

44-F-1

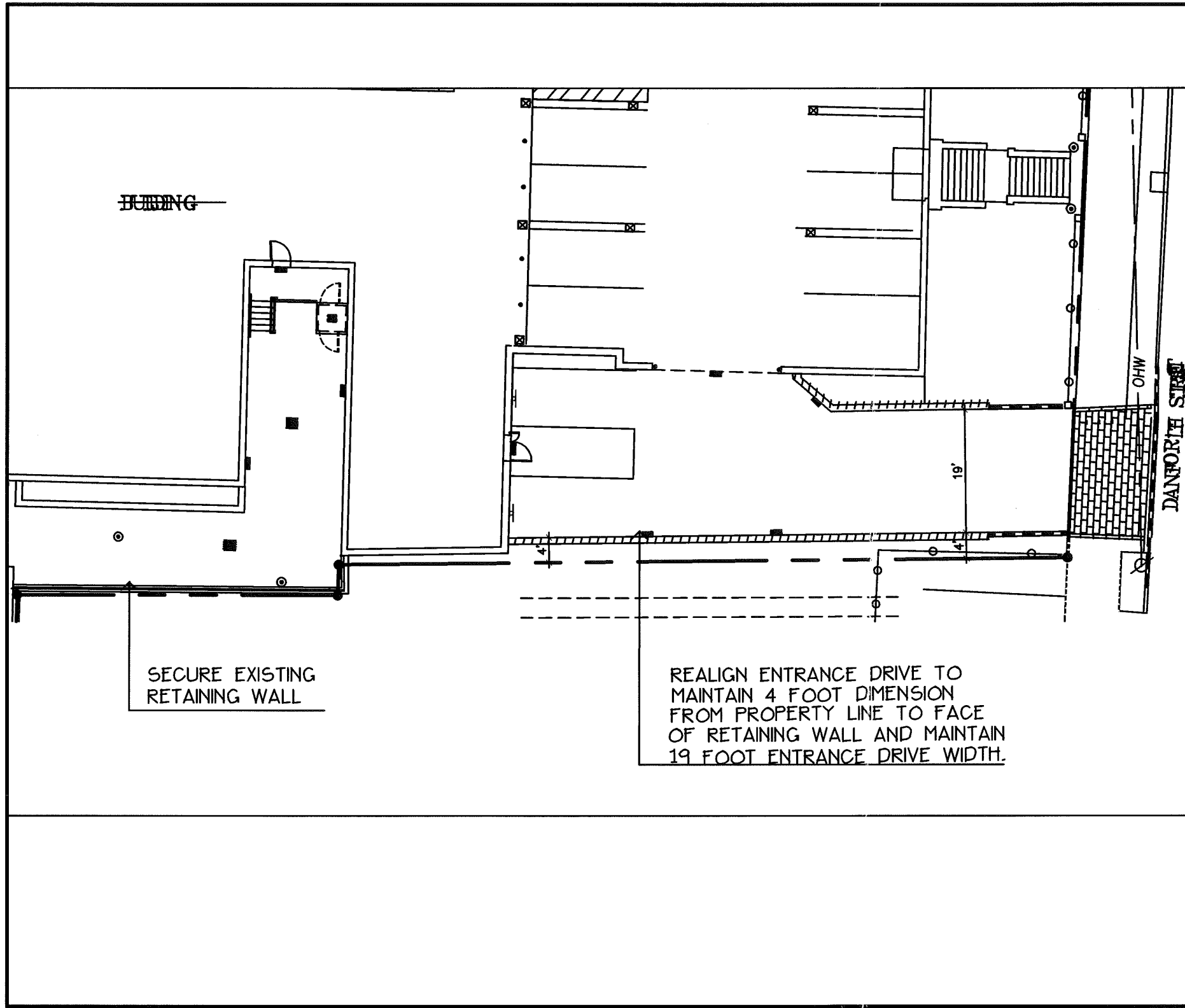
10-997-00008

66-68 High St.

35 Unit Multi Family

Childrens Hospital Housing Partners

add to Spreadsheet



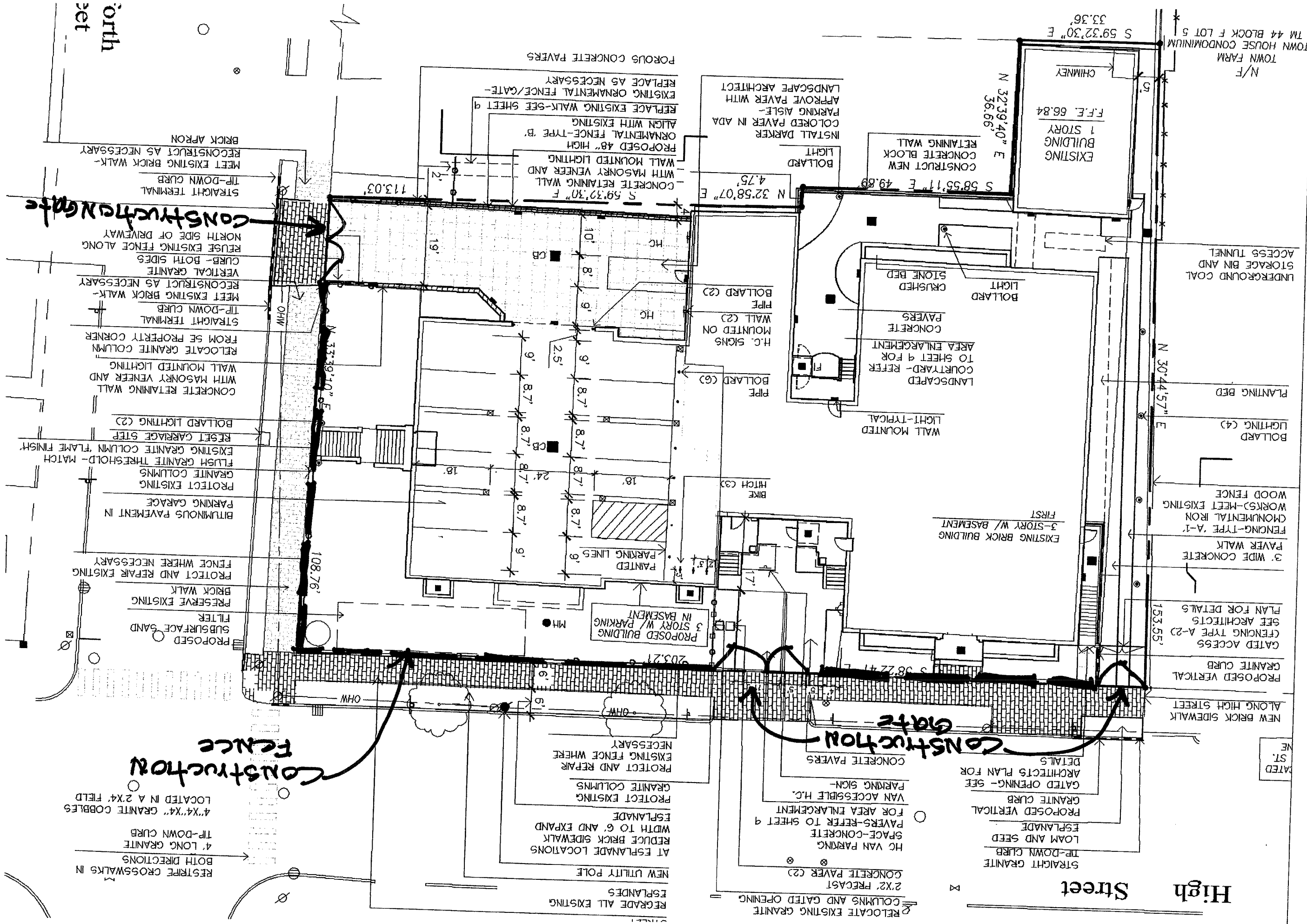
BUILDING

SECURE EXISTING
RETAINING WALL

REALIGN ENTRANCE DRIVE TO
MAINTAIN 4 FOOT DIMENSION
FROM PROPERTY LINE TO FACE
OF RETAINING WALL AND MAINTAIN
19 FOOT ENTRANCE DRIVE WIDTH.

DANFORTH STREET
OHV

Mitchell & Associates LANDSCAPE ARCHITECTS 70 Center Street Portland, Maine 04101 Tel: (207) 774-4427 Fax: (207) 874-2460	Title: RAINING TAIL REVISIONS	
	Date: DECEMBER 11, 2011	Scale: 1"=20'
Project: BRACE		



High Street

NEW BRICK SIDEWALK
ALONG HIGH STREET
PROPOSED VERTICAL
GRANITE CURB
GATED ACCESS
(FENCING TYPE A-2)
SEE ARCHITECTS
PLAN FOR DETAILS
3' WIDE CONCRETE
PAVER WALK
FENCING-TYPE A-1
MONUMENTAL IRON
WORKS)-MEET EXISTING
WOOD FENCE
BOLLARD LIGHTING (C4)
PLANTING BED

STRAIGHT GRANITE
TIP-DOWN CURB
LOAM AND SEED
ESPLANADE
PROPOSED VERTICAL
GRANITE CURB
GATED OPENING- SEE
ARCHITECTS PLAN FOR
DETAILS
RELOCATE EXISTING GRANITE
COLUMNS AND GATED OPENING
2'X2' PRECAST
CONCRETE PAVER (C2)
TIP-DOWN CURB
NEW VAN PARKING
SPACE-CONCRETE
ESPLANADE
FOR AREA ENLARGEMENT
VAN ACCESSIBLE H.C.
PARKING SIGN-
DETAILS

RELOCATE EXISTING GRANITE
COLUMNS AND GATED OPENING
2'X2' PRECAST
CONCRETE PAVER (C2)
TIP-DOWN CURB
LOAM AND SEED
ESPLANADE
PROPOSED VERTICAL
GRANITE CURB
GATED OPENING- SEE
ARCHITECTS PLAN FOR
DETAILS
RELOCATE EXISTING GRANITE
COLUMNS AND GATED OPENING
2'X2' PRECAST
CONCRETE PAVER (C2)
TIP-DOWN CURB
NEW VAN PARKING
SPACE-CONCRETE
ESPLANADE
FOR AREA ENLARGEMENT
VAN ACCESSIBLE H.C.
PARKING SIGN-
DETAILS

REGRADE ALL EXISTING
ESPLANDES
NEW UTILITY POLE
AT ESPANADE LOCATIONS
REDUCE BRICK SIDEWALK
WIDTH TO 6' AND EXPAND
ESPLANADE
PROTECT EXISTING
GRANITE COLUMNS
PROTECT AND REPAIR
EXISTING FENCE WHERE
NECESSARY

CONSTRUCTION FENCE

RESTRIPE CROSSWALKS IN
BOTH DIRECTIONS
4' LONG GRANITE
TIP-DOWN CURB
4'X4'X4" GRANITE COBBLES
LOCATED IN A 2'X4' FIELD

TOWN FARM
TOWN HOUSE CONDOMINIUM
TM 44 BLOCK F LOT 5
N/F

EXISTING
BUILDING
1 STORY
F.F.E. 66.84
CHIMNEY

CONSTRUCT NEW
CONCRETE BLOCK
RETAINING WALL

INSTALL DARKER IN ADA
COLORED PAVER WITH
PARKING AISLE-
LANDSCAPE ARCHITECT
APPROVE PAVER ARCHITECT

POROUS CONCRETE PAVERS
REPLACE EXISTING WALK-GATE-
EXISTING ORNAMENTAL FENCE/GATE-
REPLACE AS NECESSARY

CONSTRUCTION GATE

MEET EXISTING BRICK WALK-
RECONSTRUCT AS NECESSARY
BRICK APRON

MEET EXISTING BRICK WALK-
RECONSTRUCT AS NECESSARY
BRICK APRON

North
set

Ways to save money on Elm Terrace: Analysis

Estimated Additional Investment* Potential Savings Potential Annual Cost¹ Projected Timeline Odds of Permittability Notes

Considered Non-Permittable by City, DEP, CODE or HISTORICAL

1	Take brick off addition	\$	400,000	\$	57,000	6 - 9 months	0%	Revise all permits: done to satisfy historic requirements, will not be approved, site will be lost during process
2	Take parapet off the addition	\$	-	\$	28,000	6 - 9 months	0%	Revise all permits: done to satisfy historic requirements, will not be approved, site will be lost during process
3	Redesign the entrance and delete the monumental stairs	\$	-	\$	20,000	6 - 9 months	0%	Revise City permits. City requirement to meet water Quality and Quantity, will not be approved
4	Omit the Storm Tech System, associated piping + site work	\$	-	\$	76,700	6 - 9 months	0%	Impossible to build project as designed w/out retaining walls
5	Delete the retaining walls	\$	-	\$	108,876	6 - 9 months	0%	Revise historic permits. This would be an additional cost, will not be approved by Historic
6	Take down the boiler building and chimney	\$	-	\$	(40,000)	6 - 9 months	50%	Not feasible; costs are stabilization only for unheated masonry structure
7	Don't repair Boiler Building	\$	-	\$	42,000		0%	Without construction easements the project cannot go forward
8	Don't do any easement work	\$	-	\$	42,728		0%	Embedded asbestos is future hazard, likely will not meet MHGBS or MUBEC, liability issues
9	Don't insulate the walls of the historic building, leave interior walls in place	\$	-	\$	120,000		0%	Need number from Haz Mat bid
10	Leave boiler with hazardous materials in place and seal it off	\$	400,000	\$	455,304		?	

Considered Permittable by City, DEP, CODE or HISTORICAL with MUNICIPAL REPERMITTING

11	Take parking out and build slab on grade	\$	205,000	\$	13,444	6 - 9 months	50%	Revise all permits, get City and MH waivers, lease more spaces, site will be lost during process
12	Retain the plaster walls and encase the asbestos	\$	-	\$	-		50%	warrantable installation, liability issues
13	Find another ways to waterproof or delete waterproofing	\$	-	\$	47,000	10,000	75%	Basement is wet now, w/o waterproofing mold development is likely
14	Meet MUBEC requirements for existing buildings	\$	-	\$	-		90%	Needs more analysis to determine financial impact
15	Don't remove the paint on the existing building and don't repaint	\$	-	\$	45,000	6 - 9 months	90%	Revise historic approvals at local, state, and federal levels, site will be lost during process
16	Vinyl windows in addition	\$	-	\$	27,648	6 - 9 months	5%	may not be available for tallest windows
17	Omit ornamental fence at retaining wall	\$	-	\$	6,500	6 - 9 months	10%	Condition of construction easement; w/o easements the project cannot go forward
18	Remove iron railing on the roof	\$	-	\$	14,000	6 - 9 months	75%	Revise historic approvals at local, state and federal levels, site will be lost during process
19	Reduce the square footage of the addition: \$149 per s.f incl. site work	\$	-	\$	600,619	6 - 9 months	25%	lose 4-5 units & increases cost per unit
20	Reduce the height of the addition (assumed to be the same as 11)	\$	-	\$	-	6 - 9 months	0%	Revise all permits, get City and MH waivers, lease more spaces, site will be lost during process

Considered Achievable without HISTORICAL or MUNICIPAL REPERMITTING

21	Trench don't excavate for plumbing	\$	-	\$	41,000		100%	Physically possible, but prevents effective waterproofing
22	Eliminate enlarged windows in community room	\$	-	\$	15,000		100%	Additional natural light enhances basement community space, increased operating cost for light fixtures
23	Eliminate traffic bearing membrane at coal bin	\$	-	\$	7,200		100%	Will add to future operating costs
24	Reduce new flooring costs in addition	\$	-	\$	9,000	2,000	100%	Will add to future operating costs
25	Simplify the structural system of the garage	\$	-	\$	-		100%	Not physically possible -- garage is the most economically efficient system in today's market.
26	Hollow core doors instead of solid core doors	\$	-	\$	27,375	4,000	100%	Will add to future operating costs
27	Go to final bid	\$	-	\$	99,575			In progress
		\$	400,000	\$	1,500,646			Items: all
		\$		\$	146,575			Items: 13, 21-27
		\$		\$	86,648			Items: 15, 16, 17

* Estimated Additional Investment could range from \$10K up to \$400K, depending upon action items selected.
 Potential annual costs need additional research and are not complete.

3. ELEVATIONS HEREON ARE BASED ON CITY OF PORTLAND DATUM. BENCHMARK IS THE TOP OF A GRANITE MONUMENT AT SOUTHWEST CORNER OF DANFORTH AND PARK STREET ELEVATION 75.95'

2. BEARING ORIENTATION IS A GEODETIC AZIMUTH BASED ON PLAN REFERENCE 3.

3. PLAN OF TOWN FARM TOWNHOUSE CONDOMINIUM, HIGH & PLEASANT ST., PORTLAND, MAINE MADE FOR PLEASANT STREET DEVELOPMENT ASSOCIATES DATED 8-2-84 AND RECORDED IN REGISTRY OF DEEDS PLAN BOOK 145 PAGE 47.

- OWNER OF RECORD: UNIVERSITY OF MAINE TM 44 BLOCK F LOT 1 9983/183
- SECOND AMENDED SURVEY, THE CARROLL MANSION A CONDOMINIUM, 77 PARK STREET, PORTLAND, MAINE DATED 6-20-84 (REVISED 3-20-85) AND RECORDED IN REGISTRY OF DEEDS PLAN BOOK 146 PAGE 60.
- PLAN OF TOWN FARM TOWNHOUSE CONDOMINIUM, HIGH & PLEASANT ST., PORTLAND, MAINE MADE FOR PLEASANT STREET DEVELOPMENT ASSOCIATES DATED 8-2-84 AND RECORDED IN REGISTRY OF DEEDS PLAN BOOK 145 PAGE 47.

NOTES

- "CONDOMINIUM PLAT, OLIVER B. DORRANCE HOUSE, 99-101 DANFORTH ST., PORTLAND, MAINE, MADE FOR 99-101 DANFORTH ST. ASSOCIATES," DATED AUG 06, 2001 AND RECORDED IN PLAN BOOK 201 PAGES 394, 395.
- OWNER OF RECORD: UNIVERSITY OF MAINE TM 44 BLOCK F LOT 1 9983/183
- PLAN OF TOWN FARM TOWNHOUSE CONDOMINIUM, HIGH & PLEASANT ST., PORTLAND, MAINE MADE FOR PLEASANT STREET DEVELOPMENT ASSOCIATES DATED 8-2-84 AND RECORDED IN REGISTRY OF DEEDS PLAN BOOK 145 PAGE 47.

PLAN REFERENCES:

CERTIFICATION:

OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE.

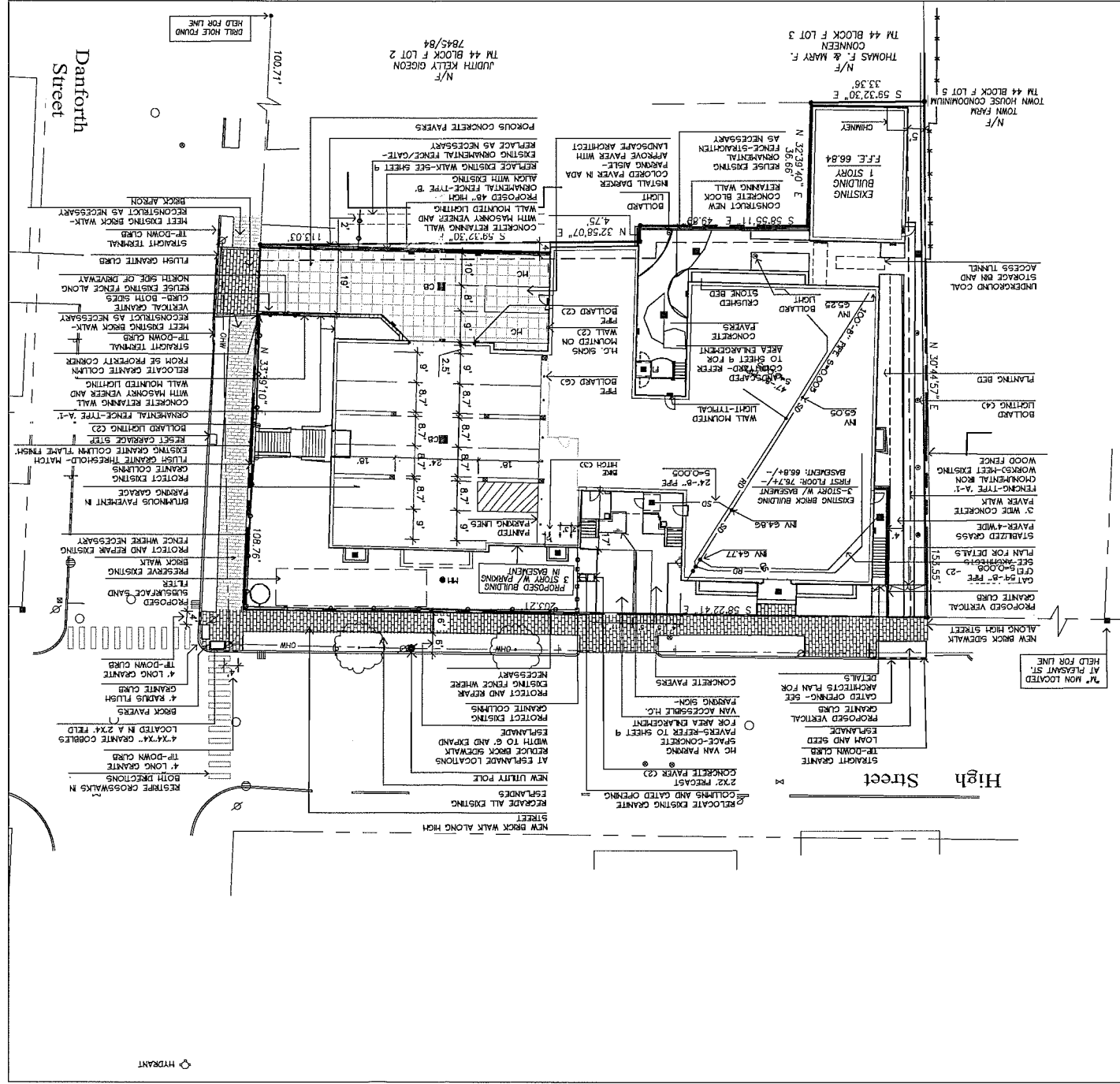
JOHN W. SWAN, PLS NO. 1038

DATE

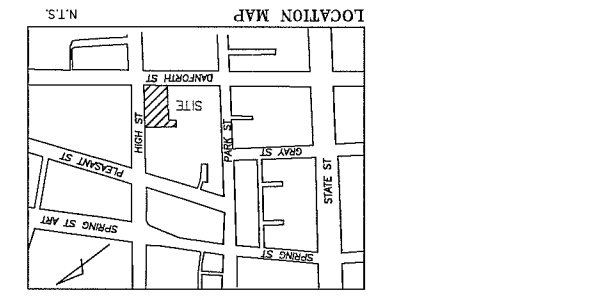
PROPOSED	EXISTING

LEGEND

1. SITE AREA: 23,797 SF OR 0.54 ACRES
2. OWNER: UNIVERSITY OF MAINE SYSTEM, 16 CENTRAL STREET, BANGOR, MAINE 04401
3. ZONING DISTRICT: R7 - COMPACT URBAN RESIDENTIAL OVERLAY
4. EXISTING CONDITIONS AND BOUNDARY INFORMATION TAKEN FROM A PLAN ENTITLED "ALTA/CGM LAND TITLE SURVEY" PREPARED BY OWEN HASKELL, INC. DATED APRIL 8 2010.
5. ELEVATIONS ARE BASED ON CITY OF PORTLAND DATUM. BENCHMARK IS THE TOP OF A GRANITE MONUMENT AT THE SOUTHWEST CORNER OF DANFORTH STREET AND PARK STREET ELEVATION 75.95'
6. SPACE AND BULK STANDARDS:
 - MINIMUM LOT SIZE: NONE
 - MINIMUM STREET FRONTAGE: NONE
 - REAR YARD SETBACK: NONE
 - SIDE YARD SETBACK: 5 FEET
 - MAXIMUM LOT COVERAGE: 100%
 - MAXIMUM LOT WIDTH: 30 FEET
 - MAXIMUM HEIGHT OF STRUCTURES: 50 FEET
7. OFF-STREET PARKING REQUIREMENTS:
 - RESIDENTIAL-ONE (1) SPACE/DWELLING UNIT.
 - REQUIRED: 15 (15) NEW DWELLING UNITS
 - PROPOSED: 15 VEHICLE SPACES INCLUDING 3 HANDICAP ACCESSIBLE SPACES
 - 8. BICYCLE PARKING: 2 SPACES/5 DWELLING L
 - 9. PROPOSED PREVIOUS: 18,150 SF (70% OF SITE)
 - 10. ALL WORK WITHIN THE STREET RIGHT-OF-WAY SHALL MEET THE CITY OF PORTLAND STANDARDS.
 - 11. THE CONTRACTOR SHALL BE HELD SOLELY RESPONSIBLE FOR UNDERSTANDING THE WORK IN A SAFE AND EFFICIENT MANNER. ALL WORK AREAS SHALL BE STATE AND FEDERAL SAFETY REGULATIONS. ALL WORK AREAS SHALL BE DEMARKED CLEARLY AND FENCED AS APPROPRIATE TO PREVENT UNAUTHORIZED ACCESS. THE SITE SHALL BE LEFT IN A SAFE, ORDERLY AND UNIMPAIRED MANNER AT THE END OF EACH WORK DAY.
 - 12. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS AND PERFORM ALL WORK NECESSARY FOR MAINTAINING ACCESS TO AND FROM PUBLIC AND PRIVATE PROPERTIES AND RIGHTS OF WAY DURING CONSTRUCTION.



- CONDITIONS OF APPROVAL**
- PRIOR TO ISSUANCE OF A BUILDING PERMIT THE APPLICANT SHALL SUBMIT A FINANCIAL CONTRIBUTION TOWARDS THE CITY'S STREET TREE PROGRAM FOR THE REQUIRED 32 STREET TREES AT A COST OF \$200 PER TREE.
 - IN ORDER TO RECEIVE A BUILDING PERMIT THE APPLICANT SHALL SUBMIT A REVISED SITE PLAN/SUBDIVISION PLAN TO BE APPROVED BY THE PLANNING AUTHORITY AND DEPARTMENT OF PUBLIC SERVICES REVIEW AND APPROVAL. THE REVISED PLAN SHALL SPECIFICALLY ADDRESS GRADING AND DRAINAGE PLAN FOR PLANNING AUTHORITY AND DEPARTMENT OF PUBLIC SERVICES REVIEW AND APPROVAL. THE REVIEWED PLAN SHALL ALSO ADDRESS THE REVIEW COMMENTS REGRADING SEWER AND STORM DRAIN PILING. THE REVISED PLAN SHALL ALSO ADDRESS THE REVIEW COMMENTS OF THE STORMWATER ENGINEER DATED FEBRUARY 8, 2011 SUBMITTED AS ATTACHMENT 3.
 - PRIOR TO ISSUANCE OF A BUILDING PERMIT THE APPLICANT SHALL OBTAIN A CERTIFICATE OF APPROPRIATENESS FROM THE HISTORIC PRESERVATION BOARD.
 - PRIOR TO ISSUANCE OF A BUILDING PERMIT THE APPLICANT SHALL OBTAIN A WAIVER.
- WAIVERS**
- THE CHILDREN'S HOSPITAL APARTMENTS MAJOR SITE PLAN AND SUBDIVISION PLAN PORTLAND TECHNICAL STANDARDS.
 - SECTION 14-526 (C)(2)(C)(3) STREET TREES, WHERE THE APPLICANT SHALL CONTRIBUTE TO THE CITY OF PORTLAND TREE FUND AN AMOUNT PROPORTIONATE TO THE COST OF 32 STREET TREES.
 - SECTION 17.13 MINIMUM DRIVEWAY WIDTH FOR THE DRIVEWAY ACCESS ONTO DANFORTH ST. AND INSTALL STRAIGHT GRANITE CURB TERMINAL PIECES ON EACH SIDE OF THE DRIVEWAY IN LIEU OF CURVILINEAR CURBING.
 - SECTION 17.17 LOCATION AND SPACING OF DRIVEWAYS FOR THE DRIVEWAY WITH HIGH ST. IS REQUIRED AND THE APPLICANTS ARE PROPOSING A SEPARATION DISTANCE OF 98'.
 - SECTION 17.17 LOCATION AND SPACING OF DRIVEWAYS FOR THE DRIVEWAY ACCESS ONTO HIGH ST. A CLEARANCE OF 150' FROM THE INTERSECTION WITH DANFORTH ST. IS REQUIRED AND THE APPLICANTS ARE PROPOSING APPROXIMATELY 112'.
 - SECTION 17.17 LOCATION AND SPACING OF DRIVEWAYS WITH ADJUTING DRIVEWAYS ON ADJACENT LOTS IS 100' AND THE APPLICANTS ARE PROPOSING 9'.

