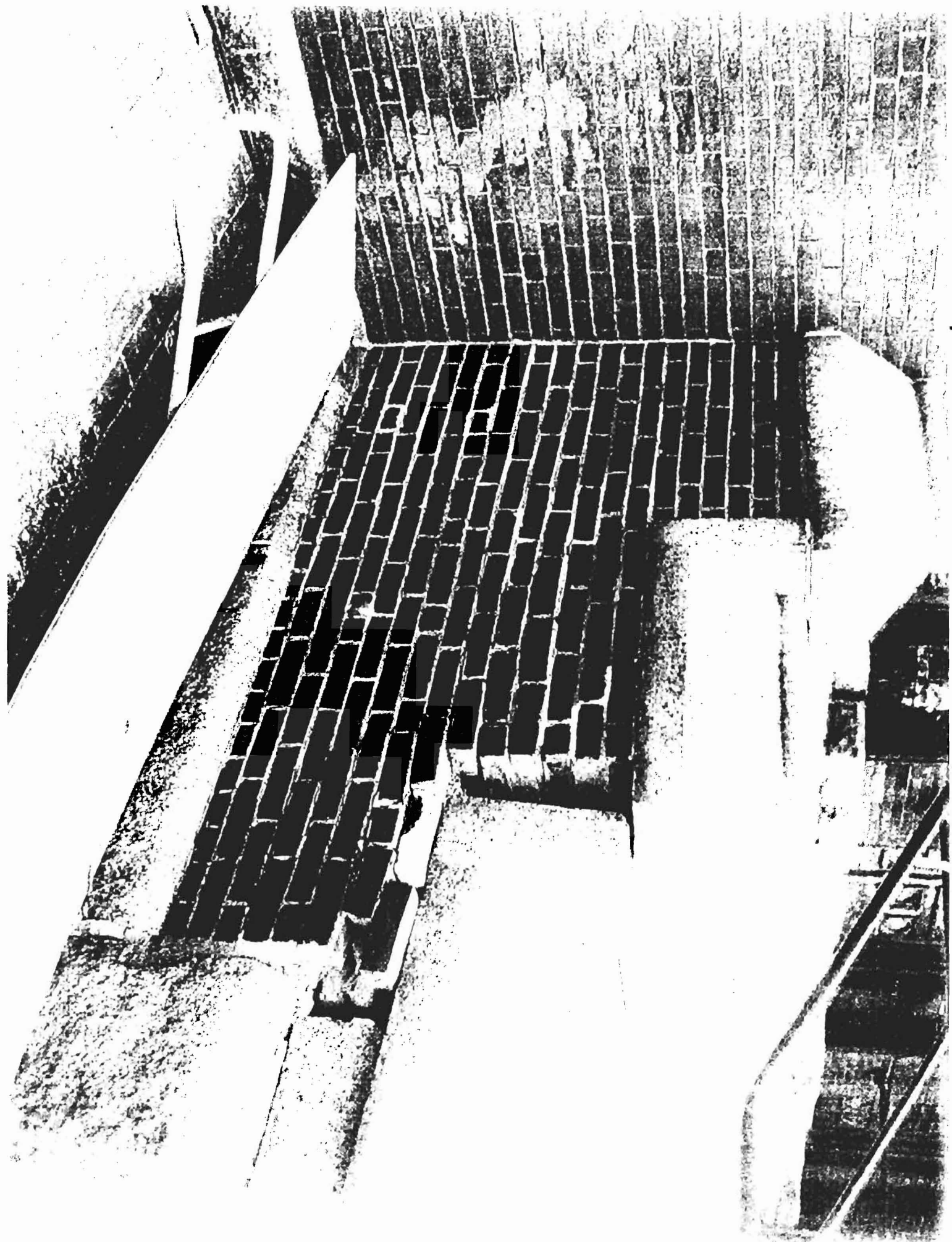
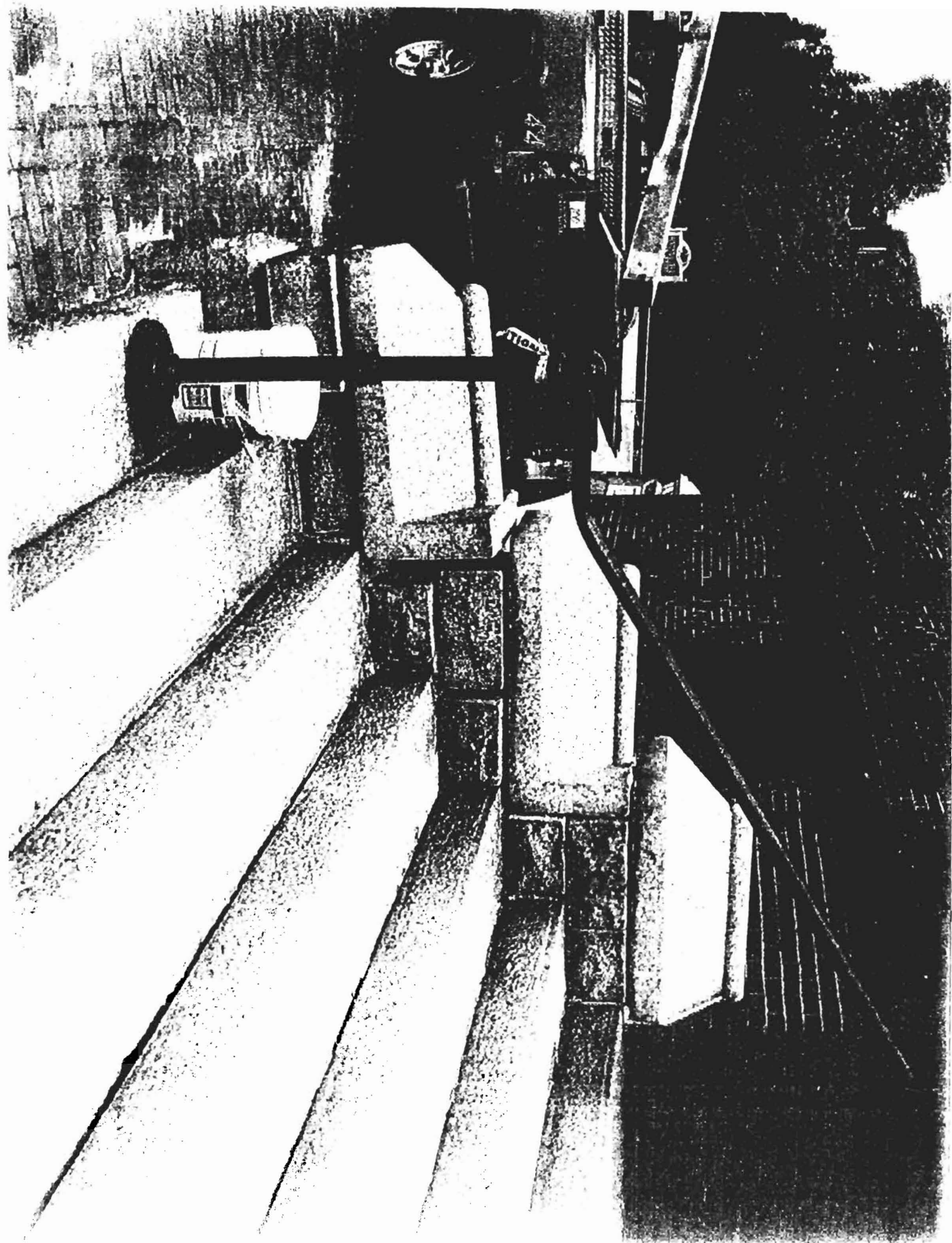