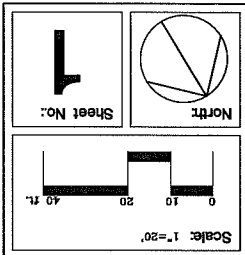


Approved: Portland Planning Board

Date: _____

Chairman, _____

Board Members, _____



Issued For: SUBDIVISION SITE PLAN & AMENDED SITE PLAN REVIEW

Date: OCTOBER 24, 2011

Revisions:

Reproduction or reuse of this document without the expressed written consent of Mitchell & Associates is prohibited.

Title: SUBDIVISION PLAN

Sheet No. 1

ELM TERRACE

68 High Street

Portland, Maine

Prepared For: Children's Hospital Housing Partners, LP
309 Cumberland Avenue, Suite 203
Portland, Maine 04101

Applicant: Children's Hospital Housing Partners, LP
309 Cumberland Avenue
Portland, Maine 04101

Prepared By: Mitchell & Associates
Landscape Architects
70 Center Street
Portland, Maine 04101
Tel: (207) 774-4427

Att. B

GENERAL NOTES

1. SITE AREA: 23,777 SF OR 0.54 ACRES
2. OWNER: UNIVERSITY OF MAINE SYSTEM
16 CENTRAL STREET
BANGOR, MAINE 04401
3. ZONING DISTRICT: R7 - COMPACT URBAN RESIDENTIAL OVERLAY
BANGOR, MAINE 04401
4. EXISTING CONDITIONS AND BOUNDARY INFORMATION TAKEN FROM A PLAN DATED APRIL 8 2010.
5. ELEVATIONS ARE BASED ON CITY OF PORTLAND DATUM. BENCHMARK IS THE TOP OF A GRANITE MONUMENT AT THE SOUTHWEST CORNER OF DANFORTH STREET AND PARK STREET ELEVATION 75.95'
6. SPACE AND BULK STANDARDS:
7. OFF-STREET PARKING REQUIREMENTS:
RESIDENTIAL-ONE (1) SPACE/DWELLING UNIT.
PROPOSED: 15 CIVIL DWELLING UNITS
15 VEHICLE PARKING SPACES
8. BICYCLE PARKING:
REQUIRED: 2 SPACES/5 DWELLING UNITS
2 SPACES/15 DWELLING UNITS
PROPOSED: 6 SPACES/15 DWELLING UNITS
6 SPACES/CON SITE
9. PROPOSED DWELLING UNITS:
EXISTING HISTORIC BUILDING: 23 DWELLING UNITS
TOTAL: 38 DWELLING UNITS
10. EXISTING IMPROVEMENTS:
11,915 SF COZ OF SITE
PROPOSED IMPROVEMENTS:
18,150 SF COZ OF SITE
11. ALL WORK WITHIN THE STREET RIGHT-OF-WAY SHALL MEET THE CITY OF PORTLAND STANDARDS.
12. THE CONTRACTOR SHALL BE HELD SOLELY RESPONSIBLE FOR UNDERTAKING STATE AND FEDERAL REGULATIONS. ALL WORK AREAS SHALL BE DEMARLED CLEARLY AND FENCED AS APPROPRIATE TO PREVENT UNAUTHORIZED ACCESS. THE SITE SHALL BE LEFT IN A SAFE, ORDERLY AND TIDY MANNER AT THE END OF EACH WORK DAY.
13. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS AND PERFORM ALL WORK NECESSARY TO REGULATE TRAFFIC IN THE AREA OF THE SITE AND SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO AND FROM PUBLIC AND PRIVATE PROPERTIES AND RIGHTS OF WAY DURING CONSTRUCTION.

LEGEND

EXISTING	PROPOSED
PROPERTY LINE	PROPERTY LINE
ABUTTING PROPERTY LINE	ABUTTING PROPERTY LINE
SEWAGE LINE	SEWAGE LINE
IRON PIPE	IRON PIPE
GRANITE MONUMENT	GRANITE MONUMENT
CURB	CURB
UTILITY POLE	UTILITY POLE
HYDRANT	HYDRANT
CATCH BASIN	CATCH BASIN
FIELD INLET	FIELD INLET
STORM DRAIN MANHOLE	STORM DRAIN MANHOLE
SANITARY SEWER MANHOLE	SANITARY SEWER MANHOLE
WATER VALVE	WATER VALVE
OVERHEAD UTILITY WIRES	OVERHEAD UTILITY WIRES
WALL MOUNTED LIGHT	WALL MOUNTED LIGHT
BOLLARD LIGHT	BOLLARD LIGHT
RETAINING WALL	RETAINING WALL
FENCE	FENCE

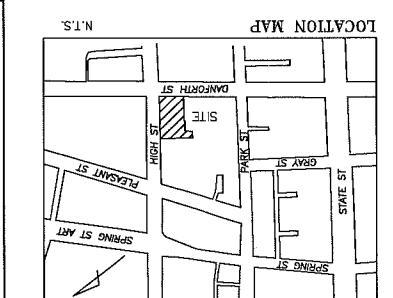
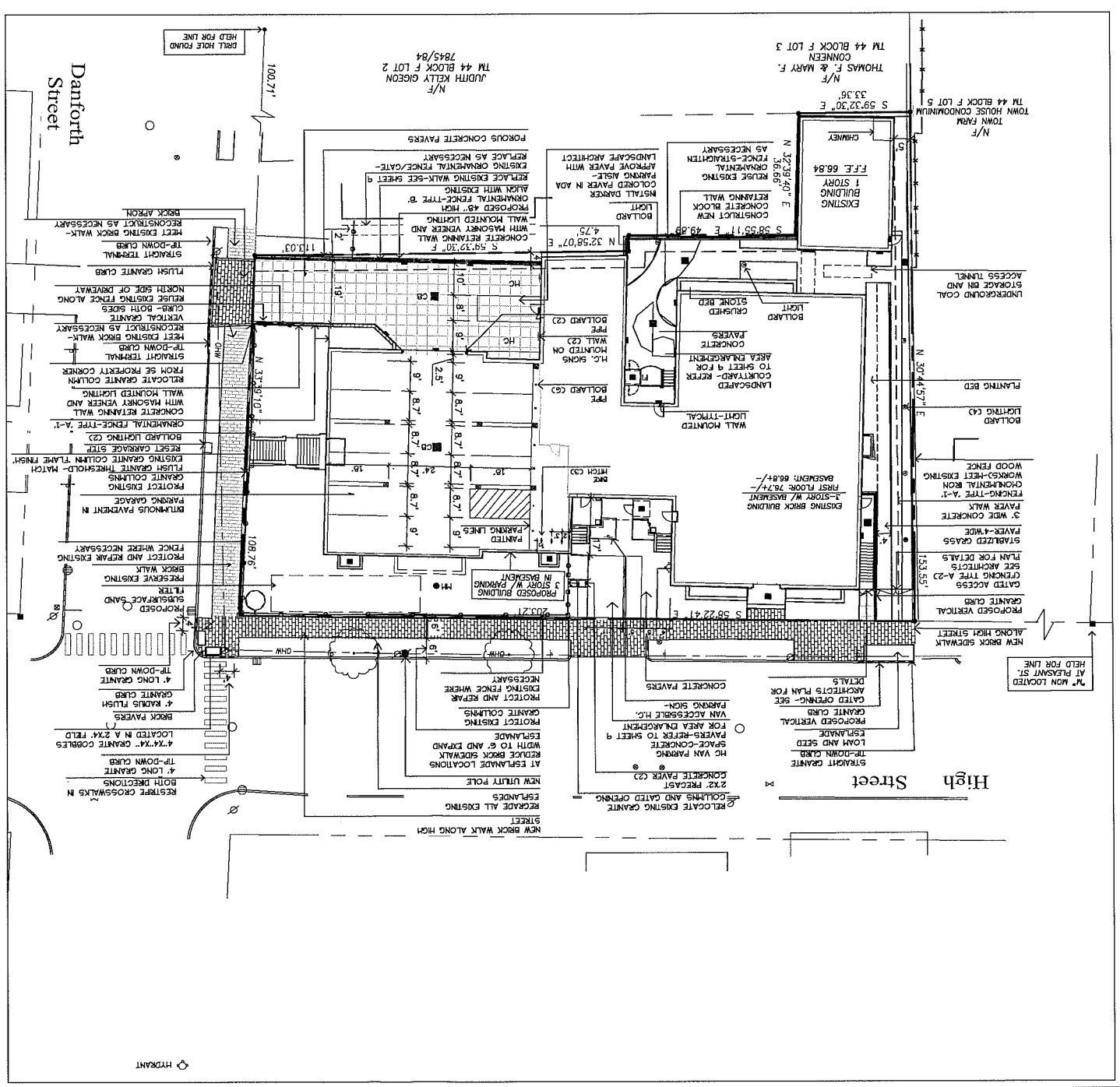
PLAN REFERENCES:

1. "CONDOMINIUM PLAN, OLIVER B. DORRANCE HOUSE, 99-101 DANFORTH ST., PORTLAND, MAINE, MADE FOR 2001 AND RECORDED IN PLAN BOOK 201 PAGES 394, 395.
2. SECOND AMENDED SURVEY, THE CARROLL MANSION A CONDOMINIUM, 77 PARK STREET, PORTLAND, MAINE DATED 6-20-84 (REVISED 3-20-85) AND RECORDED IN REGISTRY OF DEEDS PLAN BOOK 146 PAGE 60.
3. PLAN OF TOWN FARM TOWNHOUSE CONDOMINIUM, HIGH & PLEASANT ST., PORTLAND, MAINE MADE FOR PLEASANT STREET DEVELOPMENT ASSOCIATES DATED 8-2-84 AND RECORDED IN REGISTRY OF DEEDS PLAN BOOK 145 PAGE 47.

CERTIFICATION:

OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE.

JOHN W. SWAN, PLS NO. 1038
DATE _____



- CONDITIONS OF APPROVAL**
1. PRIOR TO ISSUANCE OF A BUILDING PERMIT THE APPLICANT SHALL SUBMIT A FINANCIAL CONTRIBUTION TOWARDS THE CITY'S STREET TREE PROGRAM FOR THE REQUIRED 32 STREET TREES AT A COST OF \$200 PER TREE.
 2. PRIOR TO ISSUANCE OF A BUILDING PERMIT THE APPLICANT SHALL SUBMIT A REVISED SITE PLAN/SUBDIVISION PLAN TO BE APPROVED BY THE PLANNING AUTHORITY AND DEPARTMENT OF PUBLIC SERVICES WITH A DESIGN BY THE PLANNING AUTHORITY ADA CURB RAMPS AT THE INTERSECTION OF HIGH STREET AND DANFORTH STREET.
 3. PRIOR TO ISSUANCE OF A BUILDING PERMIT THE APPLICANT SHALL SUBMIT A REVISED MAINTENANCE OF TRAFFIC PLAN DURING THE CONSTRUCTION PERIOD TO BE APPROVED BY THE DEPARTMENT OF PUBLIC SERVICES.
 4. PRIOR TO ISSUANCE OF A BUILDING PERMIT THE APPLICANT SHALL SUBMIT A REVISED GRADING AND DRAINAGE PLAN FOR PLANNING AUTHORITY AND DEPARTMENT OF PUBLIC SERVICES REVIEW AND APPROVAL. THE REVISED PLAN SHALL SPECIFICALLY ADDRESS ACCESS REVIEW COMMENTS REGARDING SEWER AND STORM DRAIN COMMENTS OF THE STORMWATER ENGINEER DATED FEBRUARY 8, 2011 SUBMITTED AS ATTACHMENT 3.
 5. PRIOR TO ISSUANCE OF A BUILDING PERMIT THE APPLICANT SHALL OBTAIN A CERTIFICATE OF APPROPRIATENESS FROM THE HISTORIC PRESERVATION BOARD.

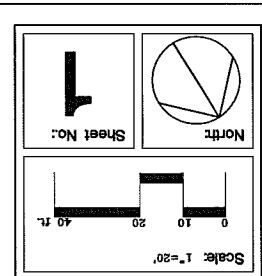
- WAIVERS**
1. CONTRIBUTION TO THE CITY OF PORTLAND TREE FUND AN AMOUNT PROPORTIONATE TO THE COST OF 32 STREET TREES.
 2. SECTION 17.15 MINIMUM DRIVEWAY WIDTH FOR THE DRIVEWAY ACCESS ONTO DANFORTH ST. WHICH IS PROPOSED TO BE 14' WIDE WHEN THE MINIMUM IS 20'.
 3. SECTION 17.15 CURBING OF DRIVEWAY FOR THE DRIVEWAY ACCESS ONTO DANFORTH ST. AND INSTALL STRAIGHT GRANITE CURB TERMINAL PIECES ON EACH SIDE OF THE DRIVEWAY IN LIEU OF CURBULAR CURBING.
 4. SECTION 17.17 LOCATION AND SPACING OF DRIVERS FOR THE DRIVEWAY ACCESS ONTO DANFORTH ST. A CLEARANCE OF 150' FROM THE INTERSECTION WITH DANFORTH ST. IS REQUIRED AND THE APPLICANTS ARE PROPOSING APPROXIMATELY 112'.
 5. SECTION 17.17 LOCATION AND SPACING OF DRIVERS WITH ADJUTING DRIVEWAYS ON ADJACENT LOTS IS 100' AND THE APPLICANTS ARE PROPOSING 91'.

Approved: Portland Planning Board

Date: _____

Chairman, _____

Board Members, _____



Subdivision Plan

Issued For: **APPROVED SITE PLAN & SUBDIVISION PLAN REVIEW**

Date: **OCTOBER 24, 2011**

Revisions: _____

Nov 4, 2011 - per Planning Staff comments

Reproduction or reuse of this document without the express written consent of Mitchell & Associates is prohibited.

68 High Street

FLM TERRACE

Portland, Maine

Prepared For: **Children's Hospital Housing Partners, LP**
309 Cumberland Avenue, Suite 203
Portland, Maine 04101

Applicant: **Children's Hospital Housing Partners, LP**

Prepared By: **MITCHELL & ASSOCIATES**
170 Center Street
Portland, Maine 04101
Tel: (207) 774-4127

A.H.B. 1

B.2

GENERAL NOTES

- SITE AREA: 23,797 SF OR 0.54 ACRES
- APPLICANT: CHILDREN'S HOSPITAL HOUSING PARTNERS, LP
309 CUMBERLAND AVENUE, SUITE 203
PORTLAND, MAINE 04101
- OWNER: UNIVERSITY OF SOUTHERN MAINE
16 CENTRAL STREET
BANGOR, MAINE 04401
- ZONING DISTRICT: R7- COMPACT URBAN RESIDENTIAL OVERLAY
- EXISTING CONDITIONS AND BOUNDARY INFORMATION TAKEN FROM A PLAN ENTITLED 'ALTA/ACSM LAND TITLE SURVEY' PREPARED BY OWEN HASKELL, INC. DATED APRIL 8 2010.
- ELEVATIONS ARE BASED ON CITY OF PORTLAND DATUM. BENCHMARK IS THE TOP OF A GRANITE MONUMENT AT THE SOUTHWEST CORNER OF DANFORTH STREET AND PARK STREET ELEVATION 75.95.
- SPACE AND BULK STANDARDS:

	RZ OVERLAY ZONE	PROPOSED
MINIMUM LOT SIZE:	NONE	23,797 SF
MINIMUM STREET FRONTAGE:	NONE	200 FEET
FRONT YARD SETBACK:	NONE	15 FEET
REAR YARD SETBACK:	5 FEET	28 FEET
SIDE YARD SETBACK:	5 FEET	25 FEET
MAXIMUM LOT COVERAGE:	100%	52 %
MINIMUM LOT WIDTH:	30 FEET	200 FEET
MAXIMUM HEIGHT OF STRUCTURES:	50 FEET	45 FEET
MAXIMUM RESIDENTIAL DENSITY:	435 SF/UNIT	680 SF/UNIT
- OFF-STREET PARKING REQUIREMENTS:

REQUIRED:	RESIDENTIAL-ONE (1) SPACE/DWELLING UNIT.
PROPOSED:	15 (15 NEW DWELLING UNITS) 15 VEHICLE PARKING SPACES (INCLUDING 3 HANDICAP ACCESSIBLE SPACES)
- BICYCLE PARKING:

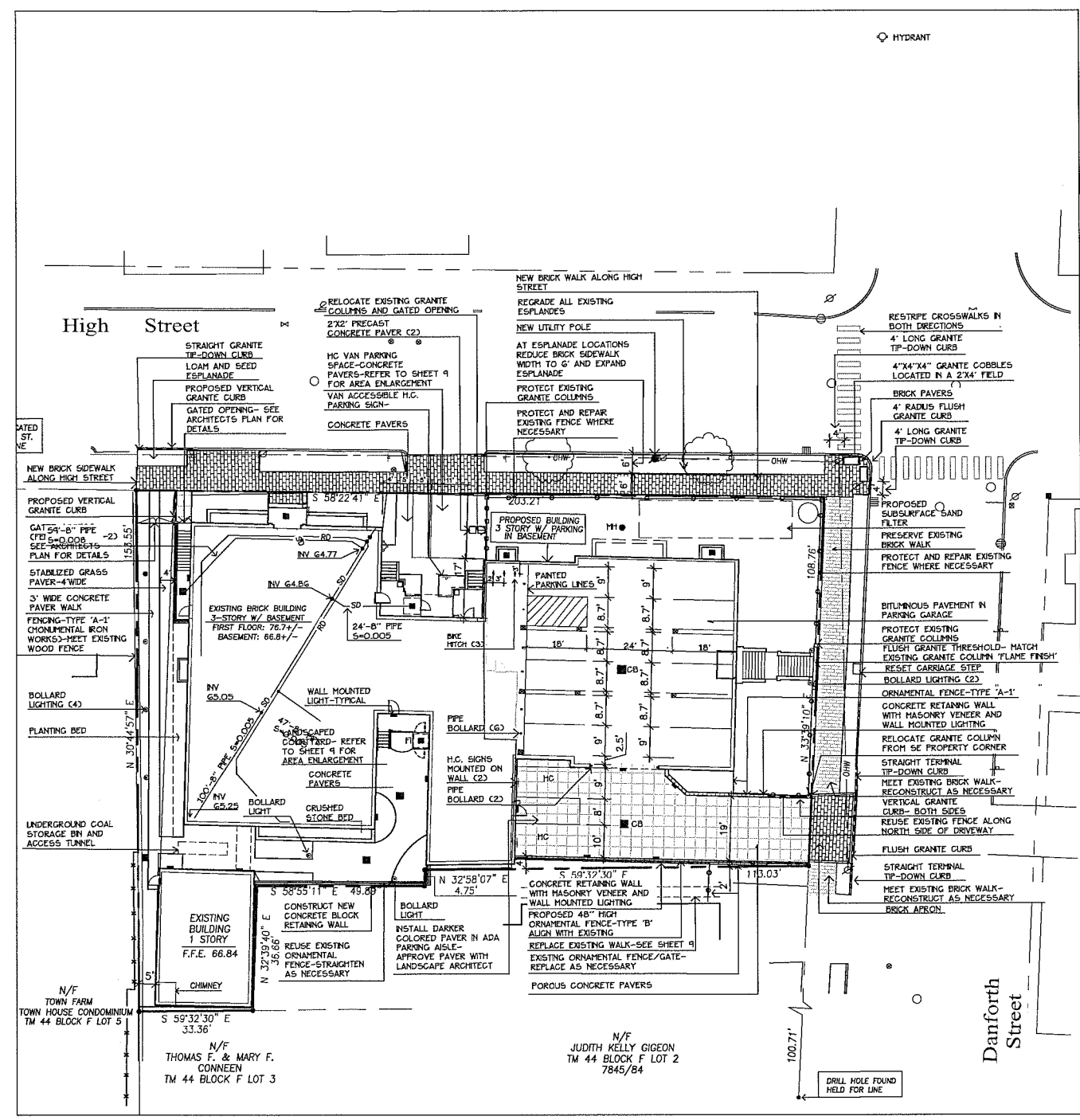
REQUIRED:	2 SPACES/5 DWELLING UNITS
PROPOSED:	6 SPACES (15 NEW DWELLING UNITS) 6 SPACES (ON SITE)
- EXISTING IMPERVIOUS: 11,815 SF (50% OF SITE)
PROPOSED IMPERVIOUS: 18,150 SF (76% OF SITE)
- ALL WORK WITHIN THE STREET RIGHT-OF-WAY SHALL MEET THE CITY OF PORTLAND STANDARDS.
- THE CONTRACTOR SHALL BE HELD SOLELY RESPONSIBLE FOR UNDERTAKING THE WORK IN A SAFE AND EFFICIENT MANNER, IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL SAFETY REGULATIONS. ALL WORK AREAS SHALL BE DELINEATED CLEARLY AND FENCED AS APPROPRIATE TO PREVENT UNAUTHORIZED ACCESS. THE SITE SHALL BE LEFT IN A SAFE, ORDERLY AND TIDY MANNER AT THE END OF EACH WORK DAY.
- THE CONTRACTOR SHALL PROVIDE ALL MATERIALS AND PERFORM ALL WORK NECESSARY TO REGULATE TRAFFIC IN THE AREA OF THE SITE, AND SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO AND FROM PUBLIC AND PRIVATE PROPERTIES AND RIGHTS OF WAY DURING CONSTRUCTION.

LEGEND

	EXISTING	PROPOSED
PROPERTY LINE	[Symbol]	[Symbol]
ABUTTING PROPERTY LINE	[Symbol]	[Symbol]
SETBACK LINE	[Symbol]	[Symbol]
GRANITE MONUMENT	[Symbol]	[Symbol]
CURB	[Symbol]	[Symbol]
HYDRANT	[Symbol]	[Symbol]
UTILITY POLE	[Symbol]	[Symbol]
CATCH BASIN	[Symbol]	[Symbol]
DRAIN INLET	[Symbol]	[Symbol]
STORM DRAIN MANHOLE	[Symbol]	[Symbol]
SANITARY SEWER MANHOLE	[Symbol]	[Symbol]
WATER VALVE	[Symbol]	[Symbol]
OVERHEAD UTILITY WIRES	[Symbol]	[Symbol]
WALL MOUNTED LIGHT	[Symbol]	[Symbol]
BOLLARD LIGHT	[Symbol]	[Symbol]
RETAINING WALL	[Symbol]	[Symbol]
FENCE	[Symbol]	[Symbol]
PIPE BOLLARD	[Symbol]	[Symbol]
BIKE HITCH	[Symbol]	[Symbol]

FENCING SCHEDULE

KEY	QTY	MANUFACTURER	DESCRIPTION
A-1	LF	MONUMENTAL IRON WORKS	ESTATE K, 42" HT. FENCE
A-2	LF	MONUMENTAL IRON WORKS	ESTATE K, 96" HT. GATE
B	LF	JERITH	BUCKINGHAM, 48" FENCE



Prepared For:
Children's Hospital Housing Partners, LP
309 Cumberland Avenue
Suite 203
Portland, Maine 04101

Prepared By:
MITCHELL & ASSOCIATES
Landscape Architects
The Staples School
70 Center Street
Portland, Maine 04101
Tel: (207) 774-4427

ELM TERRACE
 Portland, Maine
 68 High Street

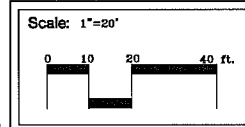
Date: OCTOBER 24, 2011

Issued For: AMENDED SITE PLAN & SUBDIVISION PLAN REVIEW

Revisions:

Reproduction or reuse of this document without the expressed written consent of Mitchell & Associates is prohibited.

Title: LAYOUT PLAN



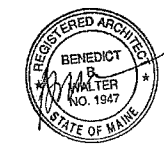
North

Sheet No: **2**

B.3



CWS Architects
 Architecture
 Space Planning
 Value Design
 434 Cumberland Avenue
 Portland, ME 04101
 Phone: (207)774-4441
 Fax: (207)774-4016
 www.CWSarch.com



Owner:
Children's Hospital Partners, LP
 309 Cumberland Ave.
 Suite 203
 Portland, Maine 04101
 Construction Manager:
WRIGHT-RYAN CONSTRUCTION
 10 DANFORTH STREET
 PORTLAND, ME 04101
 TEL: (207) 773-3625

ELM TERRACE
 68 HIGH STREET
 PORTLAND, MAINE

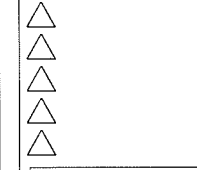
Project No: 09428

Drawing Title:

FIRST FLOOR PLAN

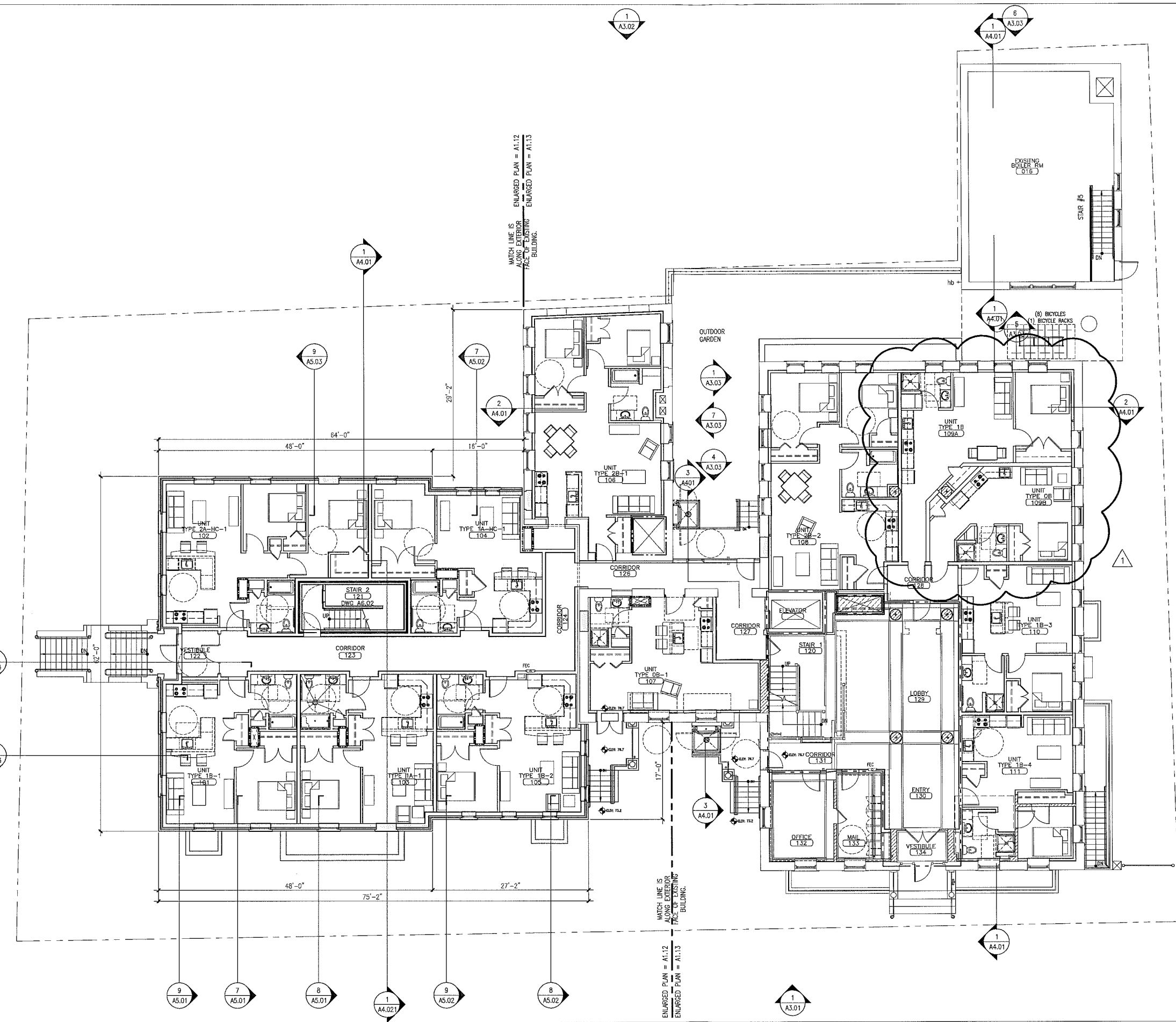
Scale: AS NOTED
 Date: ISSUED SEPTEMBER 8, 2011

Revisions:
 1 SITE PLAN AND SUBDIVISION AMENDMENT
 ISSUED OCTOBER 24, 2011



Drawing Number:

A1.01



WALL PARTITION LEGEND

	= EXISTING WALL/PARTITION ASSEMBLY TO REMAIN
	= EXISTING HISTORICAL SIGNIFICANT WALL/PARTITION ASSEMBLY TO REMAIN AS IS. • ANY WORK IMPACTING THESE WALLS/PARTITIONS MUST BE AUTHORIZED BY OWNER/ARCHITECT AND HISTORICAL REVIEW TEAM
	= EXISTING WALL/PARTITION TO BE REMOVED. • OTHER DASHED ITEMS WITHIN REMOVALS PLANS ARE ALSO TO BE REMOVED. • REFERENCE REMOVAL PLANS AND NOTES
	= NEW WALL/PARTITION ASSEMBLY. • REFERENCE PARTITION SCHEDULE
	= INDICATES FIRE RATED WALL/PARTITION ASSEMBLY. • REFERENCE PARTITION SCHEDULE

1 FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

10/24/2011 11:14 AM

B.4



CWS Architects
Architecture
Space Planning
Value Design

434 Cumberland Avenue
Portland, ME 04101
Phone: (207)774-4441
Fax: (207)774-4016

www.CWSarch.com



Children's Hospital Housing Partners, LP
309 Cumberland Ave. Suite 203
Portland, Maine 04101

WRIGHT-RYAN CONSTRUCTION
10 DANFORTH STREET
PORTLAND, ME 04101
TEL: (207) 773-3625

ELM TERRACE
68 HIGH STREET
PORTLAND, MAINE

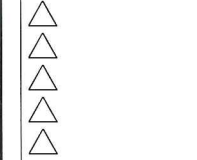
Project No: 09428

Drawing Title:

SECOND FLOOR PLAN

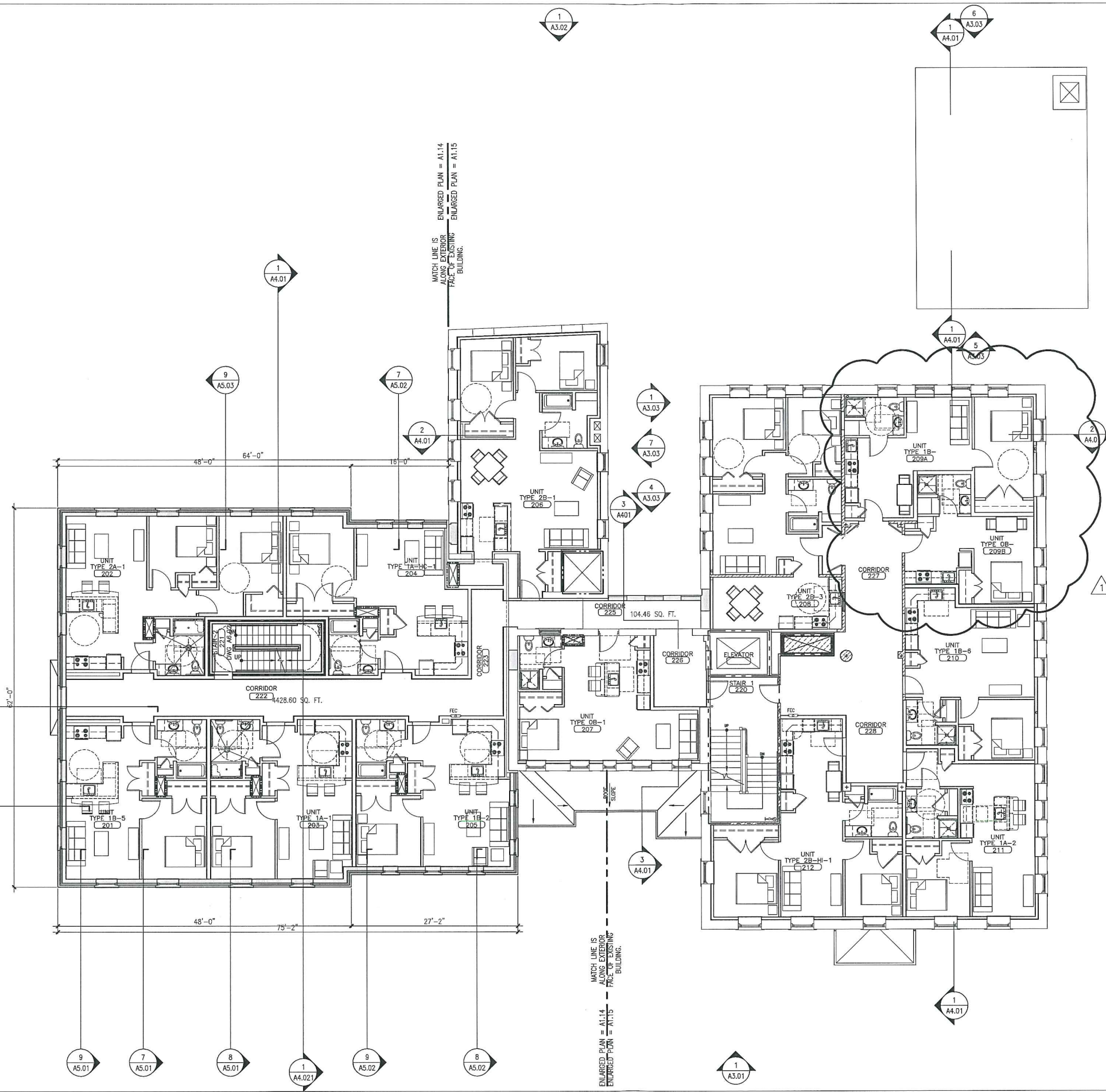
Scale: AS NOTED
Date: ISSUED SEPTEMBER 8, 2011

Revisions:
SITE PLAN AND SUBDIVISION AMENDMENT
ISSUED OCTOBER 24, 2011



Drawing Number:

A1.02



WALL PARTITION LEGEND

	EXISTING WALL/PARTITION ASSEMBLY TO REMAIN
	EXISTING HISTORICAL SIGNIFICANT WALL/PARTITION ASSEMBLY TO REMAIN AS IS. • ANY WORK IMPACTING THESE WALLS/PARTITIONS MUST BE AUTHORIZED BY OWNER/ARCHITECT AND HISTORICAL REVIEW TEAM
	EXISTING WALL/PARTITION TO BE REMOVED. • OTHER DASHED ITEMS WITHIN REMOVALS PLANS ARE ALSO TO BE REMOVED. • REFERENCE REMOVAL PLANS AND NOTES.
	NEW WALL/PARTITION ASSEMBLY. • REFERENCE PARTITION SCHEDULE
	INDICATES FIRE RATED WALL/PARTITION ASSEMBLY. • REFERENCE PARTITION SCHEDULE

1 SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

B.5



CWS Architects
 Architecture
 Space Planning
 Value Design
 434 Cumberland Avenue
 Portland, ME 04101
 Phone: (207)774-4441
 Fax: (207)774-4616
 www.CWSarch.com



Client:
Children's Hospital Housing Partners, LP
 309 Cumberland Ave.
 Suite 203
 Portland, Maine 04101

CONSTRUCTION MANAGER:
WRIGHT-RYAN CONSTRUCTION
 10 DANFORTH STREET
 PORTLAND, ME 04101
 TEL: (207) 773-3625

ELM TERRACE

68 HIGH STREET
PORTLAND, MAINE

Project No: 09428

Drawing Title:

THIRD FLOOR PLAN

Scale: AS NOTED

Date: ISSUED SEPTEMBER 8, 2011

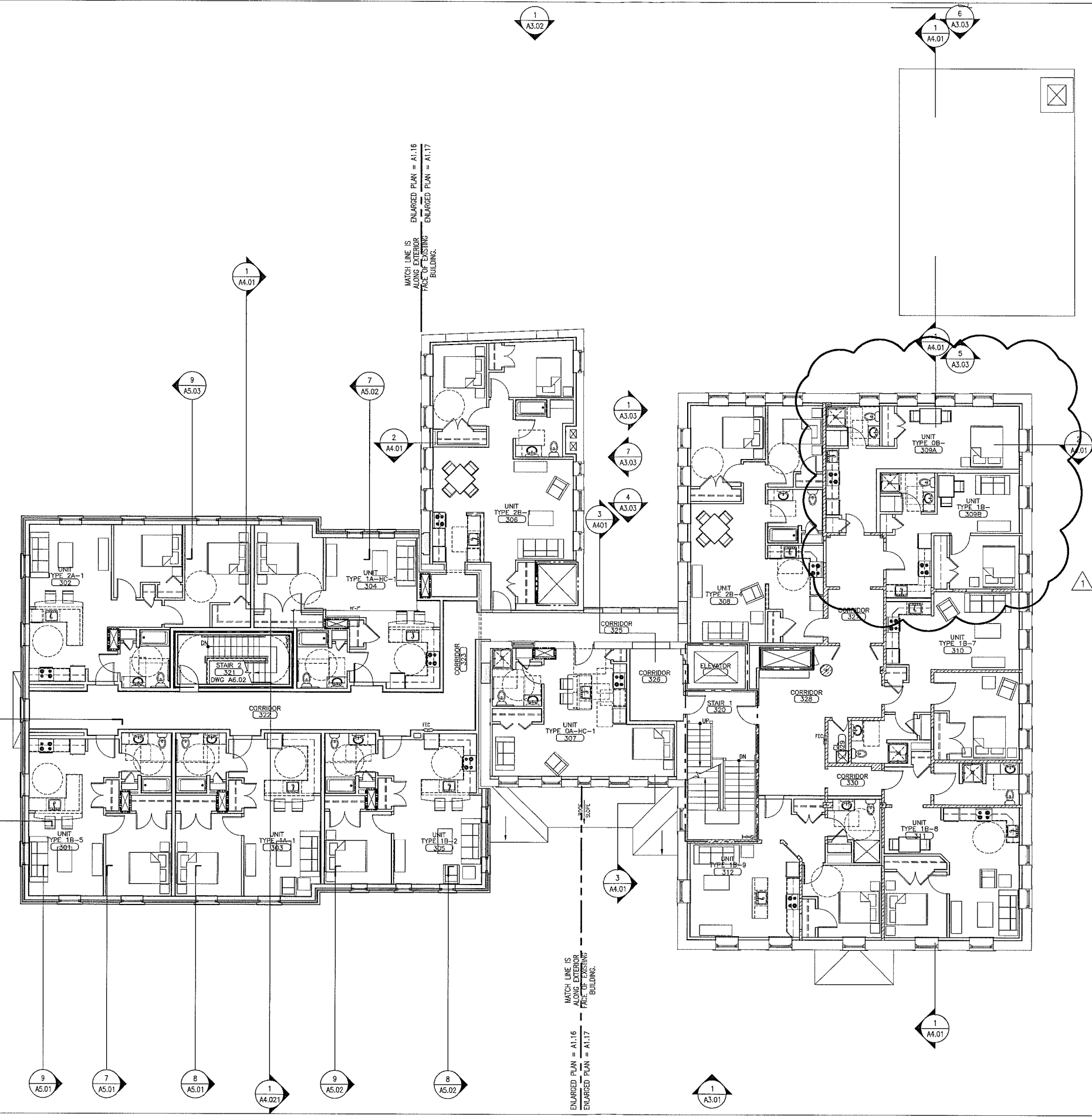
Revisions:

1 SITE PLAN AND SUBDIVISION AMENDMENT
 ISSUED OCTOBER 24, 2011



Drawing Number:

A1.03



WALL PARTITION LEGEND

	= EXISTING WALL/PARTITION ASSEMBLY TO REMAIN
	= EXISTING HISTORICAL SIGNIFICANT WALL/PARTITION ASSEMBLY TO REMAIN AS IS: • ANY WORK IMPACTING THESE WALLS/PARTITIONS MUST BE AUTHORIZED BY OWNER/ARCHITECT AND HISTORICAL REVIEW TEAM
	= EXISTING WALL/PARTITION TO BE REMOVED. • OTHER DASHED ITEMS WITHIN REMOVALS PLANS ARE ALSO TO BE REMOVED. • REFERENCE REMOVAL PLANS AND NOTES.
	= NEW WALL/PARTITION ASSEMBLY. • REFERENCE PARTITION SCHEDULE
	= INDICATES FIRE RATED WALL/PARTITION ASSEMBLY. • REFERENCE PARTITION SCHEDULE

1 THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"

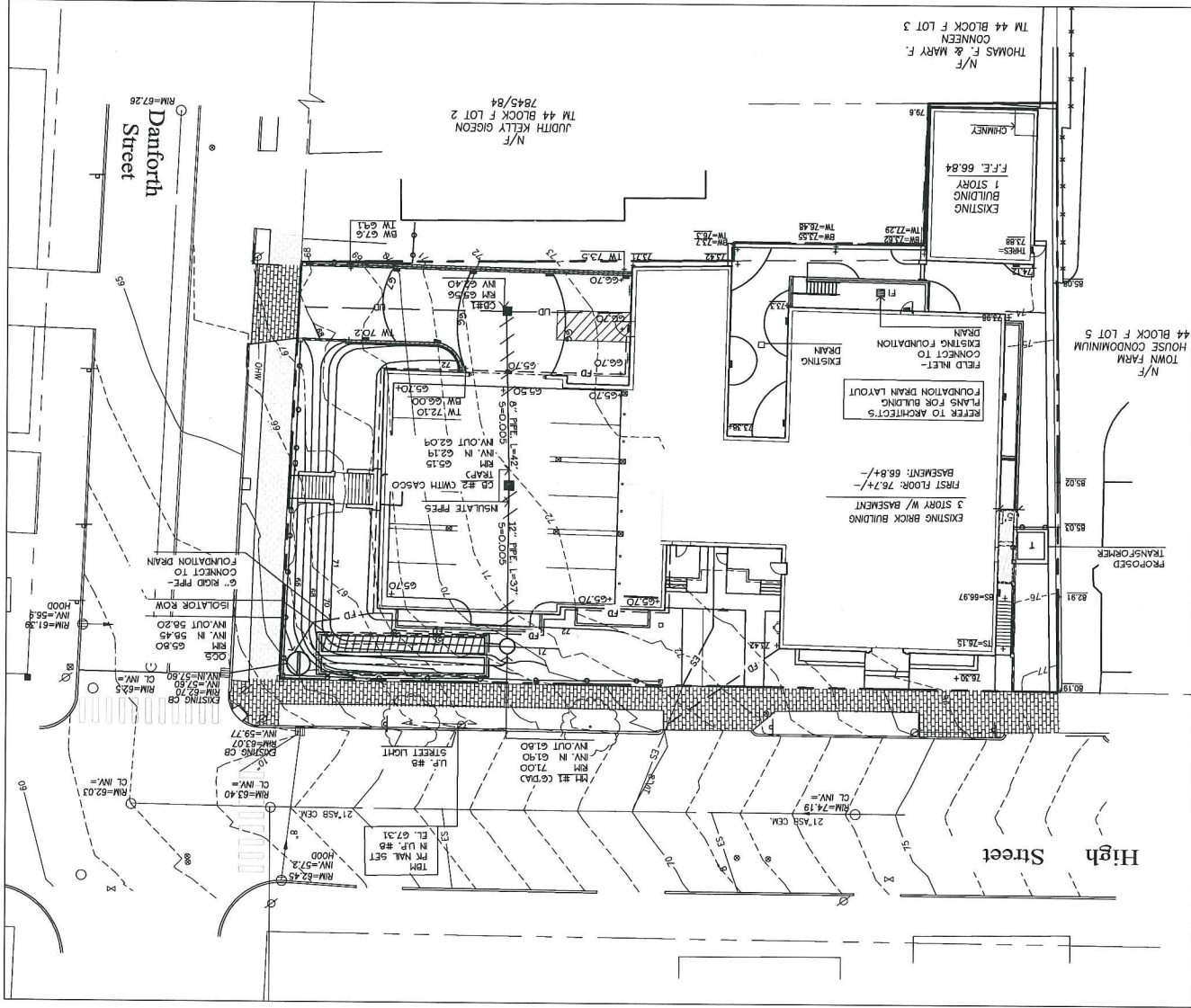
10/24/2010 11:11 AM

GRADING AND DRAINAGE NOTES

- DO NOT SCALE THESE DRAWINGS. ANY DISCREPANCIES BETWEEN DRAWINGS, DETAILS, NOTES AND SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT FOR FURTHER DIRECTION AND RESOLUTION BEFORE ADDITIONAL WORK PROCEEDS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES ON THE GROUND. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT FOR DIRECTION AND RESOLUTION PRIOR TO ANY FURTHER WORK.
- CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES WITH THE APPROPRIATE UTILITY COMPANIES PRIOR TO EXCAVATION OF OR INSTALLATION OF ANY PART OF THIS WORK.
- CONTRACTOR SHALL AVOID ALL AREAS NOT REQUIRING GRADING. CONTRACTOR SHALL NOT DISTURB THESE AREAS.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE INFORMATION SHOWN CORRELATES ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL DGS&E (1-888-344-7233) AT LEAST THREE BUSINESS DAYS BEFORE BEGINNING ANY CONSTRUCTION.
- CONTRACTOR SHALL CONDUCT TEST PIT EXCAVATION TO CONFIRM LOCATION OF EXISTING UTILITIES WHERE NEW BUILDING SANITARY AND WATER SERVICE ARE PROPOSED.
- WHERE STORM DRAINS OR SEWER MAINS HAVE LESS THAN FOUR (4) FEET OF COVER BETWEEN TOP OF PIPE AND FRESH GRADE, INSULATE PIPE USING TWO (2) INCH THICK STYROFOAM INSULATION BOARD OVER AND ALONG SIDES OF THE PIPE.
- EXISTING DRAINAGE MANHOLES SHALL BE CORED TO ACCEPT NEW DRAINAGE PIPES AS NOTED.
- PIPE LENGTH EQUALS THE CENTER TO CENTER DISTANCES BETWEEN CATCH BASINS AND/OR MANHOLES MINUS ONE-HALF OF THE DIAMETER OF EACH CATCH BASIN OR MANHOLE.
- ROOF DRAIN CONNECTIONS SHALL BE CONFORMED WITH FINAL BUILDING PLANS.
- ALL UTILITIES SHALL BE INSTALLED IN CONFORMANCE WITH INDIVIDUAL UTILITY DISTRICT REQUIREMENTS. CONTRACTOR SHALL COORDINATE INSTALLATION WITH APPLICABLE UTILITY DISTRICT BEFORE INSTALLATION.
- ALL WORK WITHIN THE STREET RIGHT-OF-WAY SHALL MEET THE CITY OF PORTLAND STANDARDS.

LEGEND

PROPOSED	EXISTING	DESCRIPTION
(Symbol)	(Symbol)	PROPERTY LINE
(Symbol)	(Symbol)	ABUTTING PROPERTY LINE
(Symbol)	(Symbol)	GRANITE MONUMENT
(Symbol)	(Symbol)	CURB
(Symbol)	(Symbol)	UTILITY POLE
(Symbol)	(Symbol)	HYDRANT
(Symbol)	(Symbol)	CATCH BASIN
(Symbol)	(Symbol)	FIELD INLET
(Symbol)	(Symbol)	STORM DRAIN MANHOLE
(Symbol)	(Symbol)	SANITARY SEWER MANHOLE
(Symbol)	(Symbol)	WATER VALVE
(Symbol)	(Symbol)	OVERHEAD UTILITY WIRES
(Symbol)	(Symbol)	RETAINING WALL
(Symbol)	(Symbol)	STORMDRAIN PIPE
(Symbol)	(Symbol)	RIGID INSULATION
(Symbol)	(Symbol)	SEWER MAIN
(Symbol)	(Symbol)	WATER MAIN
(Symbol)	(Symbol)	GAS MAIN
(Symbol)	(Symbol)	UNDERGROUND ELECTRIC
(Symbol)	(Symbol)	UNDERGROUND UTILITIES
(Symbol)	(Symbol)	CONTOUR
(Symbol)	(Symbol)	SFOT GRADES
(Symbol)	(Symbol)	WALL MOUNTED LIGHT



Sheet No. **3**

North

Scale: 1"=20'

DRAINAGE AND GRADING PLAN

This: Mitchell & Associates is prohibited. Reproduction or reuse of this document without the expressed written consent of Mitchell & Associates is prohibited.

Revisions: January 5, 2011

Issued For: PRELIMINARY SITE PLAN & SUBDIVISION PLAN REVIEW

Date: DECEMBER 21, 2010

Children's Hospital Apartments

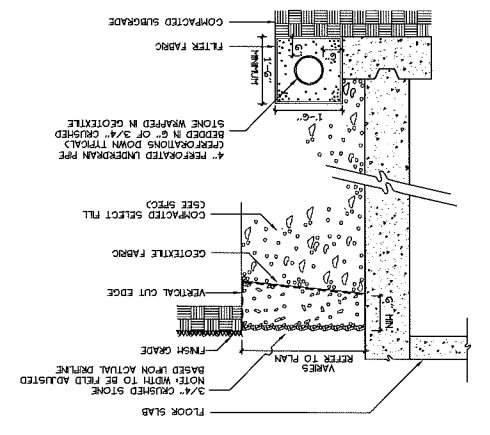
66-68 High Street

Portland, Maine

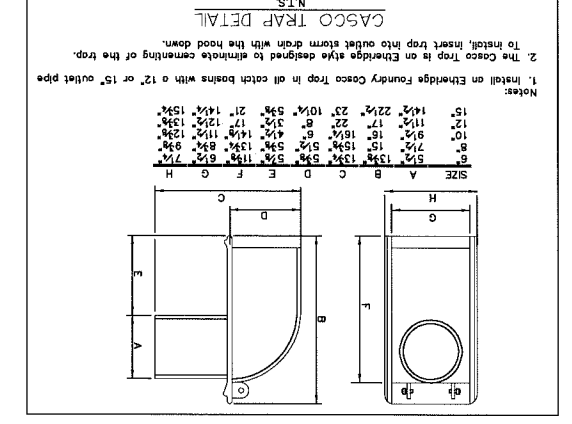
Prepared For: Children's Hospital Housing Partners, LP
308 Cumberland Avenue
Portland, Maine 04101

Prepared By: MITCHELL & ASSOCIATES
Landscape Architects
70 Center Street
Portland, Maine 04101
Tel: (207) 774-4427

3 DRIP STRIP AND FOUNDATION UNDERDRAIN
B NOT TO SCALE

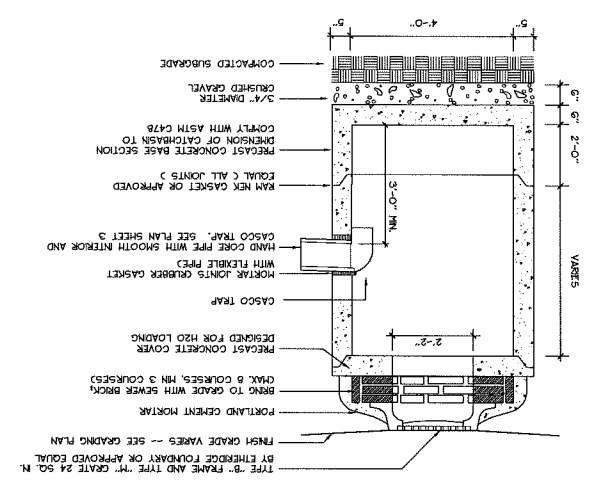


2 CASCO TRAP
B NOT TO SCALE



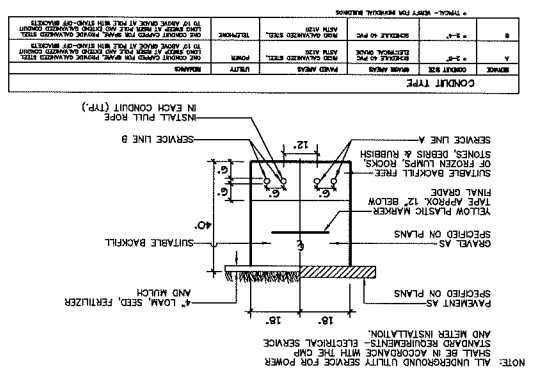
NOTES:
1. PRECAST REINFORCED CONCRETE BASED SECTION MATCH 1'-0" x 4'-0" LENGTH TO NEXT FIELD CONDITIONS.
2. MAKE MANHOLE ROOT WITH NON-SHANK GROUT.
3. MANHOLE RINGS REQUIRE CHANGE IN ALIGNMENT TO BE BUILT ON SMOOTH RADUS. IF CUT BACK PIPE TO MANHOLE ID, SOFT PIPS ENTER, CHANGE IN MANHOLE FOR STORM DRAIN SYSTEM TO BE PROVIDED WITH A 2 FT. SLOPE RECEIVE ADDED SOE FLOW.

1 PRECAST CONCRETE CATCHBASIN
B NOT TO SCALE



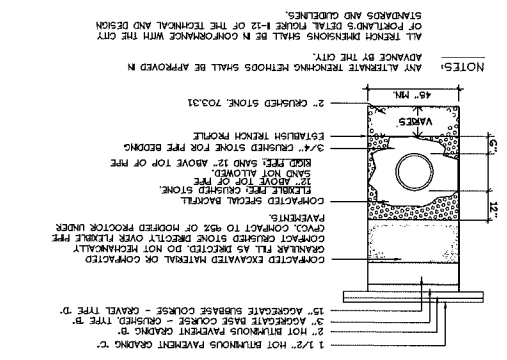
NOTE: ALL UNDERGROUND UTILITIES SERVICE FOR POWER AND METER INSTALLATION. STANDARD REQUIREMENTS ELECTRICAL SERVICE SHALL BE IN ACCORDANCE WITH THE CITY OF PORTLAND'S DETAIL FIGURE 11-12 OF THE TECHNICAL AND DESIGN STANDARDS AND SPECIFICATIONS. ANY ALTERNATE TRENCHING METHODS SHALL BE APPROVED IN ADVANCE BY THE CITY.

4 PRIMARY POWER, TELEPHONE
B NOT TO SCALE



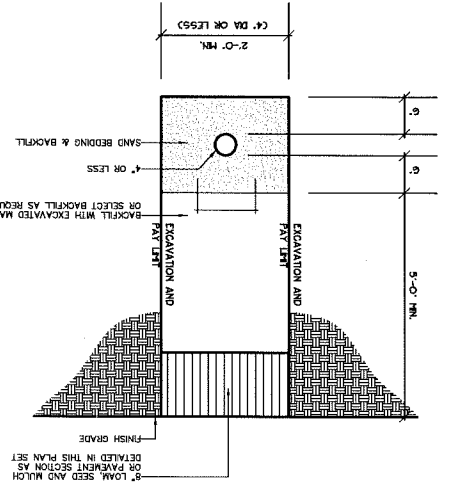
NOTE: ALL UNDERGROUND UTILITIES SERVICE FOR POWER AND METER INSTALLATION. STANDARD REQUIREMENTS ELECTRICAL SERVICE SHALL BE IN ACCORDANCE WITH THE CITY OF PORTLAND'S DETAIL FIGURE 11-12 OF THE TECHNICAL AND DESIGN STANDARDS AND SPECIFICATIONS. ANY ALTERNATE TRENCHING METHODS SHALL BE APPROVED IN ADVANCE BY THE CITY.

5 PIPE TRENCH DETAIL
B NOT TO SCALE



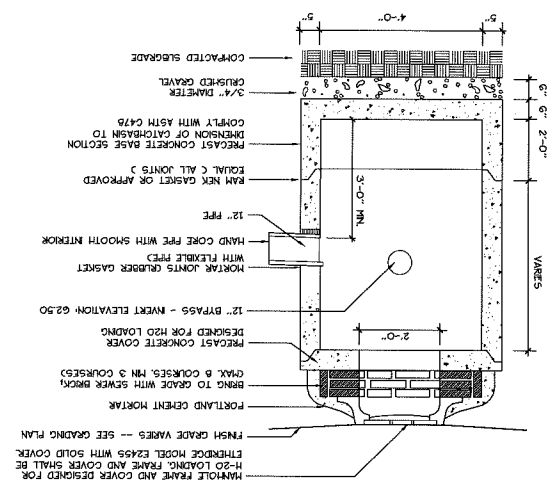
NOTE: ALL UNDERGROUND UTILITIES SERVICE FOR POWER AND METER INSTALLATION. STANDARD REQUIREMENTS ELECTRICAL SERVICE SHALL BE IN ACCORDANCE WITH THE CITY OF PORTLAND'S DETAIL FIGURE 11-12 OF THE TECHNICAL AND DESIGN STANDARDS AND SPECIFICATIONS. ANY ALTERNATE TRENCHING METHODS SHALL BE APPROVED IN ADVANCE BY THE CITY.