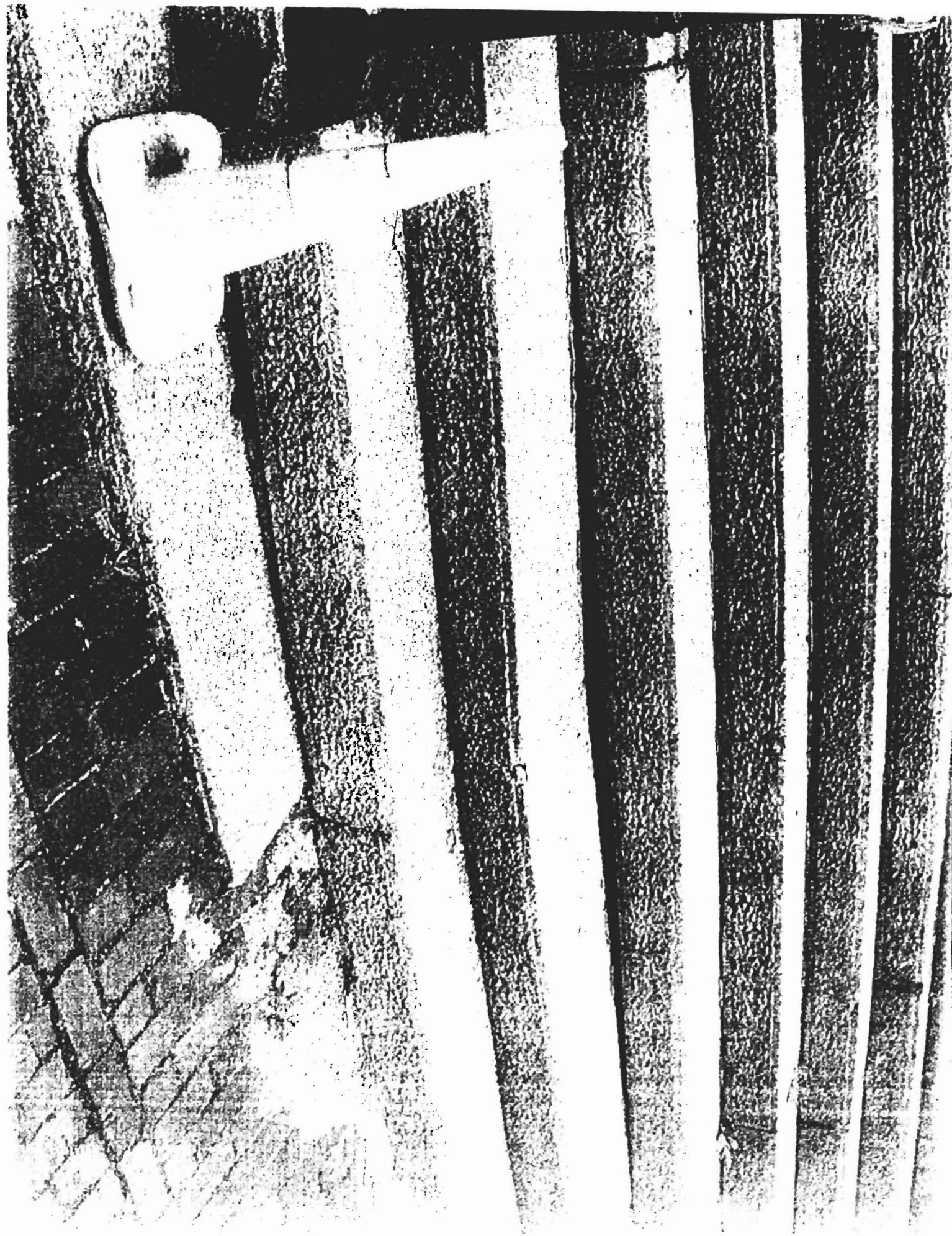