6 WATER SERVICE TRENCH SECTION
B NOT TO SCALE



SEE NOTE 3 IN TRUST BLOCK NOTES DETAIL

7 MANHOLE #1
B NOT TO SCALE



MANHOLE FRAME AND COVER DESIGNED FOR ETHWIDGE MODEL EX265 WITH SOLID COVER. FINISH GRADE VARIES -- SEE GRADING PLAN. PORTLAND CEMENT MORTAR. BRICK TO GRADE WITH SEWER BRICK. GRAVEL 3 COURSES, 18" 3 COURSES. PRECAST CONCRETE COVER. DESIGNED FOR H2O LOADING. 12" BRASS - INVERT ELEVATION: G2.50. MORTAR JOINTS GRUBBER GASKET WITH FLEXIBLE PIP. HAND CORE PIPE WITH SMOOTH INTERIOR. 12" PIPE. EQUAL ALL JOINTS. RAIN NEK CASSET OR APPROVED DIMENSION OF CATCHBASIN TO PRECAST CONCRETE SECTION. COMPPLY WITH ASTM C478. 3/4" DIAMETER BRUSHED GRAVEL. COMPACTED SUBGRADE.

Sheet No. 8
North

AS SHOWN
Scale:

SITE DETAILS
Title:
Mitchell & Associates is prohibited. Reproduction or reuse of this document without the expressed written consent of Mitchell & Associates is prohibited.

Revisions:
January 5, 2011

Issued For:
SUBDIVISION SITE PLAN & PRELIMINARY SITE PLAN REVIEW

Date:
DECEMBER 21, 2010

Children's Hospital Apartments
66-68 High Street
Portland, Maine

Prepared For:
Children's Hospital
Housing Partners, LP
508 Cumberland Avenue
Portland, Maine 04101
Applicant:
Prepared By:
MITCHELL & ASSOCIATES
Landscape Architects
The Staples School
70 Center Street
Portland, Maine 04101
Tel: (207) 774-4427

9
Sheet No.



AS SHOWN
Scale:

STORMWATER
MANAGEMENT PLAN
AND DETAILS

Reproduction or reuse of
this document without the
expressed written consent of
Mitchell & Associates is prohibited.

Revisions:
January 5, 2011

Issued For:
PRELIMINARY SITE PLAN &
SUBDIVISION PLAN REVIEW

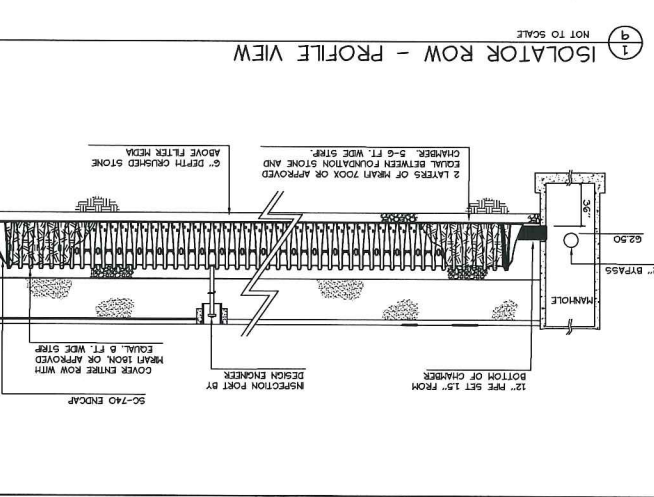
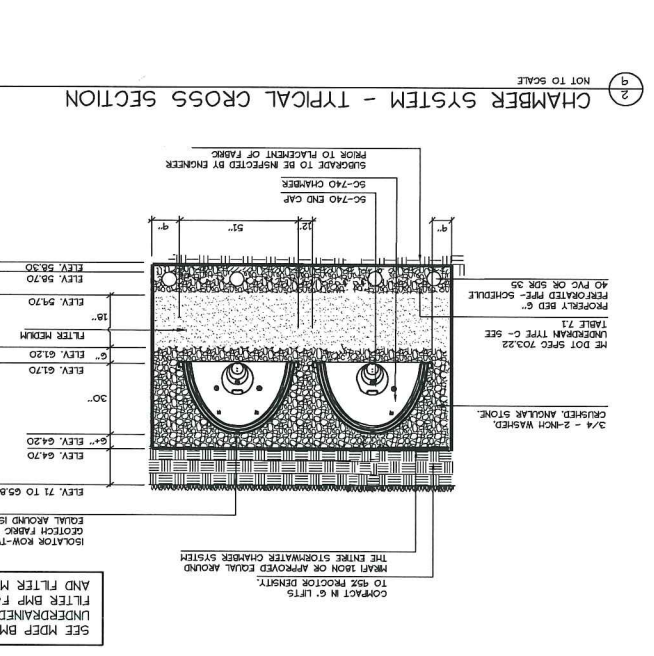
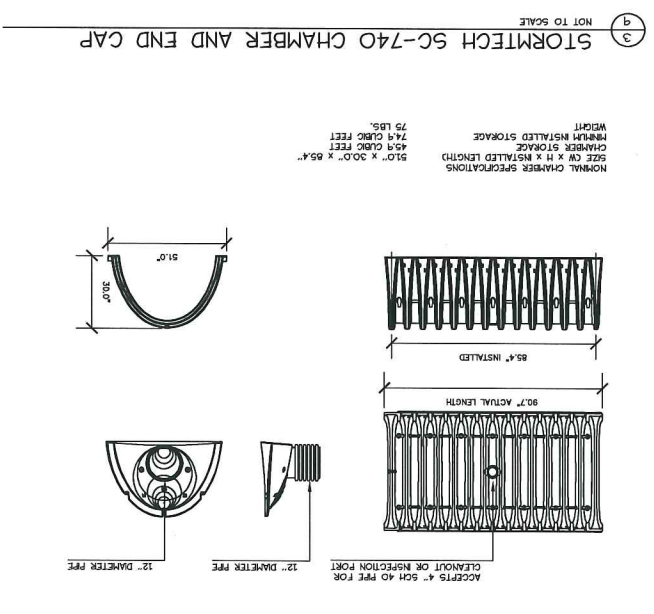
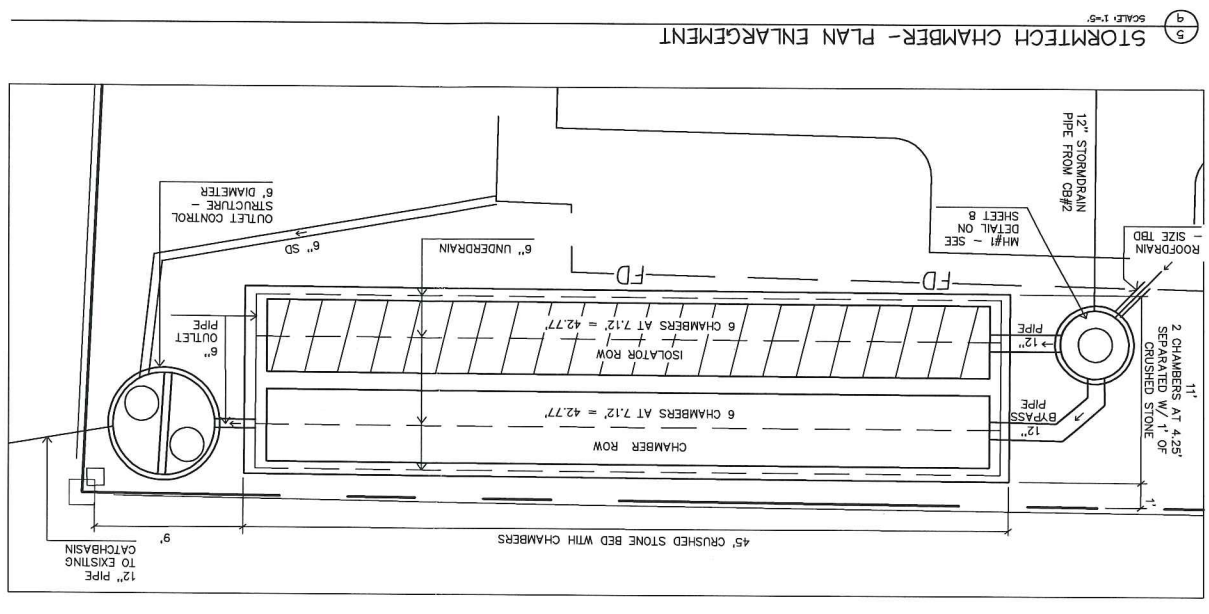
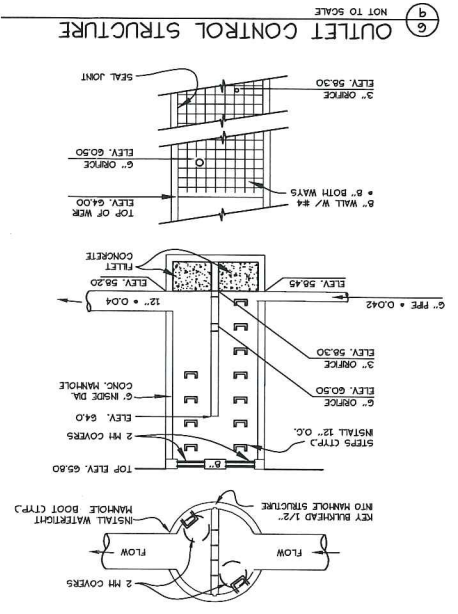
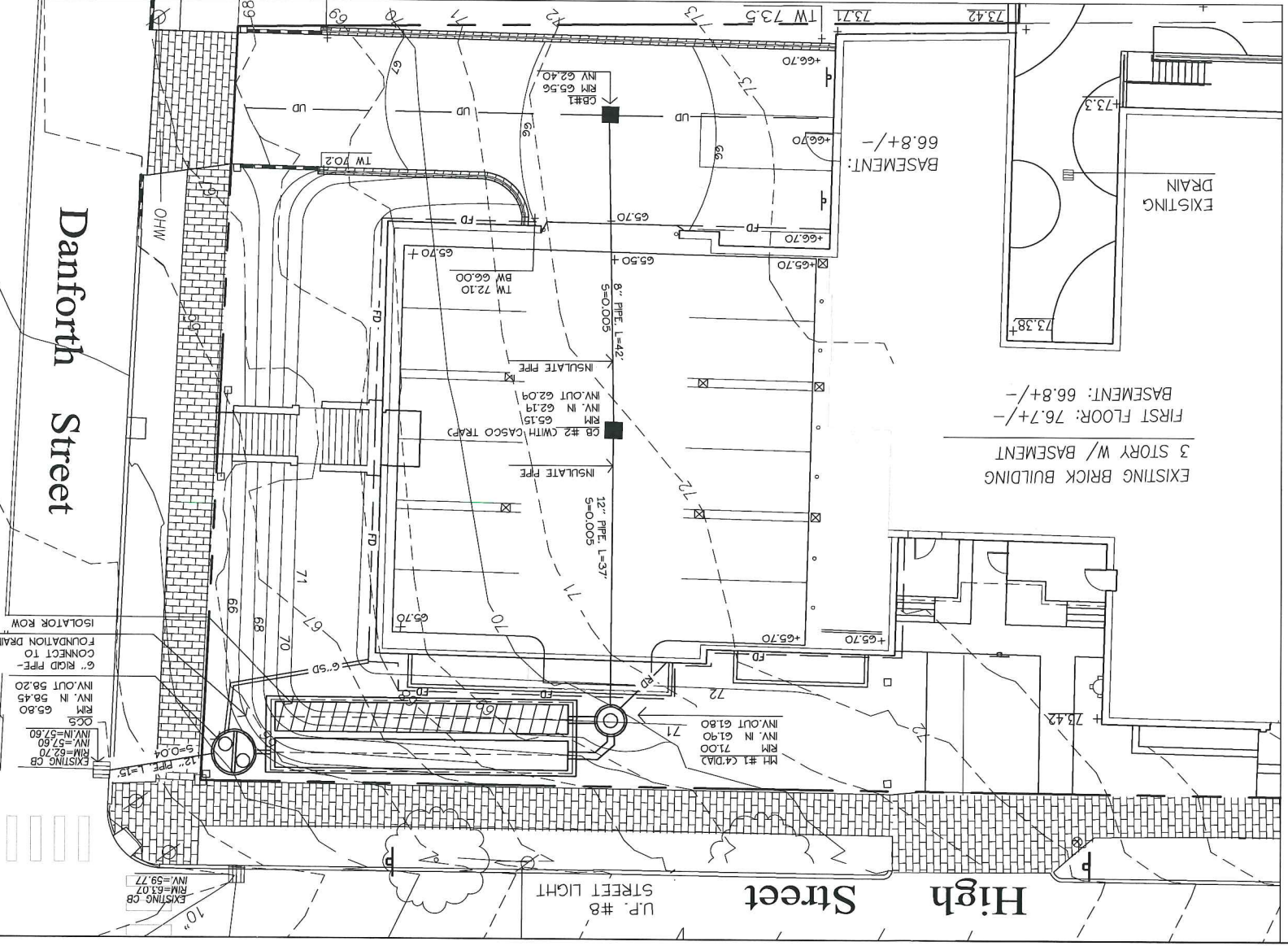
Date:
DECEMBER 21, 2010

Children's Hospital Apartments
66-68 High Street
Portland, Maine

Prepared For:
Children's Hospital
Housing Partners, LLC
308 Cumberland Avenue
Portland, Maine 04101

Applicant:

Prepared By:
MITCHELL & ASSOCIATES
Landscape Architects
70 Center Street
Portland, Maine 04101
Tel: (207) 774-4427





CWS Architects

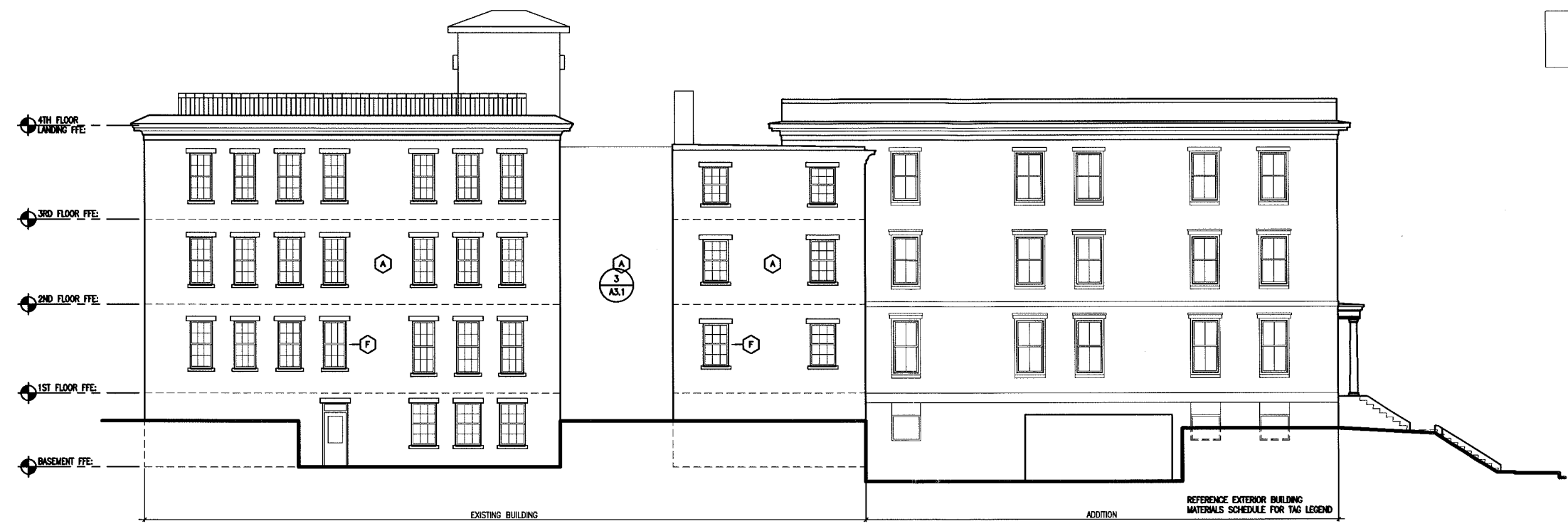
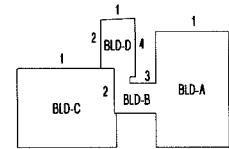
Architecture
Space Planning
Value Design

434 Cumberland Avenue
Portland, ME 04101
Phone: (207)774-4441
Fax: (207)774-4016

www.CWSarch.com

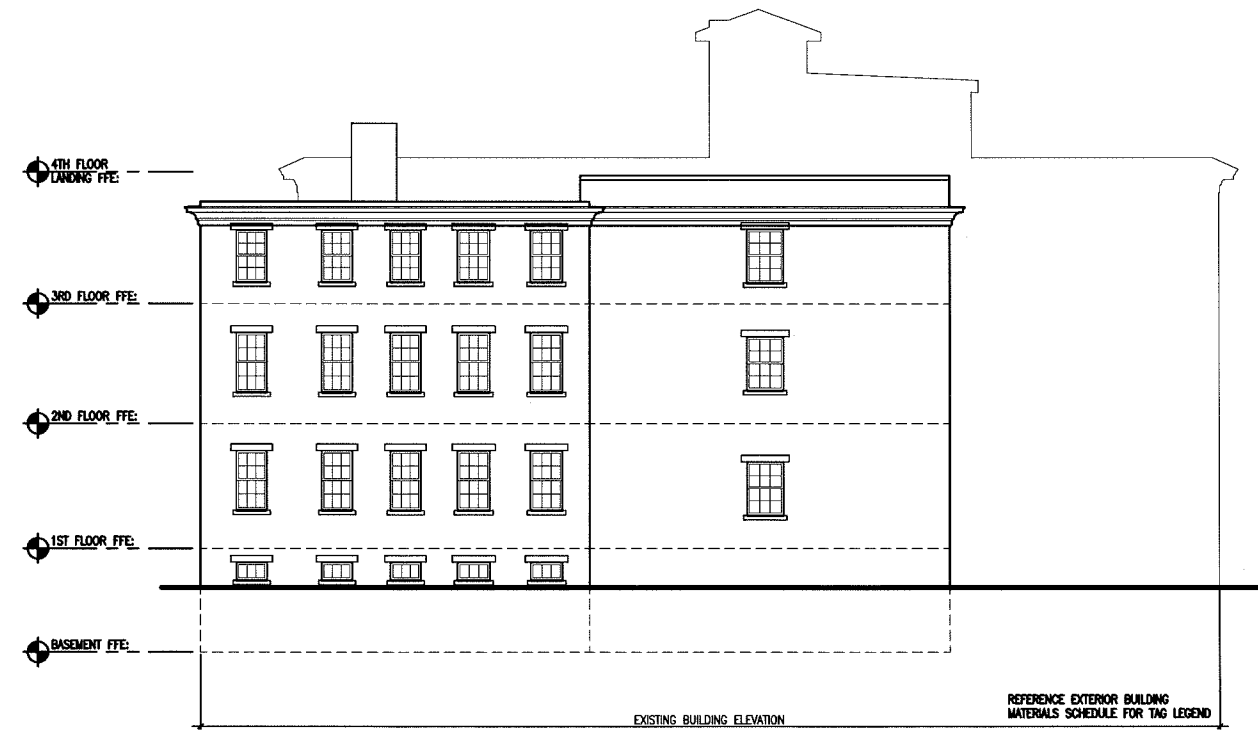
Client:
**CHOM Children's
Hospital Housing
Partners, LP**
309 Cumberland Ave.
Suite 203
Portland, Maine 04101

Client:



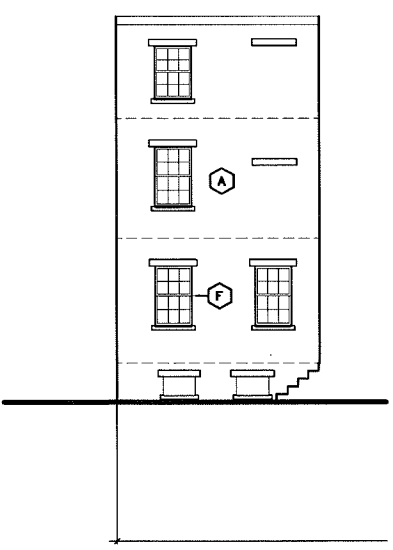
1 SOUTH ELEVATION

SCALE: 1/8"=1'-0"



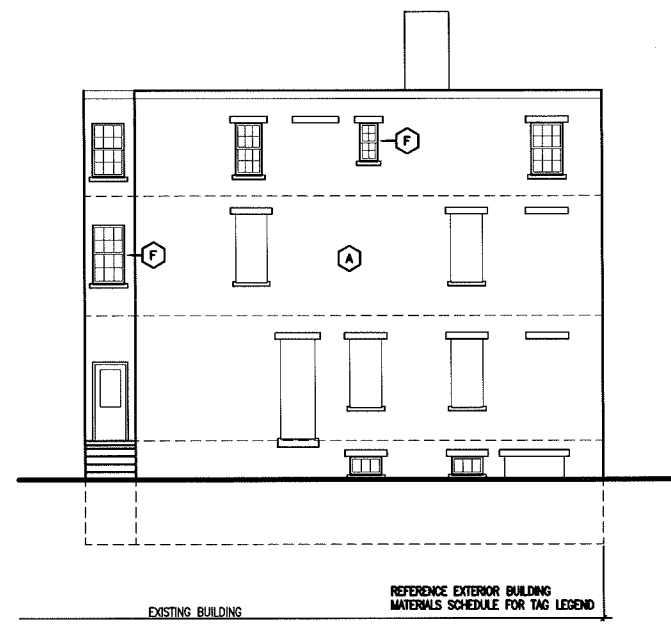
2 WEST ELEVATION

SCALE: 1/8"=1'-0"



3 SOUTH ELEVATION

SCALE: 1/8"=1'-0"



4 EAST ELEVATION

SCALE: 1/8"=1'-0"

Children's Hospital
Apartments

Portland, Maine

Project No: 09428

Drawing Title:
ELEVATIONS

Scale: AS NOTED

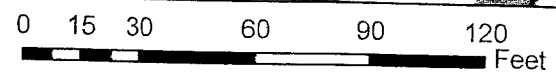
Date: NOVEMBER 1, 2010

Revisions:
CITY SUBMISSION 11-1-10

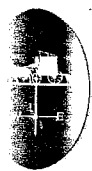


Drawing Number:

A3.1



1 inch = 50 feet



PORTLAND WATER DISTRICT
 225 Douglass Street
 Portland, ME 04104

Legend

- | | | | | | | | |
|---|--------------|---|-----------------|---|-----------------|---|----------|
| ⊙ | Blow Off | ⊕ | Fire Service | ⊖ | Air Valve | ● | Sleeve |
| ⊙ | By Pass | ● | Hydrant Control | ⊖ | Date Change | • | Tee |
| ⊗ | Distribution | ⊕ | Service | ● | Material Change | ⊕ | Hydrants |
| ⊠ | End of Main | ● | Transmission | ▲ | Reducer | | |

68 High Street

PORTLAND



Disclaimer: This map is suitable for preliminary study and analysis and is based on PWD record information. PWD is not liable for any damages whatsoever resulting from inaccurate data or from errors made in the location and marking of its infrastructure.

Drawn By: MVautier

Prepared For: John Mitchell

Scale: As Noted

Date: September 10, 2010

GENERAL NOTES

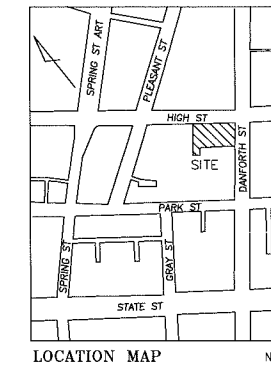
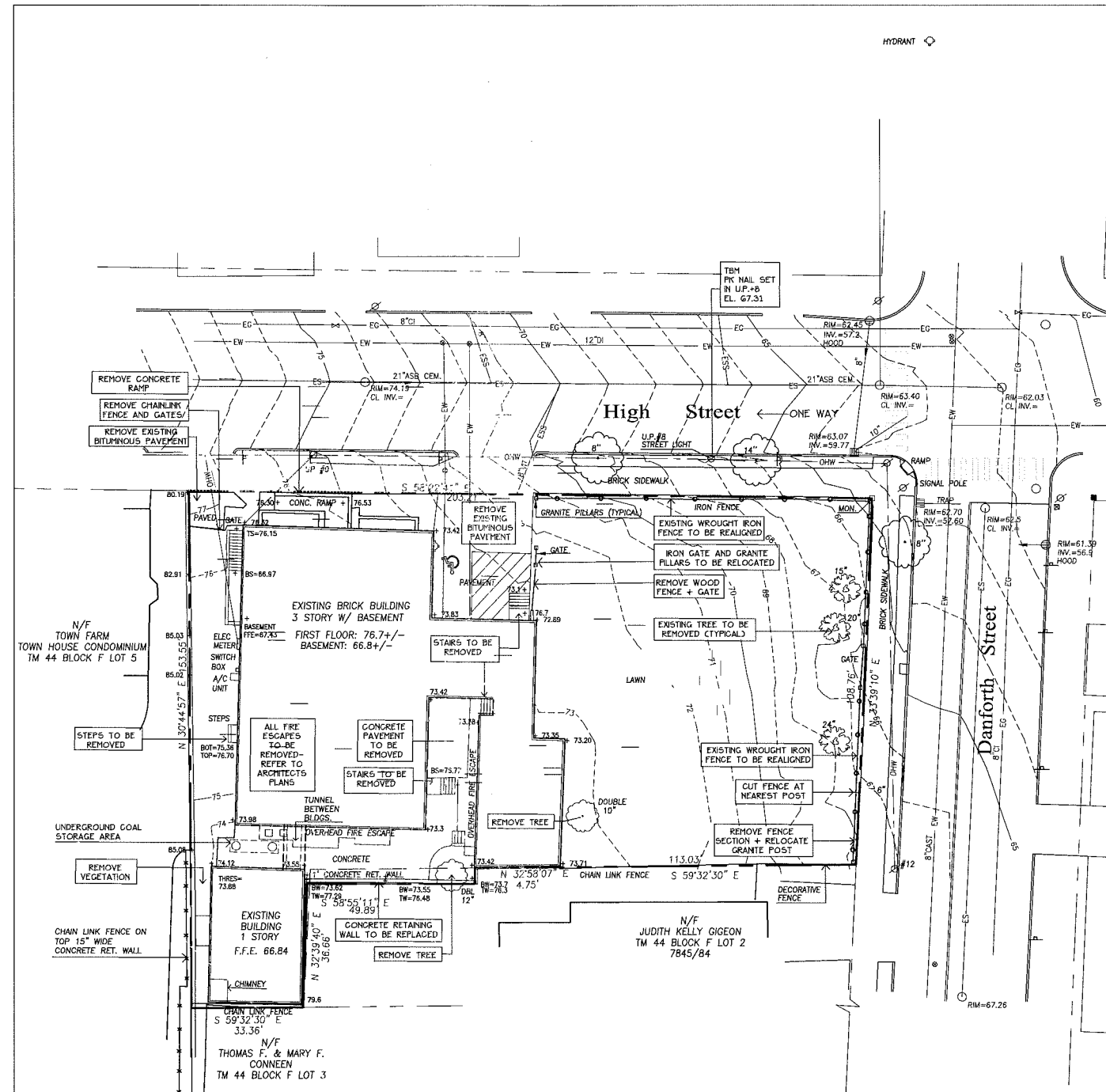
- SITE AREA: 23,797 SF OR 0.54 ACRES
 APPLICANT: CHILDREN'S HOSPITAL HOUSING PARTNERS, LP
 309 CUMBERLAND AVENUE
 PORTLAND, MAINE 04101
- OWNER OF RECORD: UNIVERSITY OF SOUTHERN MAINE
 16 CENTRAL STREET
 BANGOR, MAINE 04401
- TAX MAP + LOT NUMBER: MAP 44, BLOCK F, LOT 1
- BOOK + PAGE NUMBER: BOOK 99B3, PAGE 183
- ZONING DISTRICT: EXISTING: RG- RESIDENTIAL DISTRICT
 PROPOSED: R7- COMPACT URBAN RESIDENTIAL OVERLAY
- BOUNDARY AND TOPOGRAPHIC SURVEY BY OWEN HASKELL, INC. 390 US
 ROUTE ONE, UNIT 10, FALMOUTH, MAINE 04105 (207) 774-0424.
- ALL WORK WITHIN THE STREET RIGHT-OF-WAY SHALL MEET THE CITY OF
 PORTLAND STANDARDS.
- BEARING ORIENTATION IS BASED UPON PLAN REFERENCE 1.
- ELEVATIONS HEREON ARE BASED ON CITY OF PORTLAND DATUM. BENCHMARK
 IS THE TOP OF A GRANITE MONUMENT AT SOUTHWEST CORNER OF DANFORTH
 AND PARK STREET ELEVATION 75.95'.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD
 SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO
 GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL
 SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE
 SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES
 SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES
 CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM
 INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED
 THE UNDERGROUND UTILITIES. CALL 1-888-DIGSAFE AT LEAST THREE
 BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.

PLAN REFERENCES

- CONDOMINIUM FLAT, OLIVER B. DORRANCE HOUSE, 99-101 DANFORTH
 ST., PORTLAND, MAINE, MADE FOR 99-101 DANFORTH ST. ASSOCIATES,
 DATED AUG. 06, 2001 AND RECORDED IN PLAN BOOK 201 PAGES 394, 395.
- SECOND AMENDED SURVEY, THE CARROLL MANSION A CONDOMINIUM, 77
 PARK STREET, PORTLAND, MAINE, DATED 6-20-84 (REVISED 3-20-85) AND
 RECORDED IN REGISTRY OF DEEDS PLAN BOOK 146 PAGE 60.
- PLAN OF TOWN FARM TOWNHOUSE CONDOMINIUM, HIGH + PLEASANT ST.,
 PORTLAND, MAINE MADE FOR PLEASANT STREET DEVELOPMENT ASSOCIATES
 DATED 8-2-84 AND RECORDED IN REGISTRY OF DEEDS PLAN BOOK 145
 PAGE 46.
- BOUNDARY + TOPOGRAPHIC SURVEY AT 87-93 DANFORTH ST., 56-70
 HIGH ST., PORTLAND, MAINE MADE FOR USM FACILITIES MANAGEMENT DATED
 JANUARY 02, 2007 BY OWEN HASKELL, INC.

LEGEND

EXISTING		EXISTING	
PROPERTY LINE	EG	GAS	EG
GRANITE MONUMENT	CHW	OVERHEAD WIRES	CHW
CATCHBASIN	ES	CURB	ES
MANHOLE	ES	FENCE	ES
HYDRANT	ES	SIGN	ES
UTILITY POLE	ES	DECIDUOUS TREE	ES
WATER VALVE	ES	EVERGREEN TREE	ES
SANITARY SEWER	ES	CONTOUR	ES
STORM DRAIN	ES	SPOT ELEVATION	ES
WATER	ES		



Prepared For:
 Applicant:
**Children's Hospital
 Housing Partners, LP**
 309 Cumberland Avenue
 Suite 203
 Portland, Maine 04101

Prepared By:
MITCHELL & ASSOCIATES
 Landscape Architects
 The Staples School
 70 Center Street
 Portland, Maine 04101
 Tel: (207) 774-4427

Children's Hospital Apartments
 Portland, Maine

66-68 High Street

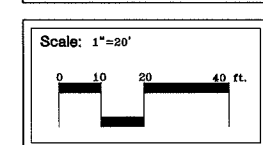
Date:
 NOVEMBER 1, 2010

Issued For:
 PRELIMINARY SITE PLAN &
 SUBDIVISION PLAN REVIEW

Revisions:

Reproduction or reuse of
 this document without the
 expressed written consent of
 Mitchell & Associates is prohibited.

Title:
**EXISTING CONDITIONS &
 DEMOLITION PLAN**



North:

Sheet No:
1

GENERAL NOTES

- SITE AREA: 23,797 SF OR 0.54 ACRES
- APPLICANT: CHILDREN'S HOSPITAL HOUSING PARTNERS, LP
309 CUMBERLAND AVENUE, SUITE 203
PORTLAND, MAINE 04101
- OWNER: UNIVERSITY OF SOUTHERN MAINE
16 CENTRAL STREET
BANGOR, MAINE 04401
- ZONING DISTRICT: R7- COMPACT URBAN RESIDENTIAL OVERLAY
- SPACE AND BULK STANDARDS:

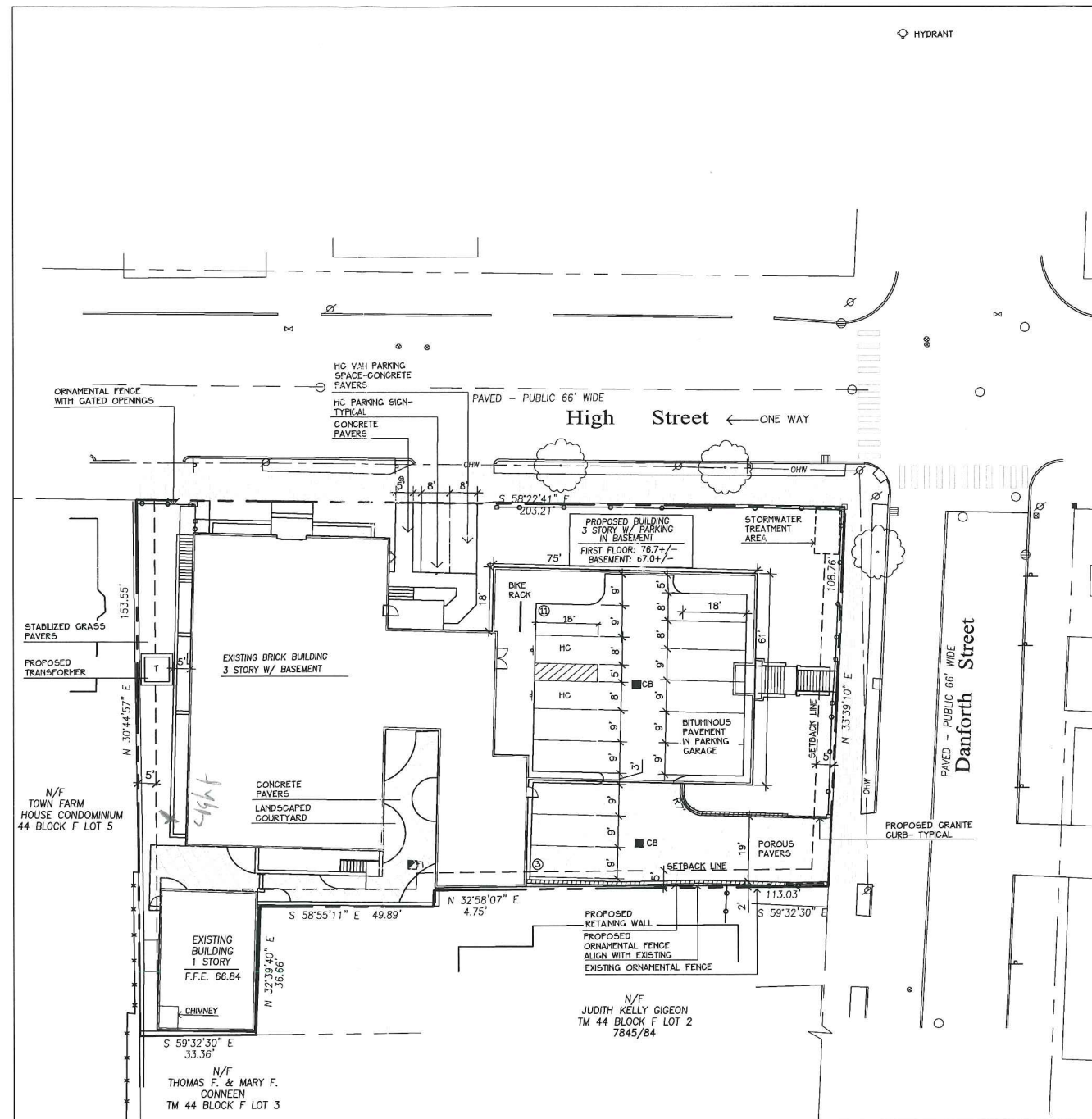
	R7 OVERLAY ZONE	PROPOSED
MINIMUM LOT SIZE:	NONE	23,797 SF
MINIMUM STREET FRONTAGE:	NONE	200 FEET
FRONT YARD SETBACK:	NONE	19 FEET
REAR YARD SETBACK:	5 FEET	28 FEET
SIDE YARD SETBACK:	5 FEET	25 FEET
MAXIMUM LOT COVERAGE:	100%	52 %
MINIMUM LOT WIDTH:	30 FEET	200 FEET
MAXIMUM HEIGHT OF STRUCTURES:	50 FEET	45 FEET
MAXIMUM RESIDENTIAL DENSITY:	435 SF/UNT	680 SF/UNT
- OFF-STREET PARKING REQUIREMENTS:

REQUIRED:	RESIDENTIAL-ONE (1) SPACE/DWELLING UNIT. 15 (15 NEW DWELLING UNITS)
PROPOSED:	15 VEHICLE PARKING SPACES (INCLUDING 3 HANDICAP ACCESSIBLE SPACES)
- BICYCLE PARKING:

REQUIRED:	2 SPACES/5 DWELLING UNITS
PROPOSED:	6 SPACES (15 NEW DWELLING UNITS)
- EXISTING IMPERVIOUS: 11,815 SF (50% OF SITE)
PROPOSED IMPERVIOUS: 18,150 SF (76% OF SITE)
- ALL WORK WITHIN THE STREET RIGHT-OF-WAY SHALL MEET THE CITY OF PORTLAND STANDARDS.

LEGEND

	EXISTING	PROPOSED
PROPERTY LINE		
ABUTTING PROPERTY LINE		
SETBACK LINE		
GRANITE MONUMENT		
CURB		
UTILITY POLE		
HYDRANT		
CATCH BASIN		
FIELD INLET		
STORM DRAIN MANHOLE		
SANITARY SEWER MANHOLE		
WATER VALVE		
OVERHEAD UTILITY WIRES		
DECIDUOUS TREE		
RETAINING WALL		
FENCE		



Prepared For:
 Applicant:
**Children's Hospital
 Housing Partners, LP**
 309 Cumberland Avenue
 Suite 203
 Portland, Maine 04101

Prepared By:
MITCHELL & ASSOCIATES
 Landscape Architects
 The Staples School
 70 Center Street
 Portland, Maine 04101
 Tel: (207) 774-4427

Children's Hospital Apartments
 Portland, Maine
 66-68 High Street

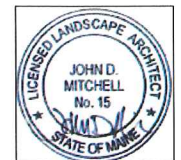
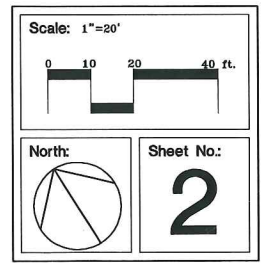
Date:
 NOVEMBER 1, 2010

Issued For:
 PRELIMINARY SITE PLAN &
 SUBDIVISION PLAN REVIEW

Revisions:

Reproduction or reuse of
 this document without the
 expressed written consent of
 Mitchell & Associates is prohibited.

Title:
 LAYOUT PLAN

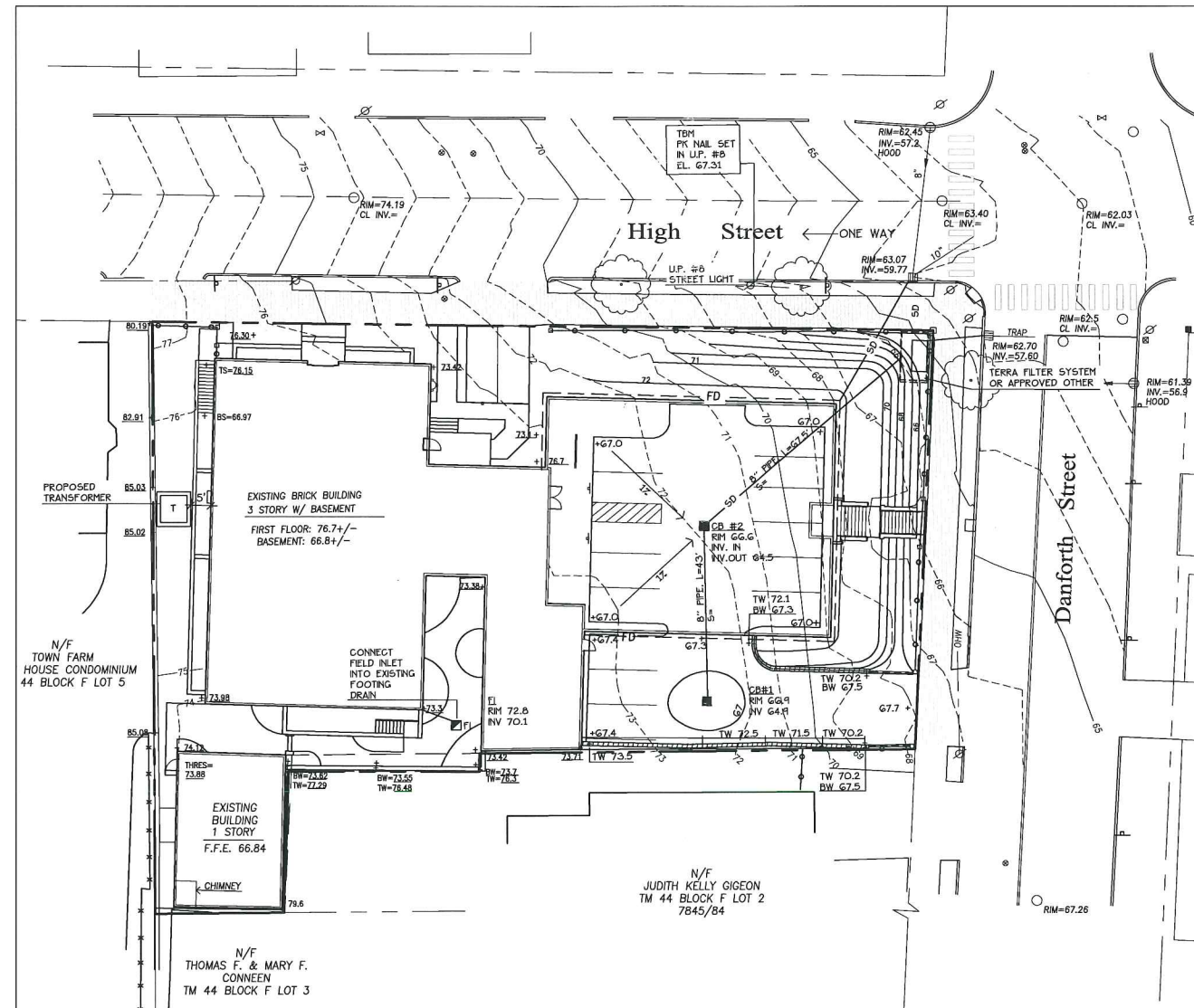


GRADING AND DRAINAGE NOTES

- DO NOT SCALE THESE DRAWINGS. ANY DISCREPANCIES BETWEEN DRAWINGS, DETAILS, NOTES AND SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT FOR FURTHER DIRECTION AND RESOLUTION BEFORE ADDITIONAL WORK PROCEEDS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES ON THE GROUND. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT FOR DIRECTION AND RESOLUTION PRIOR TO ANY FURTHER WORK.
- CONTRACTOR SHALL FIELD VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES WITH THE APPROPRIATE UTILITY COMPANIES PRIOR TO EXCAVATION OF OR INSTALLATION OF ANY PART OF THIS WORK.
- CONTRACTOR SHALL AVOID ALL AREAS NOT REQUIRING GRADING. CONTRACTOR SHALL NOT DISTURB THESE AREAS.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL DIGSAFE (1-888-344-7233) AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.
- CONTRACTOR SHALL CONDUCT TEST PIT EXCAVATION TO CONFIRM LOCATION OF EXISTING UTILITIES WHERE NEW BUILDING SANITARY SERVICE AND WATER SERVICE ARE PROPOSED.
- WHERE STORM DRAINS OR SEWER MAINS HAVE LESS THAN FOUR (4) FEET OF COVER BETWEEN TOP OF PIPE AND FINISH GRADE, INSULATE PIPE USING TWO (2) INCH THICK STYROFOAM INSULATION BOARD OVER AND ALONG SIDES OF THE PIPE.
- EXISTING DRAINAGE MANHOLES SHALL BE CORED TO ACCEPT NEW DRAINAGE PIPES AS NOTED.
- PIPE LENGTH EQUALS THE CENTER TO CENTER DISTANCES BETWEEN CATCH BASINS AND/OR MANHOLES MINUS ONE-HALF OF THE DIAMETER OF EACH CATCH BASIN OR MANHOLE.
- ROOF DRAIN CONNECTIONS SHALL BE CONFIRMED WITH FINAL BUILDING PLANS.
- ALL UTILITIES SHALL BE INSTALLED IN CONFORMANCE WITH INDIVIDUAL UTILITY DISTRICT REQUIREMENTS; CONTRACTOR SHALL COORDINATE INSTALLATION WITH APPROPRIATE UTILITY DISTRICT BEFORE INSTALLATION.
- ALL WORK WITHIN THE STREET RIGHT-OF-WAY SHALL MEET THE CITY OF PORTLAND STANDARDS.

LEGEND

	EXISTING	PROPOSED
PROPERTY LINE		
ABUTTING PROPERTY LINE		
SETBACK LINE		
GRANITE MONUMENT		
CURB		
UTILITY POLE		
HYDRANT		
CATCH BASIN		
STORM DRAIN MANHOLE		
SANITARY SEWER MANHOLE		
WATER VALVE		
OVERHEAD UTILITY WIRES		
DECIDUOUS TREE		
RETAINING WALL		
STORM DRAIN PIPE		
RIGID INSULATION		
SEWER MAIN		
WATER MAIN		
GAS MAIN		
UNDERGROUND ELECTRIC		
UNDERGROUND UTILITIES		
CONTOUR		
SPOT GRADES		



Prepared For:
 Applicant:
Children's Hospital Housing Partners, LP
 309 Cumberland Avenue
 Suite 203
 Portland, Maine 04101

Prepared By:
MITCHELL & ASSOCIATES
 Landscape Architects
 The Staples School
 70 Center Street
 Portland, Maine 04101
 Tel: (207) 774-4427

Children's Hospital Apartments
 Portland, Maine
 66-68 High Street

Date:
 NOVEMBER 1, 2010

Issued For:
 PRELIMINARY SITE PLAN & SUBDIVISION PLAN REVIEW

Revisions:

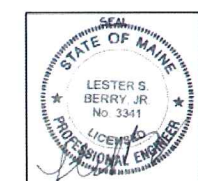
Reproduction or reuse of this document without the expressed written consent of Mitchell & Associates is prohibited.

Title:
GRADING AND DRAINAGE PLAN

Scale: 1"=20'

North:

Sheet No.: **3**

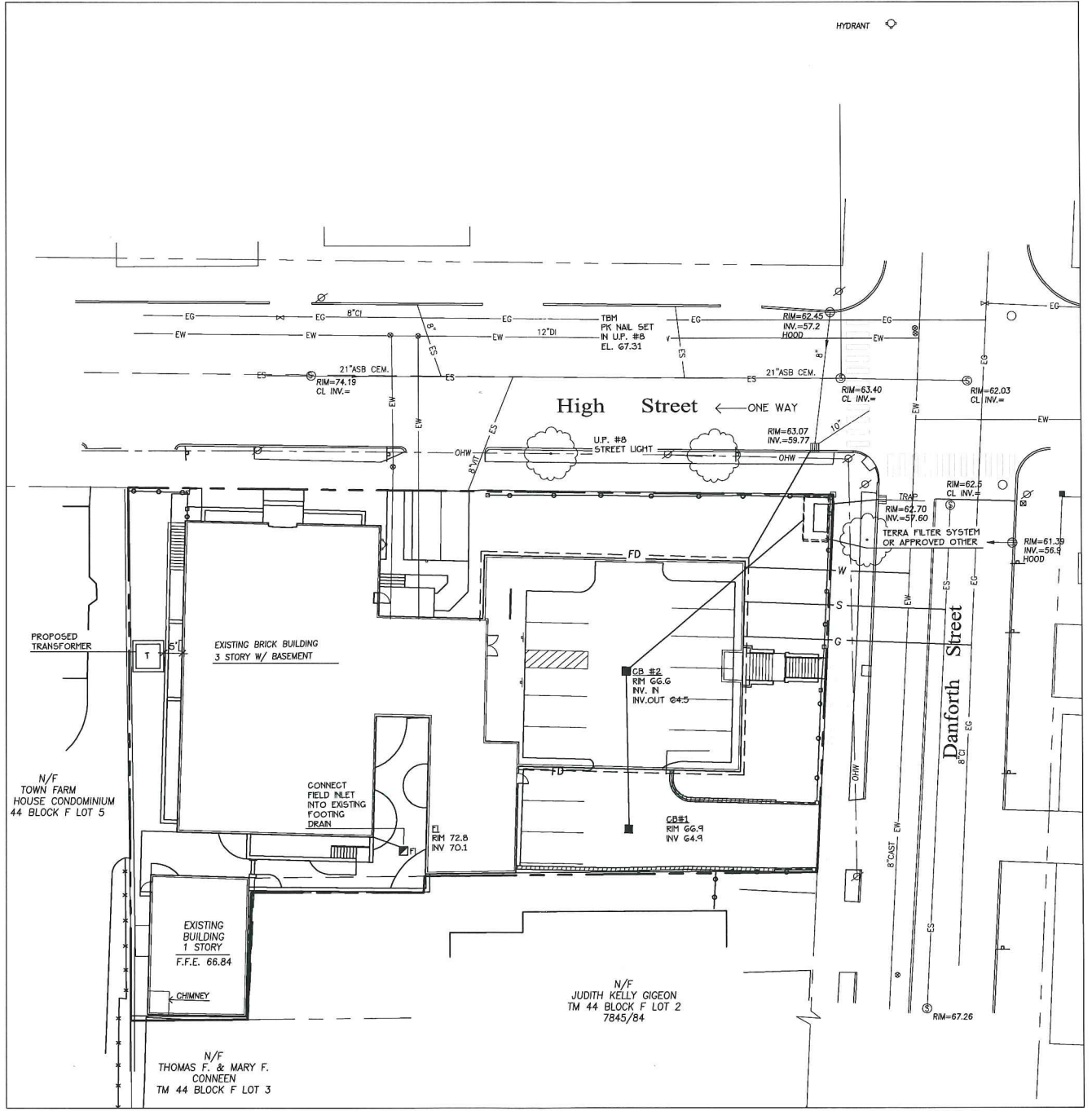


- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL DIGSAFE (1-888-344-7233) AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.
- DO NOT SCALE THESE DRAWINGS. ANY DISCREPANCIES BETWEEN DRAWINGS, DETAILS, NOTES AND SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT FOR FURTHER DIRECTION AND RESOLUTION BEFORE ADDITIONAL WORK PROCEEDS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES ON THE GROUND. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT FOR DIRECTION AND RESOLUTION PRIOR TO ANY FURTHER WORK.
- CONTRACTOR SHALL FIELD VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES WITH THE APPROPRIATE UTILITY COMPANIES PRIOR TO EXCAVATION OF OR INSTALLATION OF ANY PART OF THIS WORK.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE STANDARDS OF THE CITY OF PORTLAND AND AFFECTED UTILITY OWNERS. ALL UTILITIES SHALL BE INSTALLED IN CONFORMANCE WITH INDIVIDUAL UTILITY DISTRICT REQUIREMENTS; CONTRACTOR SHALL COORDINATE INSTALLATION WITH APPROPRIATE UTILITY DISTRICT BEFORE INSTALLATION.
- LOCATION OF UTILITY STRUCTURES AND INVERTS OF PIPED UTILITIES MAY BE ADJUSTED TO MEET FIELD CONDITIONS ONLY AFTER PRIOR APPROVAL OF THE OWNER, THE AFFECTED UTILITY COMPANY, AND THE CITY OF PORTLAND.
- CONTRACTOR SHALL CONDUCT TEST PIT EXCAVATION TO CONFIRM LOCATION OF EXISTING UTILITIES WHERE NEW BUILDING SANITARY SERVICE AND WATER SERVICE ARE PROPOSED.
- WHERE STORM DRAINS HAVE LESS THAN FOUR (4) FEET OF COVER BETWEEN THE TOP OF PIPE AND FINISH GRADE, INSULATE PIPE USING TWO (2) INCH THICK STYROFOAM INSULATION BOARD OVER AND ALONG SIDES OF THE PIPE. ALL REQUIRED UTILITIES SERVING THE DEVELOPMENT SHALL BE COORDINATED AND CONSTRUCTED TO WITHIN 5 FEET OF THE BUILDINGS. AT A LOCATION COORDINATED WITH THE CONTRACTOR AND THE BUILDING PLANS. ALL REQUIRED CONNECTION FEES SHALL BE PAID BY CONTRACTOR.
- ALL WATER UTILITY MATERIAL AND INSTALLATION METHODS SHALL CONFORM TO THE STANDARDS OF THE PORTLAND WATER DISTRICT. PORTLAND WATER DISTRICT CONTACT: JAMIE PASGHAL (207) 774-5961 x3051.
- THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF OVERHEAD AND UNDERGROUND TELEPHONE AND CABLE UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR CONDUITS. THE WARNER CABLE CONTACT: MARK PELLETIER (207) 253-2324.

- THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF OVERHEAD AND UNDERGROUND ELECTRIC WITH CENTRAL MAINE POWER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TOTAL INSTALLATION OF THE UNDERGROUND SERVICE INCLUDING, BUT NOT LIMITED TO, ALL TRENCHING, CONDUIT, PRIMARY AND SECONDARY CABLES, TERMINATORS, CONNECTORS, PULL WIRES, SPARE CONDUIT, ETC. CENTRAL MAINE POWER CONTACT: JAMIE COUGH (207) 842-2367.
- SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE PIPE MEETING THE REQUIREMENTS OF SD-35 FOR GRAVITY PIPE, UNLESS OTHERWISE NOTED ON THE PLANS. ALL SEWER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO STANDARDS OF THE CITY OF PORTLAND, COORDINATE WITH DEPARTMENT OF PUBLIC SERVICES. PORTLAND PUBLIC SERVICES CONTACT: DAVID HARGOLIS-FINEO (207) 874-8850.
- PIPE LENGTH EQUALS THE CENTER TO CENTER DISTANCES BETWEEN CATCH BASINS AND/OR MANHOLES MINUS ONE-HALF OF THE DIAMETER OF EACH CATCH BASIN OR MANHOLE.
- ROOF DRAIN CONNECTIONS SHALL BE CONFIRMED WITH FINAL BUILDING PLANS.
- THRUST BLOCKS OR LOCKING RETAINER GLANDS SHALL BE PLACED ON THE WATER DISTRIBUTION LINES AT ALL BENDS, TEES, FIRE HYDRANTS, VALVES, CHANGES IN DIRECTION ETC. THE THRUST BLOCKS OR LOCKING RETAINER GLANDS SHALL MEET THE REQUIREMENTS OF THE PORTLAND WATER DISTRICT.
- THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE ONSITE NATURAL GAS SUPPLY SYSTEM WITH THE UNTIL. THE CONTRACTOR IS RESPONSIBLE FOR EXCAVATION AND BACKFILL OF THE GAS LINE. UNTIL CONTACT: KELLY FOWLER (207) 541-2505.
- ALL WORK WITHIN THE STREET RIGHT-OF-WAY SHALL MEET CITY OF PORTLAND STANDARDS.