Photo B- 6: Loose Brick

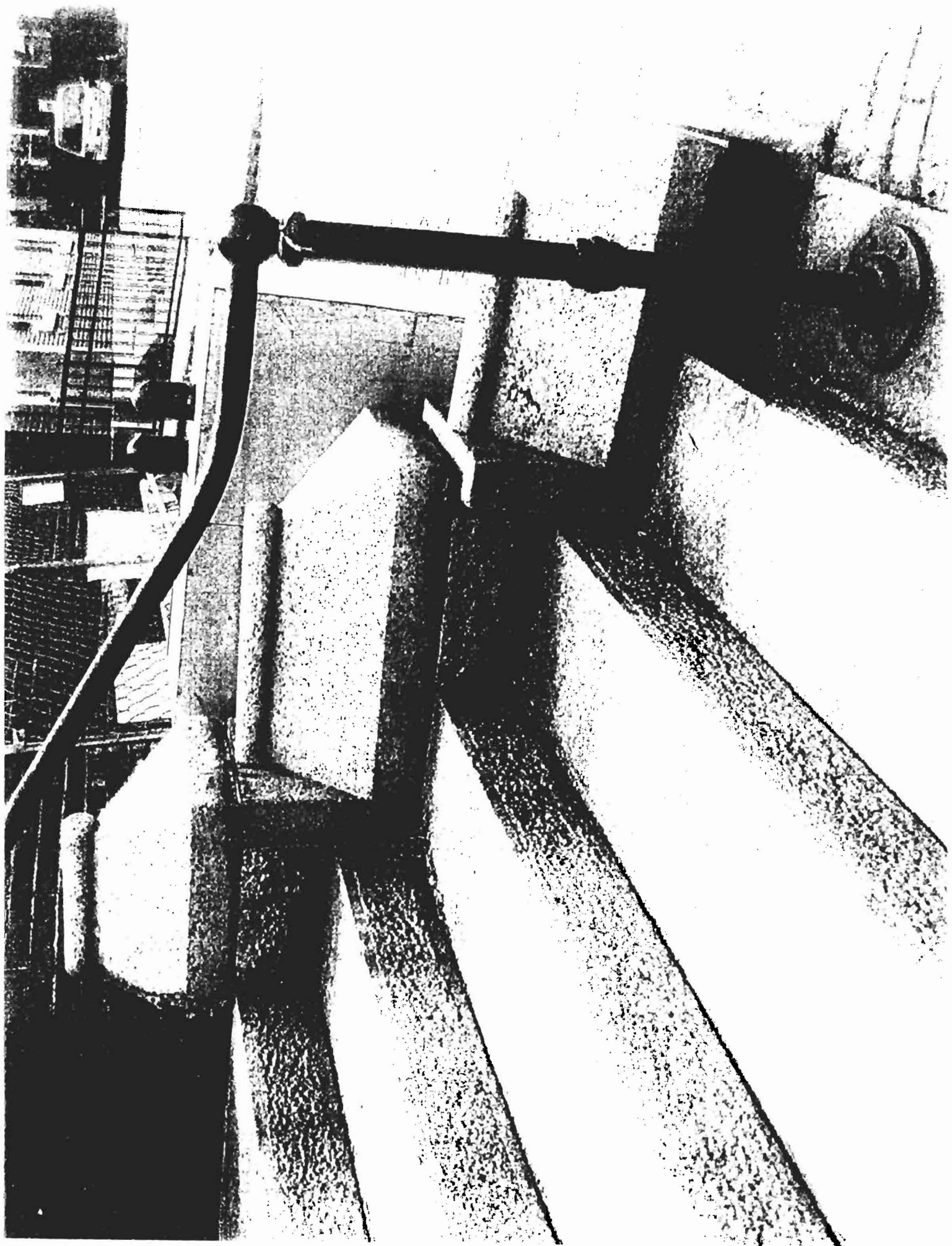








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