LEGEND

	EXISTING	PROPOSED
PROPERTY LINE		
ABUTTING PROPERTY LINE		
SETBACK LINE		
GRANITE MONUMENT		
CURB		
UTILITY POLE		
HYDRANT		
CATCH BASIN		
STORM DRAIN MANHOLE		
SANITARY SEWER MANHOLE		
WATER VALVE		
OVERHEAD UTILITY WIRES		
DECIDUOUS TREE		
RETAINING WALL		
STORMDRAIN PIPE		
RIGID INSULATION		
SEWER MAIN		
WATER MAIN		
GAS MAIN		
UNDERGROUND ELECTRIC		
UNDERGROUND UTILITIES		
CONTOUR		
TRANSFORMER		
SPOT GRADES		



Prepared For:
Applicant:
 Children's Hospital
 Housing Partners, LP
 309 Cumberland Avenue
 Suite 203
 Portland, Maine 04101

Prepared By:
MITCHELL & ASSOCIATES
 Landscape Architects
 The Staples School
 70 Center Street
 Portland, Maine 04101
 Tel: (207) 774-4427

Children's Hospital Apartments
 Portland, Maine

66-68 High Street

Date:
 NOVEMBER 1, 2010

Issued For:
 PRELIMINARY SITE PLAN &
 SUBDIVISION PLAN REVIEW

Revisions:

Reproduction or reuse of this document without the expressed written consent of Mitchell & Associates is prohibited.

Title:
LIGHTING AND UTILITIES PLAN

Scale: 1"=20'

0 10 20 40 ft.

North:

Sheet No:
4

GENERAL PLANTING NOTES

- CALL DIG-SAFE (1-888-344-7233) PRIOR TO BEGINNING WORK. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF SAME BEFORE COMMENCING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES PAVING, WALKS, CURBING, ETC. DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO OWNER.
- CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH ALL SITE CONDITIONS PRIOR TO CONSTRUCTION BIDDING.
- DO NOT SCALE FROM DRAWINGS. ANY OMISSIONS IN DIMENSIONING SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT. ANY DISCREPANCIES BETWEEN DRAWINGS, DETAILS, NOTES AND SPECS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT FOR FURTHER DIRECTION AND RESOLUTION BEFORE ANY ADDITIONAL WORK PROCEEDS.
- PROVIDE SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING CONDITIONS.
- CONTRACTOR SHALL FURNISH AND PLACE 12 INCHES OF LOAM IN ALL SHRUB BEDS, 30 INCHES IN ALL TREE FITS, AND 6 INCHES UNDER ALL TURF AREAS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE SUBGRADE PREPARATION WITH THE GENERAL CONTRACTOR PRIOR TO PLACING LOAM.
- ALL PLANT MATERIAL INSTALLED SHALL MEET THE SPECIFICATIONS OF "AMERICAN STANDARDS FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN" LATEST EDITION.
- ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE.
- ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING, STAKING OR CUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE FROM THE OWNER.
- ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
- EXISTING TREES TO BE PRESERVED SHALL BE PROTECTED DURING CONSTRUCTION AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- ALL SHRUB BEDS AND TREE FITS SHALL BE MULCHED WITH 3" CLEAN SHREDDED BLACK MULCH (DO NOT EXCEED 3" DEPTH).
- ANY DEVIATION FROM THE LANDSCAPE PLAN, INCLUDING PLANT LOCATION, SELECTION, SIZE, QUANTITY, OR CONDITION SHALL BE REVIEWED AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT (AND MUNICIPAL AUTHORITY, IF APPLICABLE) PRIOR TO INSTALLATION ON SITE.
- WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR GROUND COVER AND PERENNIAL BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.
- DAMAGE TO EXISTING SITE IMPROVEMENTS DURING INSTALLATION OF LANDSCAPE MATERIAL SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- ALL WORK WITHIN THE STREET RIGHT-OF-WAY SHALL MEET THE CITY OF PORTLAND STANDARDS.

NOTES:

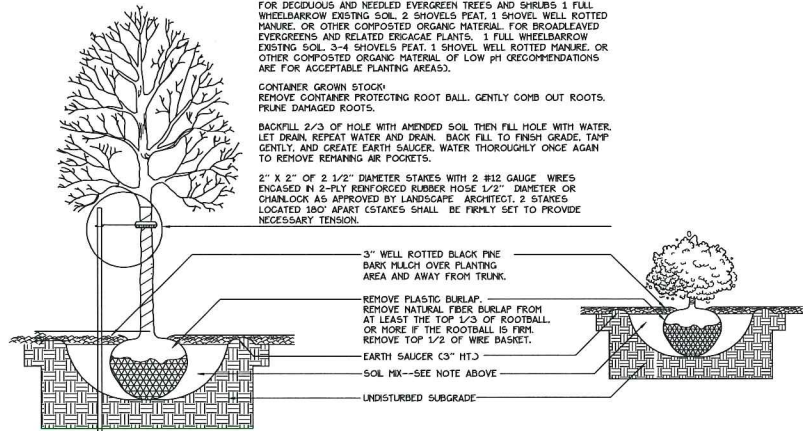
DIG HOLE AT LEAST 2 TIMES THE WIDTH OF ROOT BALL AND AS DEEP AS THE ROOT BALL (NO DEEPER). SET ROOT BALL CENTERED, WITH TOP AT GROUND LEVEL OR SLIGHTLY HIGHER. CORRECT HOLE DEPTH AS NEEDED.

FOR DECIDUOUS AND NEEDLED EVERGREEN TREES AND SHRUBS: 1 FULL WHEELBARROW EXISTING SOIL, 2 SHOVELS PEAT, 1 SHOVEL WELL ROTTED MANURE OR OTHER COMPOSTED ORGANIC MATERIAL, FOR BROADLEAVED EVERGREENS AND RELATED DECIDUOUS PLANTS: 1 FULL WHEELBARROW EXISTING SOIL, 3-4 SHOVELS PEAT, 1 SHOVEL WELL ROTTED MANURE OR OTHER COMPOSTED ORGANIC MATERIAL OF LOW PH (RECOMMENDATIONS ARE FOR ACCEPTABLE PLANTING AREAS).

CONTAINER GROWN STOCK: REMOVE CONTAINER PROTECTING ROOT BALL. GENTLY COMB OUT ROOTS. PRUNE DAMAGED ROOTS.

BACKFILL 2/3 OF HOLE WITH AMENDED SOIL THEN FILL HOLE WITH WATER. LET DRINK, REPEAT WATER AND DRAIN. BACK FILL TO FINISH GRADE TAMP GENTLY, AND CREATE EARTH SAUCER. WATER THOROUGHLY ONCE AGAIN TO REMOVE REMAINING AIR POCKETS.

2" x 2" OF 2 1/2" DIAMETER STAKES WITH 2 #12 GAUGE WREES ENCASED IN 2-PLY REINFORCED RUBBER HOSE 1/2" DIAMETER OR CHAINLOCK AS APPROVED BY LANDSCAPE ARCHITECT. 2 STAKES LOCATED 180° APART STAKES SHALL BE FIRMLY SET TO PROVIDE NECESSARY TENSION.



TREE AND SHRUB INSTALLATION

NOT TO SCALE

PLANT LIST

KEY	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE
TREES				
A. CAN	3	AMELANCHIAR CANADENSIS 'AUTUMN BRILLIANCE'	SHADBUSH	1.75" CAL CLUMP
C. CAN	1	CERCIS CANADENSIS 'COVEY'	COVEY REDBUD	6"-7" HEIGHT
C. CAR	4	CARPINUS CAROLINANA	AMERICAN HORNBEAM	2" CAL
Q. PGR	2	QUERCUS FALUSTRIS 'GREENPILLAR'	GREENPILLAR OAK	2" CAL
U. APR	1	ULMUS AMERICANA 'PRINCETON'	PRINCETON AMERICAN ELM	2-2.5" CAL
SHRUBS				
C. ALN	15	CLETHRA ALNIFOLIA 'COMPACTA'	SWEET PEPPERBUSH	#2
F. GAR	11	FOTHERGILLA GARDENI	DWARF BOTTLEBRUSH	#2
R. OLM	5	RHODODENDRON 'OLGA MEZITT'	OLGA MEZITT RHODODENDRON	#2
S. BNF	10	SPIRAEA BIMALDA 'NEON FLASH'	NEON FLASH SPIRAEA	#2
S. PAT	4	SYRINGA PATULA 'MISS KIM'	MISS KIM LILAC	#2
V. COR	11	VACCINIUM CORYMBOSUM	HIGH BUSH BLUEBERRY	#2
V. ANG	3	VACCINIUM ANGSTIFOLIUM	LOW BUSH BLUEBERRY	#2
GROUNDCOVERS/ PERENNIALS				
C. ODO		GALIUM ODORATUM	SWEET WOODRUFF	POT
FERN SP.				

LEGEND

	EXISTING	PROPOSED
PROPERTY LINE		
EASEMENT LINE		
ABUTTING PROPERTY LINE		
SETBACK LINE		
GRANITE MONUMENT		
CURB		
UTILITY POLE		
HYDRANT		
CATCH BASIN		
STORM DRAIN MANHOLE		
SANITARY SEWER MANHOLE		
WATER VALVE		
OVERHEAD UTILITY WIRES		
DECIDUOUS TREE		

Prepared For:
 Applicant:
Children's Hospital Housing Partners, LP
 309 Cumberland Avenue
 Suite 203
 Portland, Maine 04101

Prepared By:
MITCHELL & ASSOCIATES
 Landscape Architects
 The Staples School
 70 Center Street
 Portland, Maine 04101
 Tel: (207) 774-4427

Children's Hospital Apartments
 Portland, Maine
 66-68 High Street

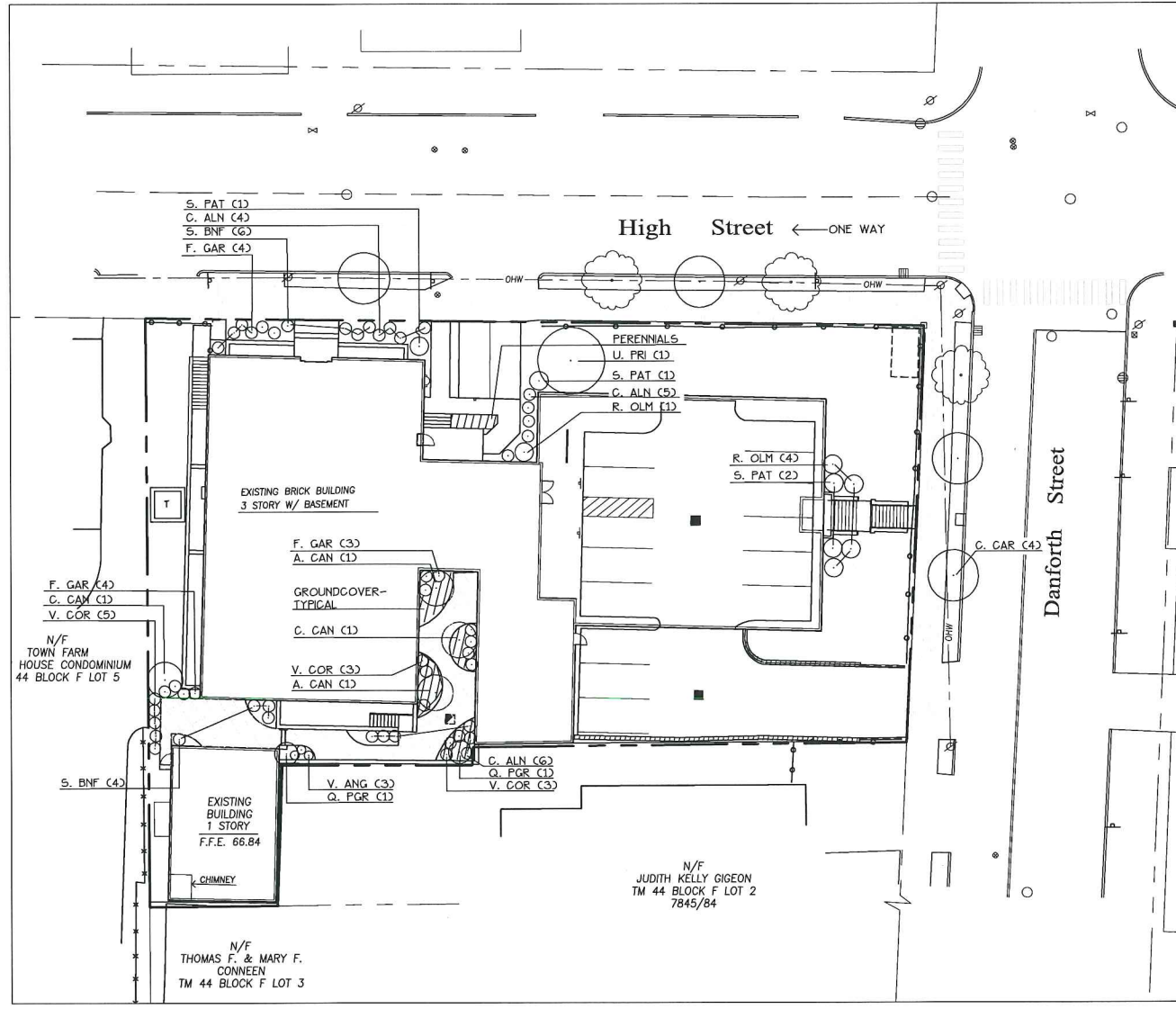
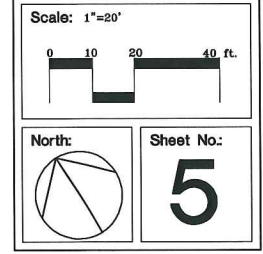
Date:
 NOVEMBER 1, 2010

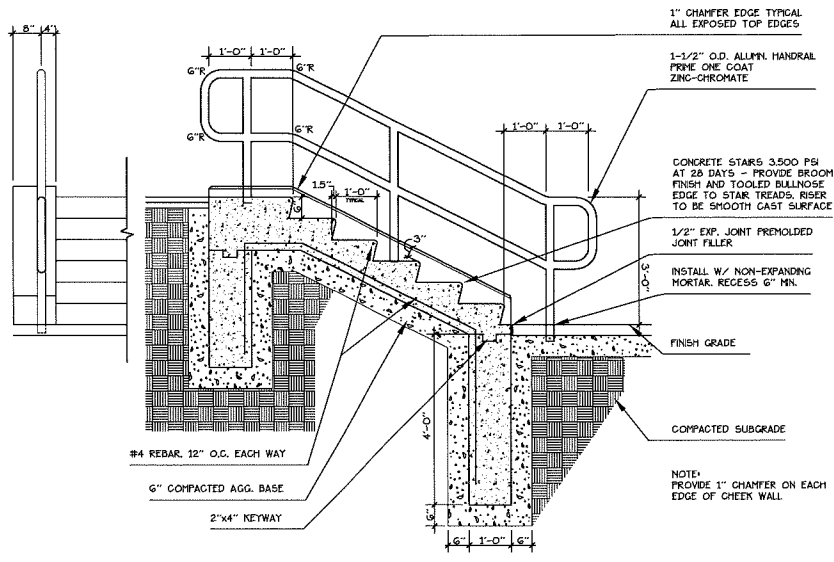
Issued For:
 PRELIMINARY SITE PLAN & SUBDIVISION PLAN REVIEW

Revisions:

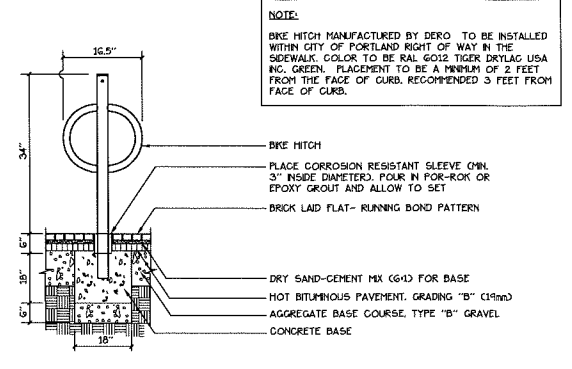
Reproduction or reuse of this document without the expressed written consent of Mitchell & Associates is prohibited.

Title:
PLANTING PLAN

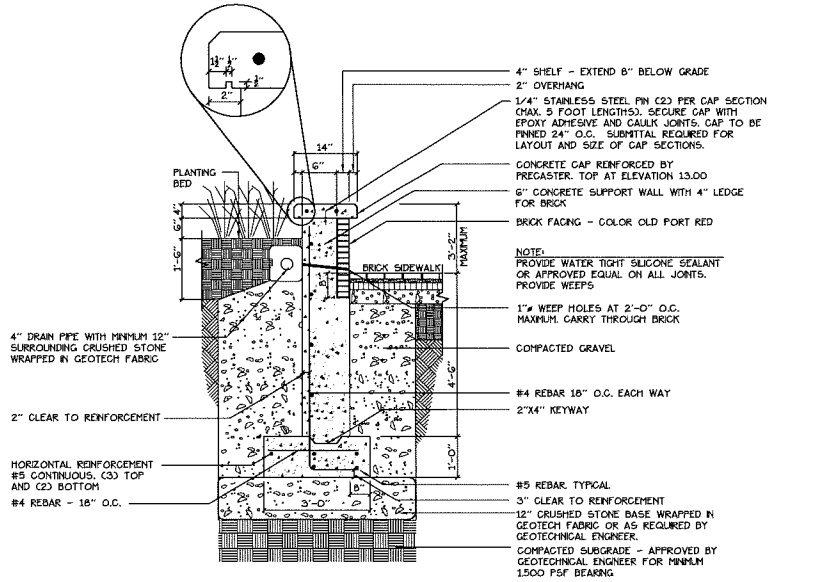




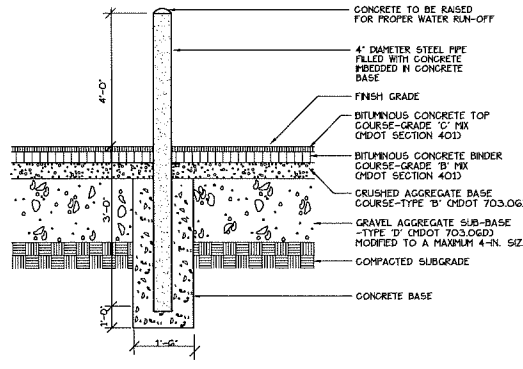
1 CONCRETE STAIR + CHEEK WALL DETAIL
NOT TO SCALE



4 BIKE HITCH
NOT TO SCALE



2 CONCRETE RETAINING WALL DETAIL
NOT TO SCALE



3 BOLLARD DETAIL
NOT TO SCALE

Prepared For:
Applicant:
Children's Hospital Housing Partners, LP
309 Cumberland Avenue
Suite 203
Portland, Maine 04101

Prepared By:
MITCHELL & ASSOCIATES
Landscape Architects
The Staples School
70 Center Street
Portland, Maine 04101
Tel: (207) 774-4427

Children's Hospital Apartments
Portland, Maine
66-68 High Street

Date:
NOVEMBER 1, 2010

Issued For:
PRELIMINARY SITE PLAN & SUBDIVISION PLAN REVIEW

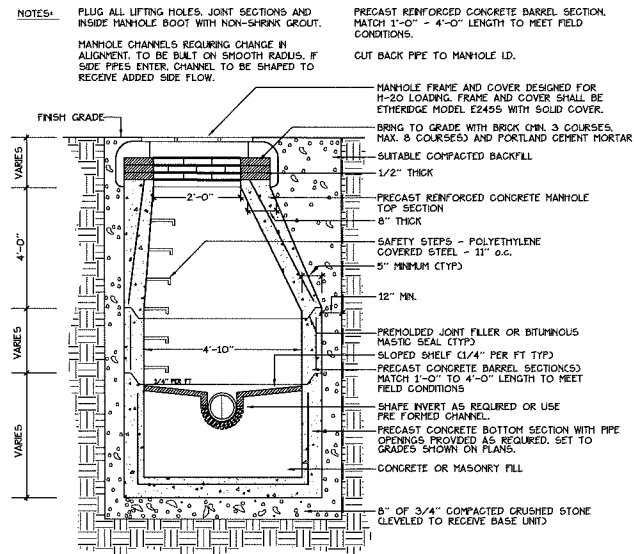
Revisions:

Reproduction or reuse of this document without the expressed written consent of Mitchell & Associates is prohibited.

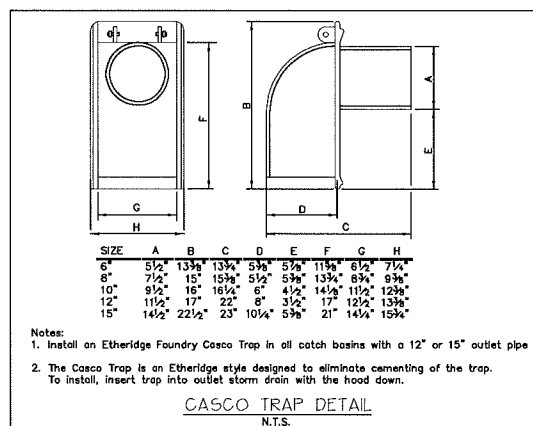
Title:
SITE DETAILS

Scale:
AS SHOWN

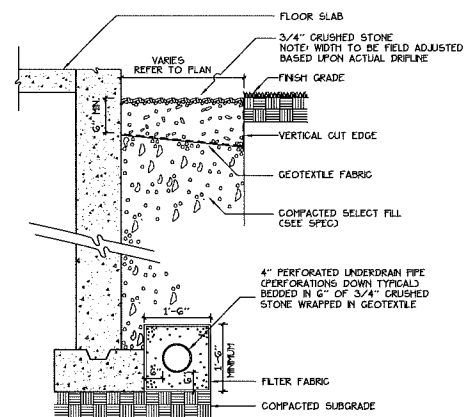
North:
Sheet No.:
7



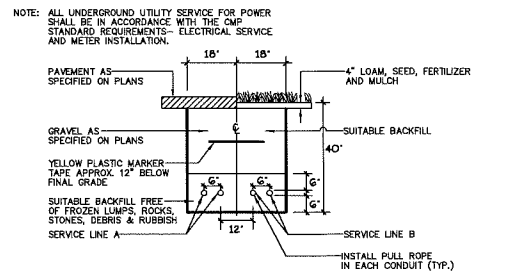
1 PRECAST CONCRETE CATCHBASIN
NOT TO SCALE



2 CASCO TRAP
NOT TO SCALE



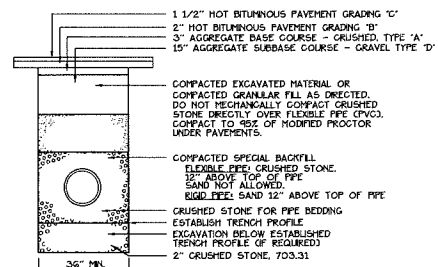
3 DRIP STRIP AND FOUNDATION UNDERDRAIN
NOT TO SCALE



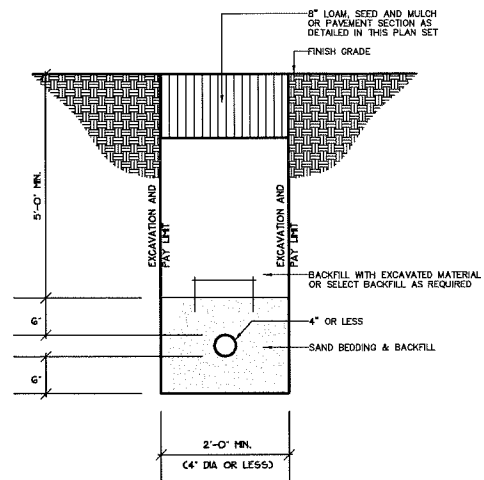
CONDUIT TYPE				
SERVICE	CONDUIT SIZE	SEAL AREA	PAVED AREA	UTILITY
A	2"	1.57	1.57	POWER
B	2"	1.57	1.57	TELEPHONE

* TYPICAL - VERIFY FOR SPECIAL BACKFILL

4 UTILITY TRENCH - PRIMARY POWER, TELEPHONE
NOT TO SCALE



5 PIPE TRENCH DETAIL
NOT TO SCALE



6 WATER SERVICE TRENCH SECTION
NOT TO SCALE

Prepared For:
Applicant:
Children's Hospital
Housing Partners, LP
309 Cumberland Avenue
Suite 203
Portland, Maine 04101

Prepared By:
MITCHELL & ASSOCIATES
Landscape Architects
The Staples School
70 Center Street
Portland, Maine 04101
Tel: (207) 774-4427

Children's Hospital Apartments
Portland, Maine
66-68 High Street

Date:
NOVEMBER 1, 2010

Issued For:
PRELIMINARY SITE PLAN & SUBDIVISION PLAN REVIEW

Revisions:

Reproduction or reuse of this document without the expressed written consent of Mitchell & Associates is prohibited.

Title:
SITE DETAILS

Scale:
AS SHOWN

North:
Sheet No:
8

EROSION AND SEDIMENTATION CONTROL PLAN

THIS PLAN HAS BEEN DEVELOPED AS A STRATEGY TO CONTROL SOIL EROSION AND SEDIMENTATION DURING AND AFTER THE CONSTRUCTION OF CHILDREN'S HOSPITAL APARTMENTS LOCATED AT 66-68 HIGH STREET IN PORTLAND, MAINE. THIS PLAN IS BASED ON THE MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION, BEST MANAGEMENT PRACTICES, MARCH, 2003.

A. PROPOSED DEVELOPMENT

THE PROJECT CONSISTS OF THE RENOVATION OF AN EXISTING THREE STORY, 6,922 SQUARE FOOT BUILDING AND A BUILDING ADDITION. THE ADDITION WILL INCLUDE 15 APARTMENT UNITS AND A GROUND LEVEL PARKING GARAGE. THE PARCEL IS 23,797 SQUARE FEET WITH 50% OF THE SITE IMPERVIOUS. THE PROPOSED IMPERVIOUS COVER IS 18,150 SQUARE FEET.

B. EROSION CONTROL PRACTICES/TEMPORARY MEASURES

THE FOLLOWING TEMPORARY MEASURES TO CONTROL EROSION AND SEDIMENTATION SHALL BE UTILIZED:

1. EACH GROUND AREA, OPENED OR EXPOSED, WHETHER DIRECTLY OR INDIRECTLY DUE TO THE DEVELOPMENT, SHALL BE MINIMIZED AND SHALL BE STABILIZED WITHIN 15 DAYS OF INITIAL DISTURBANCE OF SOIL AND SHALL BE PERMANENTLY STABILIZED WITHIN SEVEN DAYS OF FINAL GRADING. THE STABILIZATION APPLIED TO DISTURBED AREAS BEYOND THE LIMITS OF THE PROPOSED BUILDING, EXPOSED AREAS SHALL BE STABILIZED PRIOR TO A RAIN EVENT.
2. TEMPORARY SOIL STABILIZATION SHALL BE EITHER BY TEMPORARY MULCHING, TEMPORARY SEEDING, PERMANENT BASE GRAVEL, OR ASPHALT BINDER COURSE AS FOLLOWS:

TEMPORARY SEEDING: SEED SHALL BE AROOSTOOK RYE APPLIED AT 2.60#/1000 SF. LIME SHALL BE AGRICULTURAL GROUND LIMESTONE APPLIED AT 1.84#/1000 SF. FERTILIZER SHALL BE 10-20-20 CLASSIFICATION APPLIED AT 13.8#/1000 SF. MULCH SHALL CONSIST OF HAY AND STRAW MULCH AND SPREAD EVENLY AT A RATE OF 70-90#/1000 SF. TEMPORARY SEEDING SHALL ONLY BE MADE BETWEEN APRIL 15 AND OCTOBER 1 AND SHALL NOT BE PLACED OVER

TEMPORARY MULCHING: MULCH SHALL CONSIST OF CHOPPED HAY OR STRAW MULCH AND SPREAD BY MECHANICAL BLOWER EVENLY AT A RATE OF 80-100#/1000 SF. TEMPORARY MULCH

- a) SLOPES SHALL BE LESS THAN EIGHT PERCENT.
- b) GRAVEL SHALL MEET THE SPECIFICATIONS FOR BASE OR SUBBASE GRAVEL FOR THE PROPOSED COMPLETED PAVEMENT.

ASPHALT BINDER COURSE: ASPHALT BINDER SHALL MEET THE SPECIFICATIONS FOR THE ASPHALT BINDER COURSE FOR THE PROPOSED COMPLETED PAVEMENT.

C. EROSION CONTROL PRACTICES/PERMANENT MEASURES

THE FOLLOWING PERMANENT MEASURES TO CONTROL EROSION AND SEDIMENTATION SHALL BE UTILIZED:

1. PERMANENT SEEDING SHALL BE PERFORMED DURING CONSTRUCTION OPERATIONS AS EACH DISTURBED AREA HAS BEEN BROUGHT TO FINISH GRADE. PERMANENT SEEDING SHALL BE MADE AS DORMANT SEEDING AFTER THE FIRST KILLING FROST. DORMANT SEEDING AND MULCH SHALL BE USED AT TWO TIMES THE PERMANENT SEEDING AND MULCHING RATE SHOWN BELOW FOR BOTH LAWN AS WELL AS EMBANKMENTS. SEED, LOAM LIME, FERTILIZER AND MULCH ARE TO BE AS FOLLOWS:

SEED: THE SEED MIXTURE SHALL CONSIST OF SEED PROPORTIONED BY WEIGHT. ALL SEED SHALL BE FRESH, CLEAN, "NEW CROP" SEED, HARMLESS INERT MATTER AND WEED SEEDS SHALL BE PERMITTED UP TO ONE PERCENT OF THE GROSS WEIGHT OF EACH VARIETY OF SEED. ALL SEED SUPP

PERENNIAL RYEGRASS: 0.46#/1000 SF
 REDTOP: 0.12#/1000 SF
 TOTAL: 1.84#/1000 SF

LOAM SHALL BE FREE OF GRASSES, ROOTS, LARGE STONE AND INORGANIC DEBRIS. PLACE LOAM AT SIX INCHES MINIMUM DEPTH OVER ALL DISTURBED AREAS. FINAL GRADING OF ALL LAWN AREAS TO BE APPROVED BY LANDSCAPE ARCHITECT BEFORE SEEDING.

LIME: LIME SHALL BE AGRICULTURAL GROUND LIMESTONE AND APPLIED AS PER RECOMMENDATION OF A STATE COMMERCIAL SOIL TESTING LABORATORY. FERTILIZER: FERTILIZER SHALL BE 10-20-20 CLASSIFICATION AND APPLIED AS PER RECOMMENDATION OF A STATE COMMERCIAL SOIL TESTING LABORATORY.

MULCH: MULCH SHALL CONSIST OF HAY OR STRAW MULCH. MULCH SHALL BE SPREAD EVENLY AT A RATE OF TWO AND ONE HALF TONS PER ACRE OVER ALL SEEDING. AFTER THE MULCH IS APPLIED, IT SHALL BE THOROUGHLY WETTED. IN STEEP AREAS (>3:1 SLOPES), THE MULCH SHALL BE HELD IN PLACE BY THE USE OF JUTE EROSION CONTROL NETTING OR APPROVED ALTERNATIVE NETTING MATERIAL. NOTE: ALL EXPOSED SOIL MUST BE COVERED REGARDLESS OF MULCHING RATES SPECIFIED. NOTE: AN EROSION CONTROL BLANKET SHALL BE PLACED IN ALL NEWLY CREATED OR DISTURBED DITCHES.

THE CONTRACTOR SHALL MAINTAIN THE SEEDING AND MULCHED AREAS UNTIL FINAL ACCEPTANCE OF THE WORK. MAINTENANCE SHALL CONSIST OF PROVIDING PROPER WATERING, PROTECTION AGAINST TRAFFIC AND REPAIRING ANY AREAS DAMAGED DUE TO WIND, WATER, EROSION, FIRE OR OTHER CAUSES. SUCH DAMAGED AREAS SHALL BE REPAIRED TO RE-ESTABLISH THE CONDITION AND GRADE OF THE SOIL PRIOR TO SEEDING AND SHALL THEN BE RE-FERTILIZED, RESEEDED AND REMULCHED.

D. WINTER CONSTRUCTION

THE WINTER CONSTRUCTION PERIOD IS FROM NOVEMBER 1 THROUGH APRIL 15. WINTER EXCAVATION AND EARTHWORK SHALL BE COMPLETED SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME. LIMIT THE EXPOSED AREA TO THOSE AREAS IN WHICH WORK IS EXPECTED TO BE UNDERTAKEN DURING THE PROCEEDING 15 DAYS AND THAT CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT. HAY AND STRAW MULCH RATE SHALL BE A MINIMUM OF 150 LBS./1000 S.F. (3 TONS/ACRE) AND SHALL BE PROPERLY ANCHORED. THE CONTRACTOR SHALL INSTALL ANY ADDED MEASURES WHICH MAY BE NECESSARY TO CONTROL EROSION/SEDIMENTATION FROM THE SITE, DEPENDENT UPON THE ACTUAL SITE AND WEATHER CONDITIONS. CONTINUATION OF EARTHWORK OPERATIONS ON ADDITIONAL AREAS SHALL NOT BEGUN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED, IN ORDER TO MINIMIZE AREAS WITHOUT EROSION CONTROL PROTECTION.

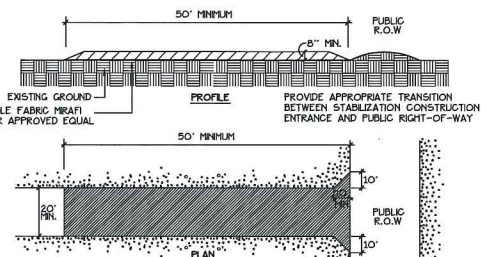
E. CONSTRUCTION SEQUENCE

- THE GENERAL SEQUENCE OF WORK SHALL BE AS FOLLOWS:
1. INSTALL EROSION CONTROL DEVICES, (SILT FENCE, STABILIZED CONSTRUCTION ENTRANCE AND OR SEDIMENT BARRIER.)
 2. TEMPORARILY STABILIZE DISTURBED AREAS BY MULCHING ALL EXPOSED SOIL WITHIN 15 DAYS OF INITIAL DISTURBANCE.
 3. INSTALL STORMWATER SYSTEM.
 4. COMPLETE SITE CONSTRUCTION WORK.
 5. CONSTRUCT PAVED ACCESS AND PARKING AREA.
 6. INSTALL PERMANENT VEGETATION ON ALL EXPOSED AREAS WITHIN 15 DAYS OF FINAL GRADING.
 7. PERFORM CONTINUING MAINTENANCE ON ALL EROSION AND SEDIMENTATION CONTROL DEVICES AND MEASURES.

F. SITE INSPECTION + MAINTENANCE

WEEKLY INSPECTIONS, AS WELL AS ROUTINE INSPECTIONS FOLLOWING RAINFALLS OF 1/2" OVER A CONSECUTIVE 24-HOUR PERIOD, SHALL BE CONDUCTED BY THE SITE CONTRACTOR OF ALL TEMPORARY AND PERMANENT EROSION CONTROL DEVICES UNTIL FINAL ACCEPTANCE OF THE PROJECT. NECESSARY REPAIRS SHALL BE MADE TO CORRECT UNDERMINING OR DETERIORATION. FINAL ACCEPTANCE SHALL INCLUDE A SITE INSPECTION TO VERIFY THE STABILITY OF ALL DISTURBED AREAS AND SLOPES. UNTIL FINAL INSPECTION, ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL IMMEDIATELY BE CLEANED, AND REPAIRED BY THE SITE CONTRACTOR AFTER STORM EVENTS. DISPOSAL OF ALL TEMPORARY EROSION CONTROL DEVICES SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR.

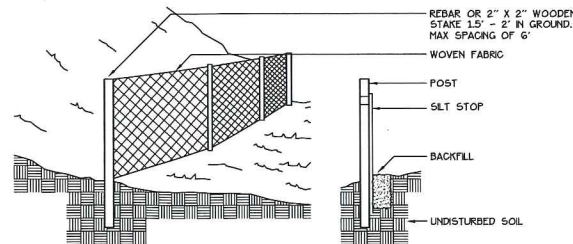
CONTINUED TEMPORARY MAINTENANCE AND LONG TERM PROVISIONS FOR PERMANENT MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROL FACILITIES AFTER ACCEPTANCE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF CHILDREN'S HOSPITAL HOUSING PARTNERS, L.P. OR ASSIGNS.



CONSTRUCTION SPECIFICATIONS:

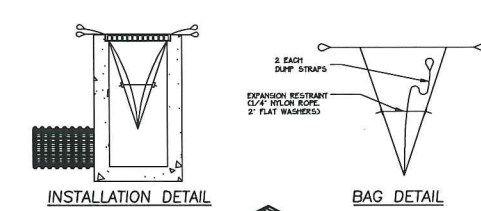
1. STONE SIZE: AASHTO DESIGNATION M 43, SIZE NO. 2 (2.5" TO 1.5"). USE CRUSHED STONE.
2. LENGTH: AS EFFECTIVE BUT NOT LESS THAN 50 FEET.
3. THICKNESS: NOT LESS THAN EIGHT (8) INCHES.
4. WIDTH: NOT LESS THAN FULL WIDTH OF ALL POINT OF INGRESS OR EGRESS.
5. WASHING: WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH THE USE OF SAND BAGS, GRAVEL, BOARDS OR OTHER APPROVED METHODS.
6. MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONES AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.

1 STABILIZED CONSTRUCTION ENTRANCE
 NOT TO SCALE

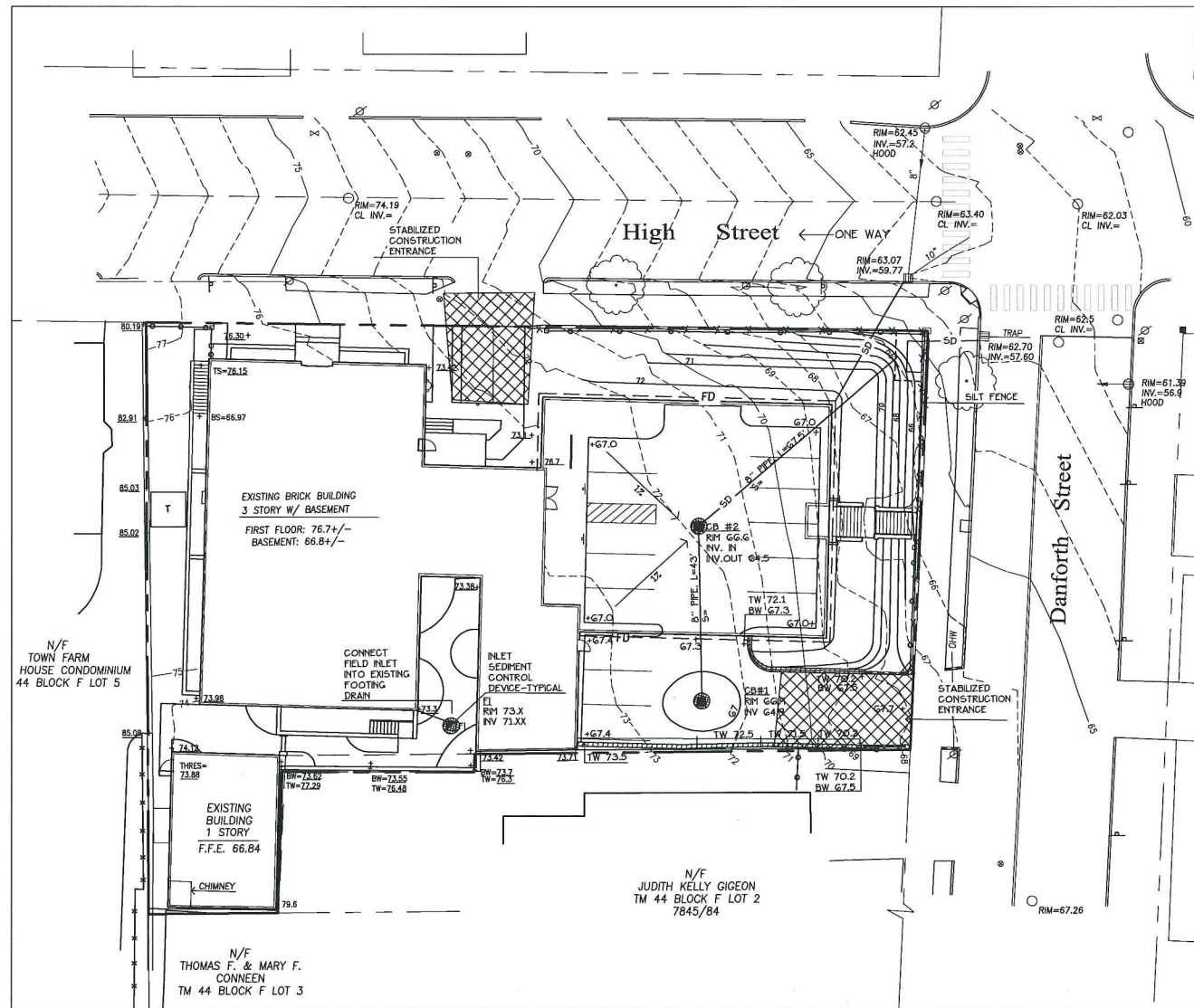


1. SILT FENCE TO BE INSTALLED PARALLEL TO EXISTING CONTOURS DOWN-SLOPE FROM AREAS OF SOIL DISTURBANCE.
2. SILT FENCE TO BE SECURELY ATTACHED TO THE UPSLOPE SIDE OF THE SUPPORTING STAKES.
3. BOTTOM 4 TO 6 INCHES OF SILT FENCE TO BE BURIED IN SLOPE AND BACKFILLED WITH COMPACTED SOIL.
4. INSPECTION SHALL BE MADE AFTER EVERY RAINFALL WITH REMOVAL OF EXCESSIVE SEDIMENT AND REPAIR OF THE FENCE ACCOMPLISHED PROMPTLY.
5. SILT FENCE AND ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS PERMANENT EROSION CONTROL MEASURES HAVE BEEN ESTABLISHED.

2 SILT FENCE
 NOT TO SCALE



3 INLET SEDIMENT CONTROL DEVICE
 NOT TO SCALE



LEGEND

	EXISTING	PROPOSED
PROPERTY LINE	---	---
ABUTTING PROPERTY LINE	---	---
SETBACK LINE	---	---
GRANITE MONUMENT	□	□
CURB	---	---
UTILITY POLE	○	○
HYDRANT	◇	◇
CATCH BASIN	⊕	CB
STORM DRAIN MANHOLE	⊕	⊕
SANITARY SEWER MANHOLE	⊕	⊕
WATER VALVE	⊕	⊕
OVERHEAD UTILITY WIRES	OHW	OHW
DECIDUOUS TREE	○	○
RETAINING WALL	---	---
STORMDRAIN PIPE	---	---
RIGID INSULATION	---	
SEWER MAIN	ES	SS
WATER MAIN	EW	W
GAS MAIN	EG	G
UNDERGROUND ELECTRIC	UE	E
UNDERGROUND UTILITIES	---	---
CONTOUR	---	---
SPOT GRADES	+72.00	+67.00
SILT FENCE	---	---
SEDIMENT CONTROL DEVICE	---	---

Prepared For:
 Applicant:
**Children's Hospital
 Housing Partners LP**
 308 Cumberland Avenue
 Suite 203
 Portland, Maine 04101

Prepared By:
MITCHELL & ASSOCIATES
 Landscape Architects
 The Staples School
 70 Center Street
 Portland, Maine 04101
 Tel: (207) 774-4427

Children's Hospital Apartments
 Portland, Maine
 66-68 High Street

Date:
 NOVEMBER 1, 2010

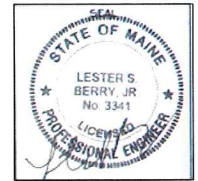
Issued For:
 PRELIMINARY SITE PLAN &
 SUBDIVISION PLAN REVIEW

Revisions:

Scale: 1"=20'

North

Sheet No:
9



CWS
Architects
 Architecture
 Space Planning
 Value Design
 434 Cumberland Avenue
 Portland, ME 04101
 Phone: (207)774-4441
 Fax: (207)774-4016
 www.CWSarch.com

Owner:
**CHOM Children's
 Hospital Housing
 Partners, LP**
 309 Cumberland Ave.
 Suite 203
 Portland, Maine 04101

**Children's Hospital
 Apartments**
 Portland, Maine

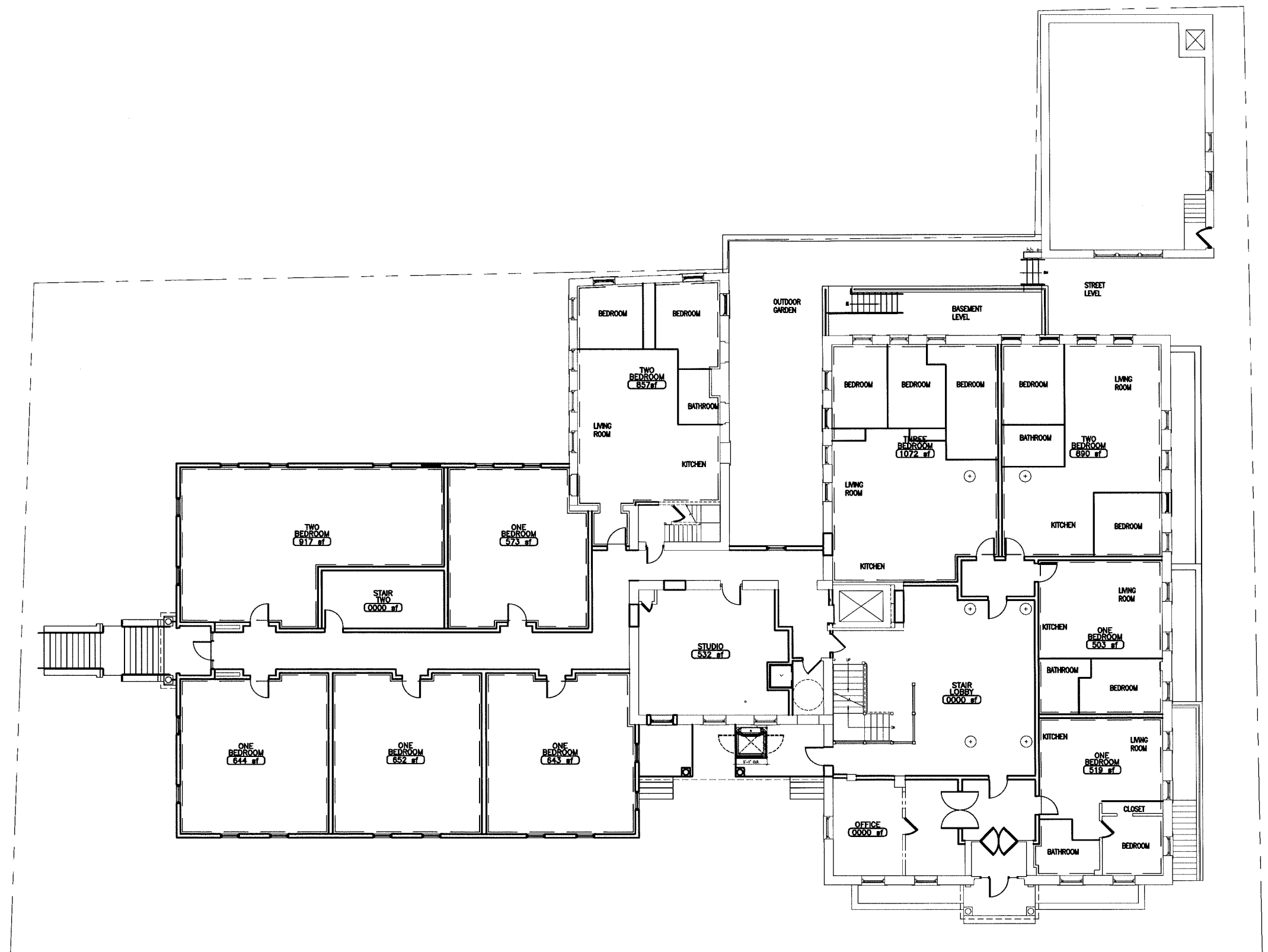
Project No: 09428

Drawing Title:
FIRST FLOOR

Scale: AS NOTED
Date: NOVEMBER 1, 2010

- Revisions:
- △ CITY SUBMISSION 11-1-10
 - △
 - △
 - △
 - △

Drawing Number:
A1.1





**CWS
Architects**

Architecture
 Space Planning
 Value Design

434 Cumberland Avenue
Portland, ME 04101
Phone: (207)774-4441
Fax: (207)774-4016

www.CWSarch.com

Owners:
**CHOM Children's
Hospital Housing
Partners, LP**
309 Cumberland Ave.
Suite 203
Portland, Maine 04101

Client:

**Children's Hospital
Apartments**

Portland, Maine

Project No: 09428

Drawing Title:

SECOND FLOOR

Scale: AS NOTED

Date: NOVEMBER 1, 2010

Revisions:

▲ CITY SUBMISSION 11-1-10

▲

▲

▲

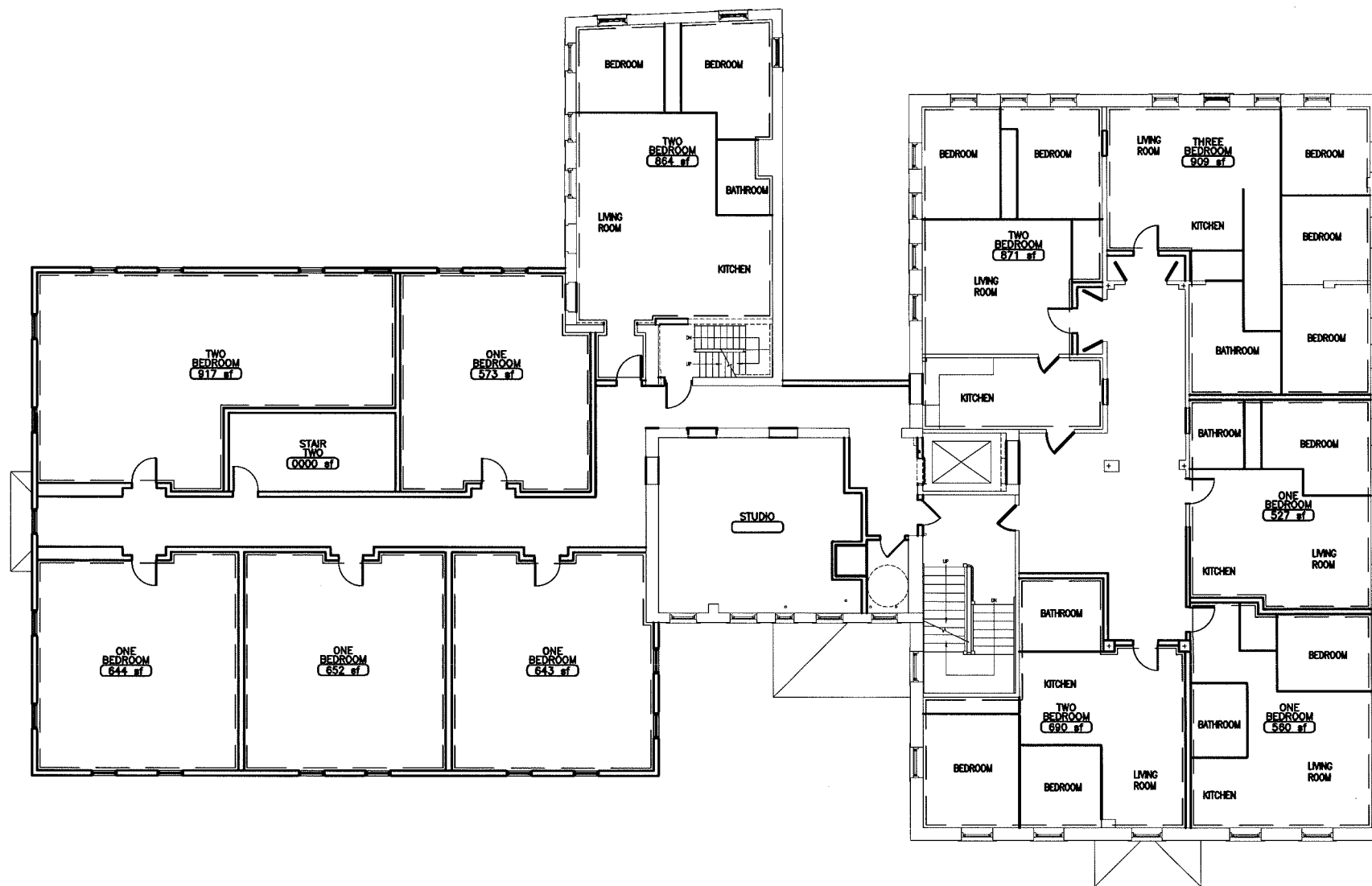
▲

▲

▲

Drawing Number:

A1.2





CWS
Architects

Architecture
Space P

ME 04101
Phone: (207)774-4441
Fax: (207)774-4016
www.CWSarch.com

Owner:
CHOM Children's Hospital Housing Partners, LP
309 Cumberland Ave. Suite 203
Portland, Maine 04101

Client:

Children's Hospital Apartments

Portland, Maine

Project No: 09428

Drawing Title:
THIRD FLOOR

Scale: AS NOTED

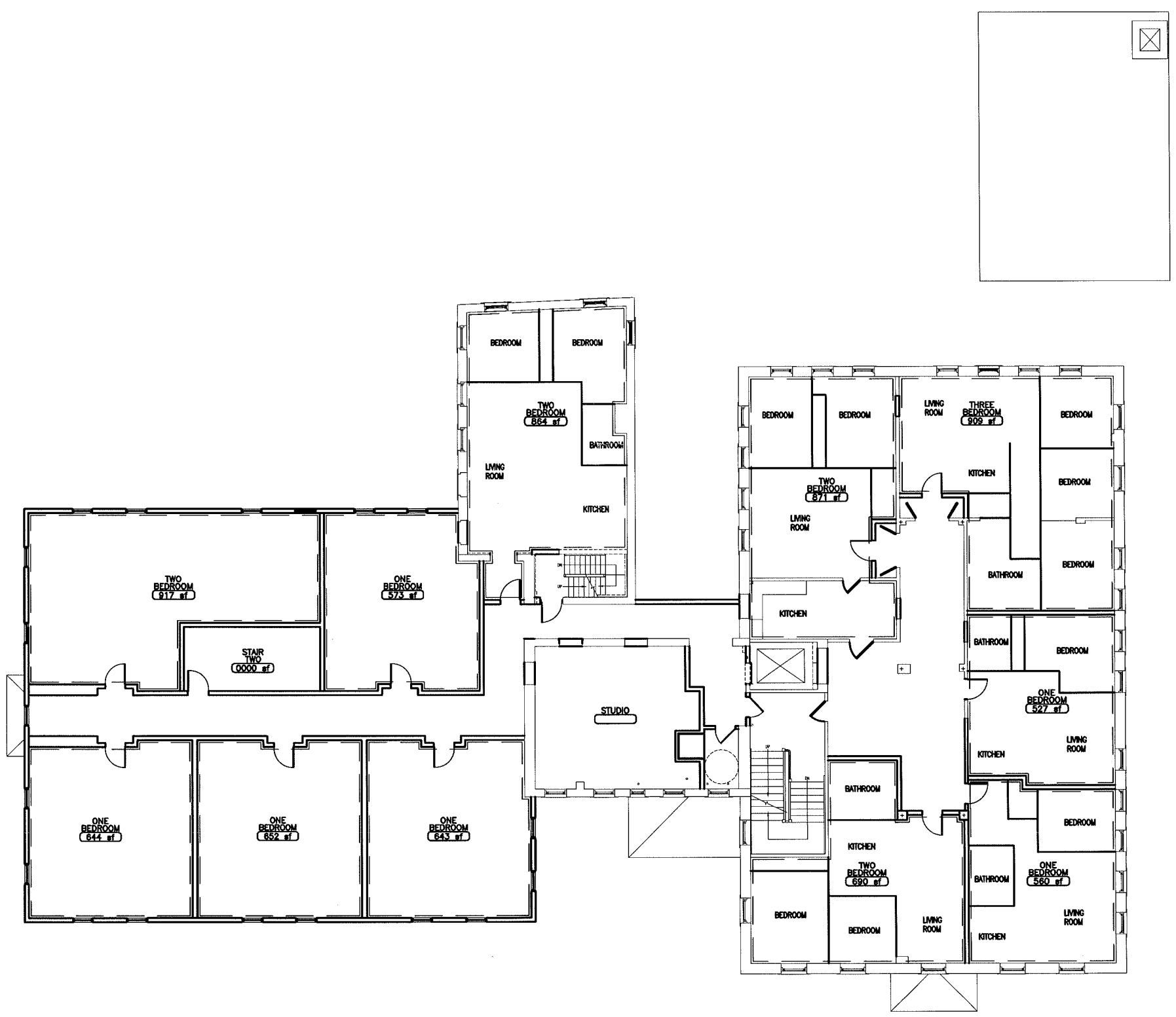
Date: NOVEMBER 1, 2010

Revisions:

- △ CITY SUBMISSION 11-1-10
- △
- △
- △
- △
- △

Drawing Number:

A1.3



CWS
CWS Architects
 Architecture
 Space Planning
 Value Design
 434 Cumberland Avenue
 Portland, ME 04101
 Phone: (207)774-4441
 Fax: (207)774-4016
 www.CWSarch.com

Owner:
CHOM Children's Hospital Housing Partners, LP
 309 Cumberland Ave.
 Suite 203
 Portland, Maine 04101

Client:

Children's Hospital Apartments
 Portland, Maine

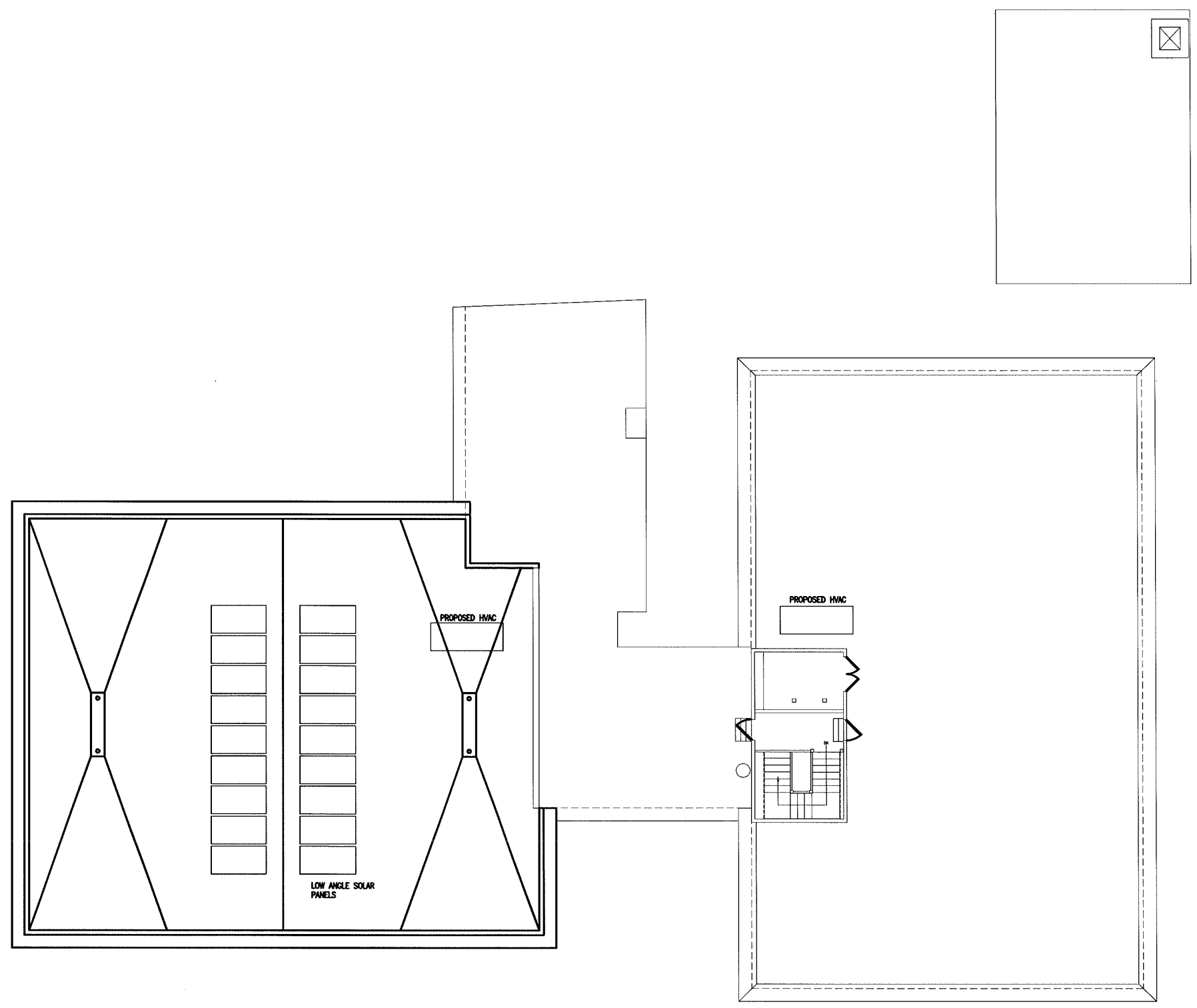
Project No: 09428

Drawing Title:
FOURTH FLOOR

Scale: AS NOTED
 Date: NOVEMBER 1, 2010

- Revisions:
- △ CITY SUBMISSION 11-1-10
 - △
 - △
 - △
 - △
 - △

Drawing Number:
A1.4



CWS
Architects
 Architecture
 Space Planning
 Value Design
 434 Cumberland Avenue
 Portland, ME 04101
 Phone: (207)774-4441
 Fax: (207)774-4816
 www.CWSarch.com

Owner:
CHOM Children's Hospital Housing Partners, LP
 309 Cumberland Ave.
 Suite 203
 Portland, Maine 04101

Client:

Children's Hospital Apartments
 Portland, Maine

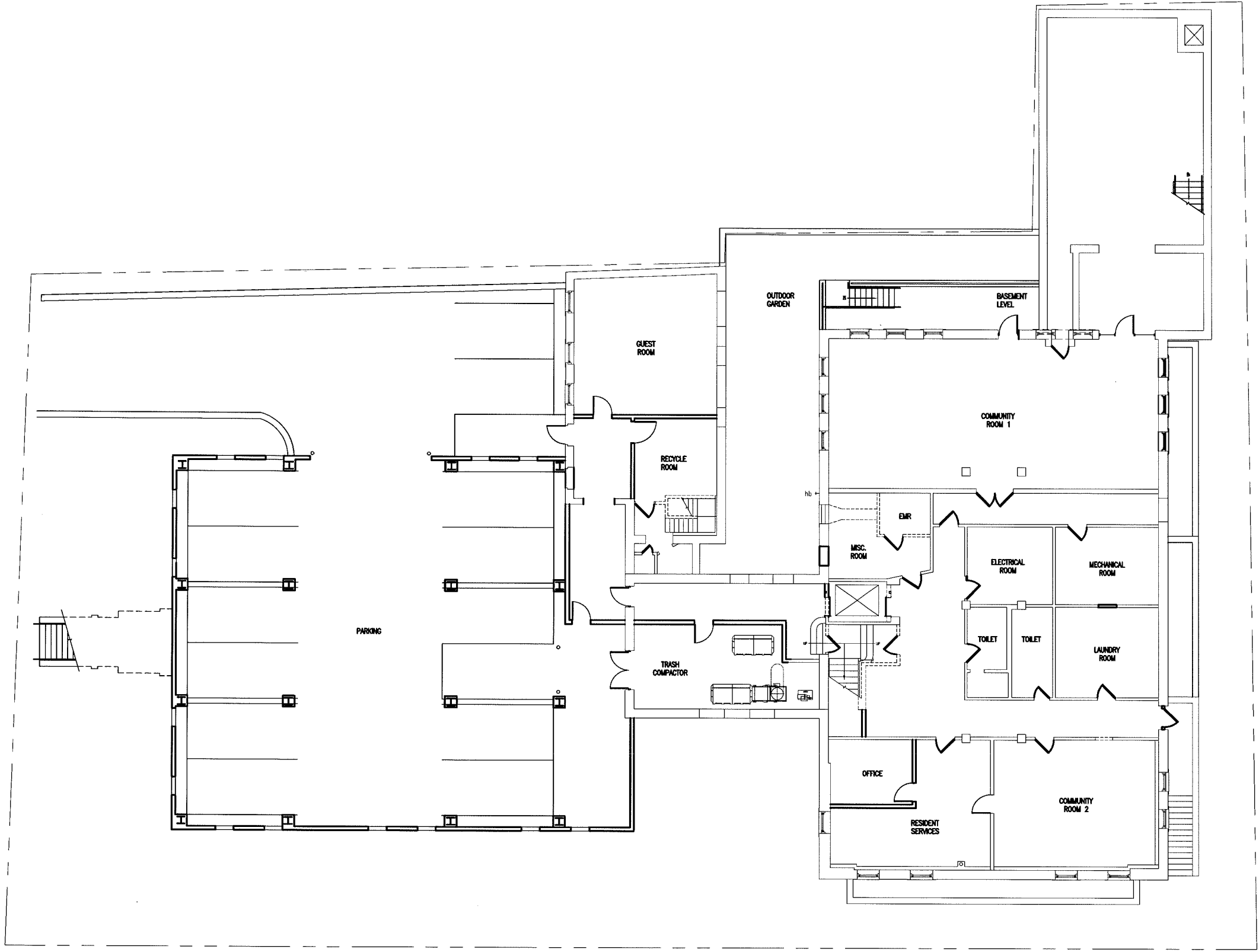
Project No. 09428

Drawing Title:
BASEMENT

Scale: AS NOTED
 Date: NOVEMBER 1, 2010

- Revisions:
- △ CITY SUBMISSION 11-1-10
 - △
 - △
 - △
 - △

Drawing Number:
A1.0



A-2.14



CWS Architects

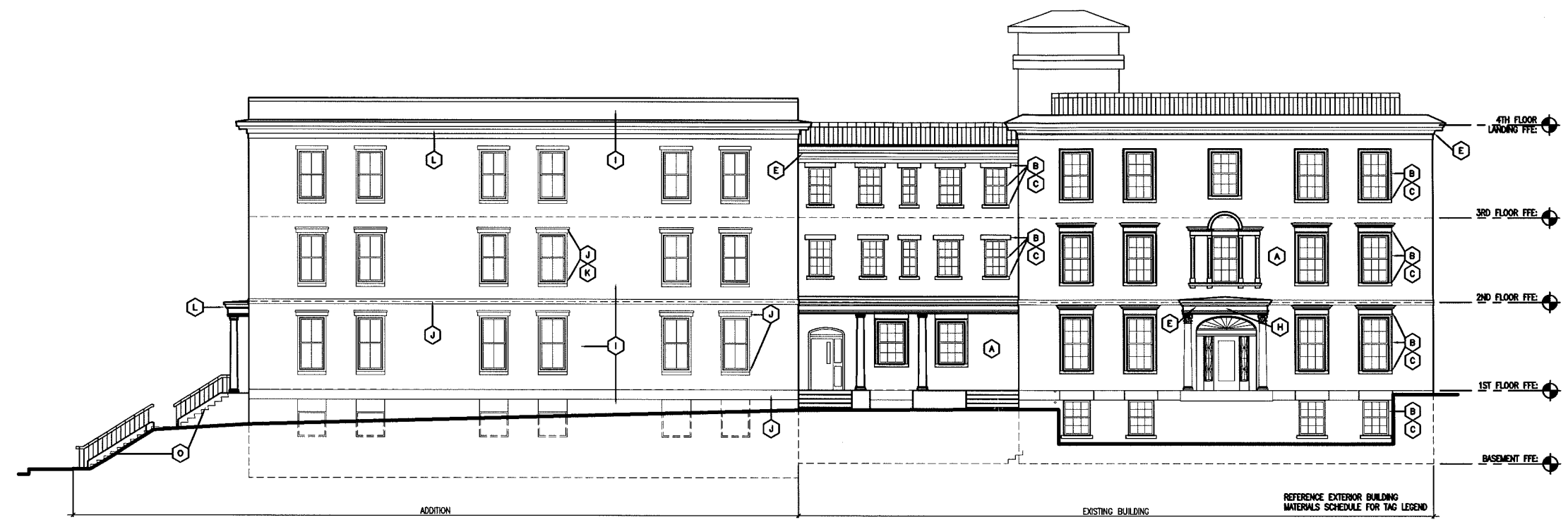
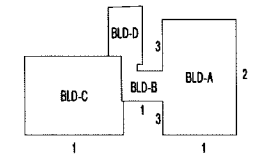
Architecture
Space Planning
Value Design

434 Cumberland Avenue
Portland, ME 04103
Phone: (207)774-4443
Fax: (207)774-4018

www.CWSarch.com

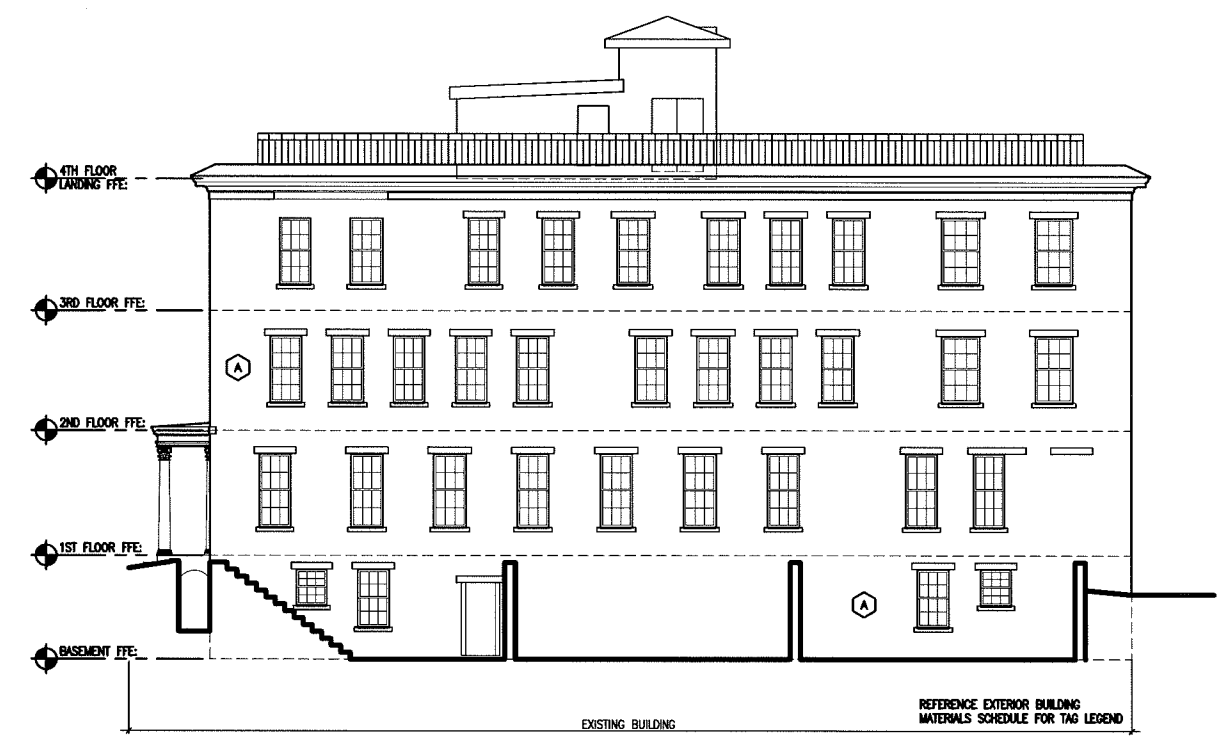
Owner:
CHOM Children's Hospital Housing Partners, LP
309 Cumberland Ave.
Suite 203
Portland, Maine 04101

Client:



1 HIGH STREET ELEVATION

SCALE: 1/8"=1'-0"



2 WEST ELEVATION

SCALE: 1/8"=1'-0"



3 DANFORTH STREET ELEVATION - SECTION

SCALE: 1/8"=1'-0"

Children's Hospital Apartments

Portland, Maine

Project No: 09428

Drawing Title:
ELEVATIONS

Scale: AS NOTED
Date: NOVEMBER 1, 2010

Revisions:
CITY SUBMISSION 11-1-10

- ▲
- ▲
- ▲
- ▲
- ▲
- ▲

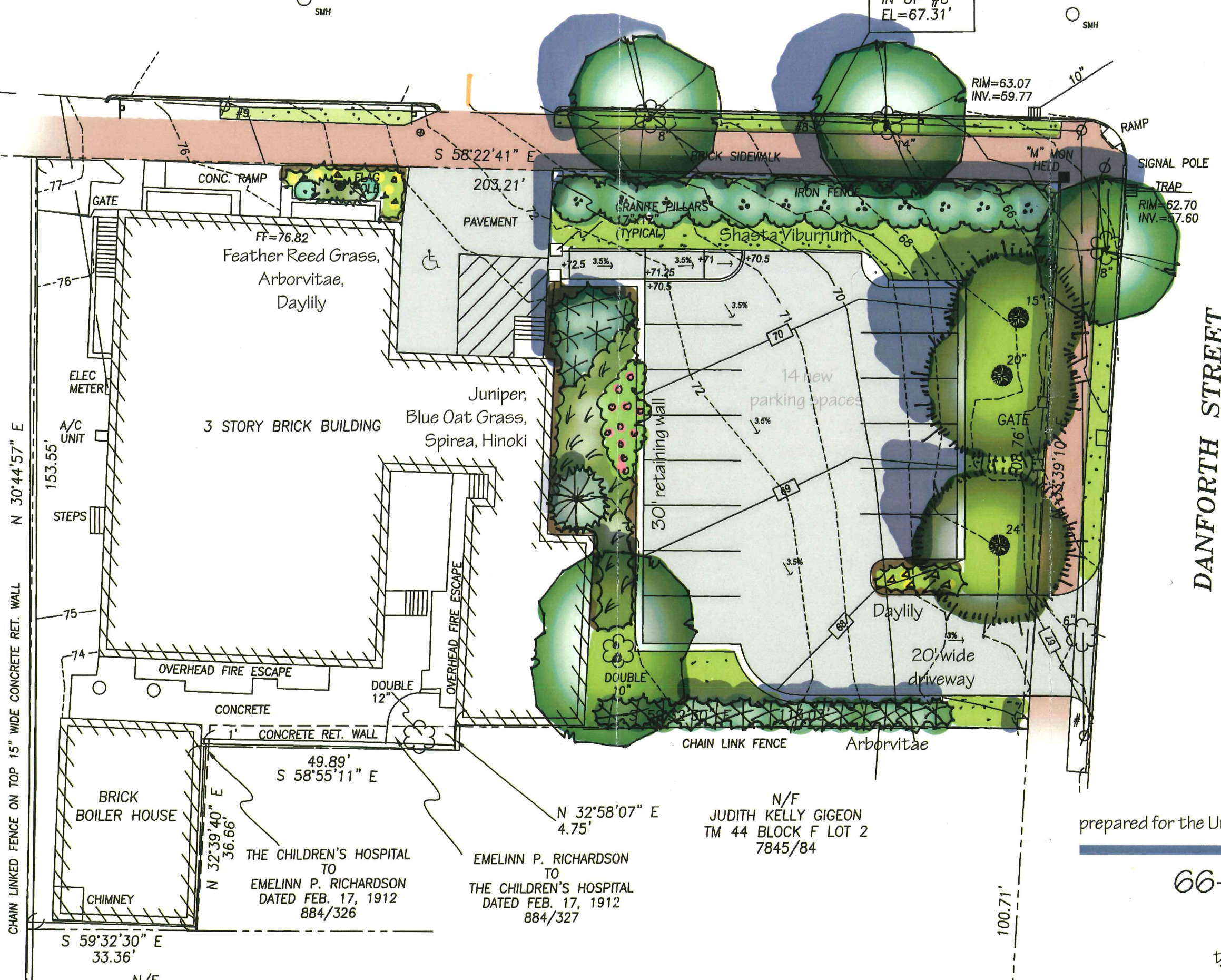
Drawing Number:

A3.0



HIGH STREET

TBM
PK NAIL SET
IN UP #8
EL=67.31'



CHAIN LINKED FENCE ON TOP 15" WIDE CONCRETE RET. WALL N 30°44'57" E

BRICK BOILER HOUSE
CHIMNEY

THE CHILDREN'S HOSPITAL TO EMELINN P. RICHARDSON DATED FEB. 17, 1912 884/326

EMELINN P. RICHARDSON TO THE CHILDREN'S HOSPITAL DATED FEB. 17, 1912 884/327

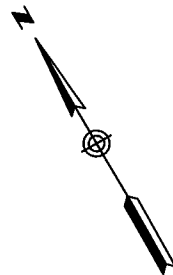
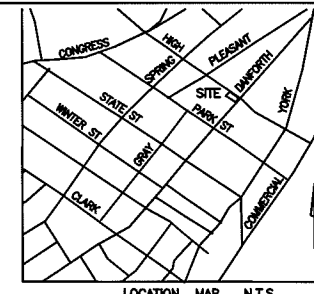
N/F JUDITH KELLY GIGEON TM 44 BLOCK F LOT 2 7845/84

DANFORTH STREET

Proposed Parking Lot Plan prepared for the University of Southern Maine

66-68 High Street
Portland, Maine

tjd&a scale: 1"=20' 5.18.07

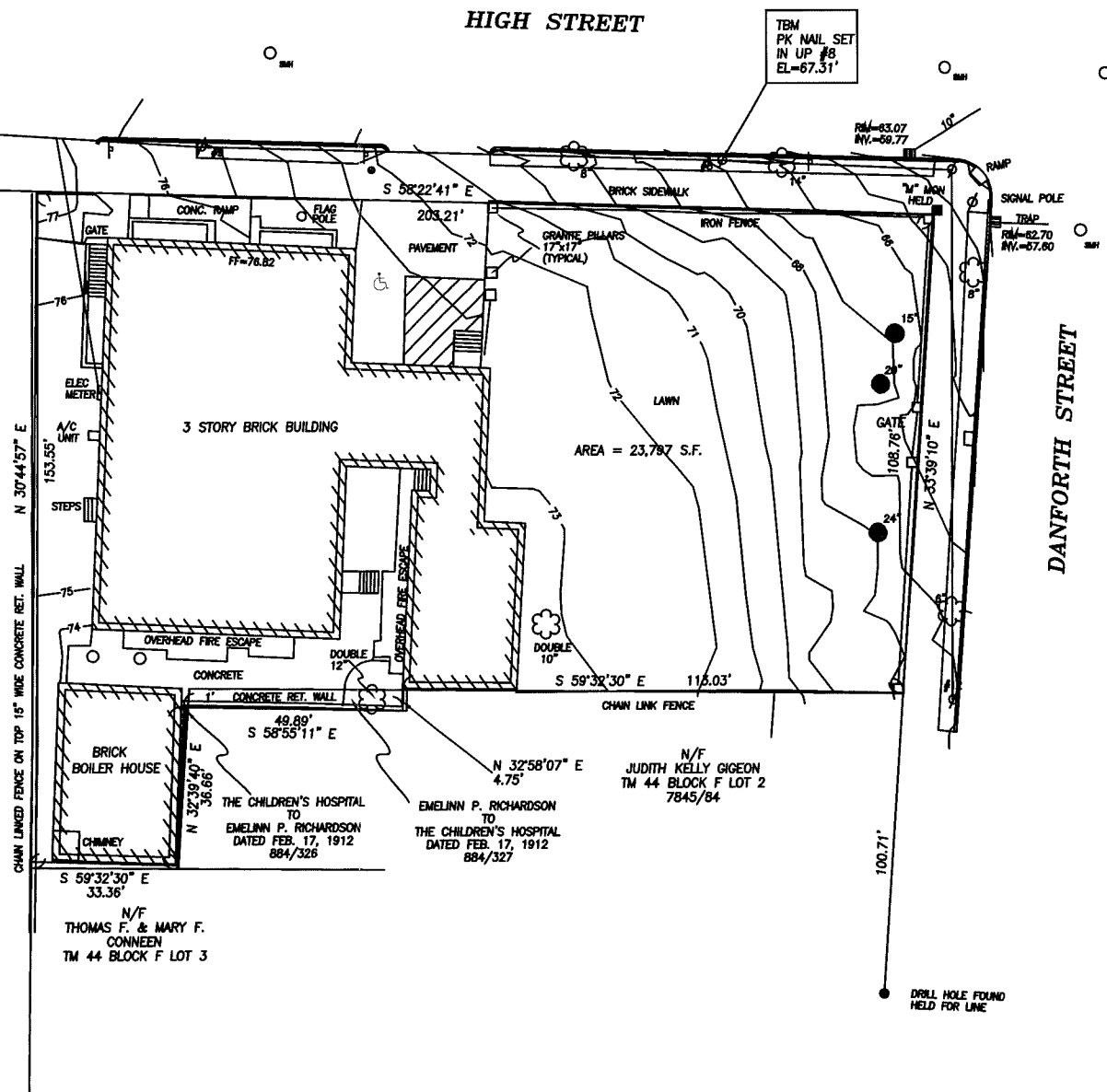


PLEASANT STREET

HIGH STREET

DANFORTH STREET

N/F
TOWN FARM
TOWN HOUSE CONDOMINIUM
TM 44 BLOCK F LOT 5



LEGEND:

- DRILL HOLE
- GRANITE MONUMENT
- WATER VALVE
- UTILITY POLE
- MANHOLE
- CATCH BASIN
- ⊥ SIGN
- DECIDUOUS TREE
- CONIFEROUS TREE
- FENCE
- CURB
- OHP OVERHEAD POWER
- 1' CONTOUR

PLAN REFERENCES:

1. "CONDOMINIUM PLAT, OLIVER B. DORRANCE HOUSE, 99-101 DANFORTH ST., PORTLAND, MAINE, MADE FOR 99-101 DANFORTH ST. ASSOCIATES." DATED AUG 06, 2001 AND RECORDED IN PLAN BOOK 16808 PAGES 325, 326.
2. SECOND AMENDED SURVEY, THE CARROLL MANSION A CONDOMINIUM, 77 PARK STREET, PORTLAND, MAINE DATED 6-20-84 (REVISED 3-20-85) AND RECORDED IN REGISTRY OF DEEDS PLAN BOOK 146 PAGE 60.
3. PLAN OF TOWN FARM TOWNHOUSE CONDOMINIUM, HIGH & PLEASANT ST., PORTLAND, MAINE MADE FOR PLEASANT STREET DEVELOPMENT ASSOCIATES DATED 8-2-84 AND RECORDED IN REGISTRY OF DEEDS PLAN BOOK 145 PAGE 46.

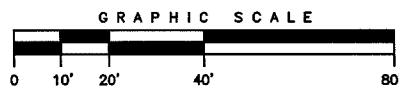
NOTES

1. OWNER OF RECORD: UNIVERSITY OF MAINE TM 44 BLOCK F LOT 1 9983/183
2. BEARING ORIENTATION IS BASED UPON PLAN REFERENCE 1.
3. ELEVATIONS HEREON ARE BASED ON CITY OF PORTLAND DATUM. BENCHMARK IS THE TOP OF A GRANITE MONUMENT AT SOUTHWEST CORNER OF DANFORTH AND PARK STREET ELEVATION 75.95'.

CERTIFICATION:

OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE.

DATE _____ JOHN W. SWAN, PLS NO. 1038



BOUNDARY AND TOPOGRAPHIC SURVEY

AT
87-93 DANFORTH ST., 56-70 HIGH ST.,
PORTLAND, MAINE

MADE FOR
USM FACILITIES MANAGEMENT
96 FALMOUTH ST., P.O. BOX 9300, PORTLAND, MAINE

OWEN HASKELL, INC.
16 CASCO ST., PORTLAND, ME 04101 (207) 774-0484
PROFESSIONAL LAND SURVEYORS

Drwn By	RRL	Date	JANUARY 02, 2007	Job No.	2006-255 P
Trace By	RWC	Scale	1" = 20'	Drwg. No.	1
Check By	JWS				
Book No.	1045				



PK NAIL SET
IN UP #8
EL=67.31'

RIM=63.07
INV.=59.77

SIGNAL POLE
TRAP
RIM=62.70
INV.=57.60

DANFORTH STREET

CHAIN LINKED FENCE ON TOP 15" WIDE CONCRETE RET. WALL N 30°44'57" E

CONC. RAMP
GATE
FF=76.82

S 58°22'41" E
203.21'
PAVEMENT

GRANITE PILLARS
17"x17"
(TYPICAL)

IRON FENCE

ELEC METER

A/C UNIT

3 STORY BRICK

STEPS

75

74

OVERHEAD FIRE ESCAPE

DOUBLE
12"

OVERHEAD FIRE ESCAPE

CONCRETE
CONCRETE RET. WALL

49.89'
S 58°55'11" E

BRICK
BOILER HOUSE

CHIMNEY

N 32°39'40" E
36.66'
THE CHILDREN'S HOSPITAL
TO
EMELINN P. RICHARDSON
DATED FEB. 17, 1912
884/326

N 32°58'07" E
4.75'
EMELINN P. RICHARDSON
TO
THE CHILDREN'S HOSPITAL
DATED FEB. 17, 1912
884/327

N/F
JUDITH KELLY GIGEON
TM 44 BLOCK F LOT 2
7845/84

S 59°32'30" E
33.36'

N/F
THOMAS F. & MARY F.
CONNEN
TM 44 BLOCK F LOT 3

S 59°32'30" E
113.03'

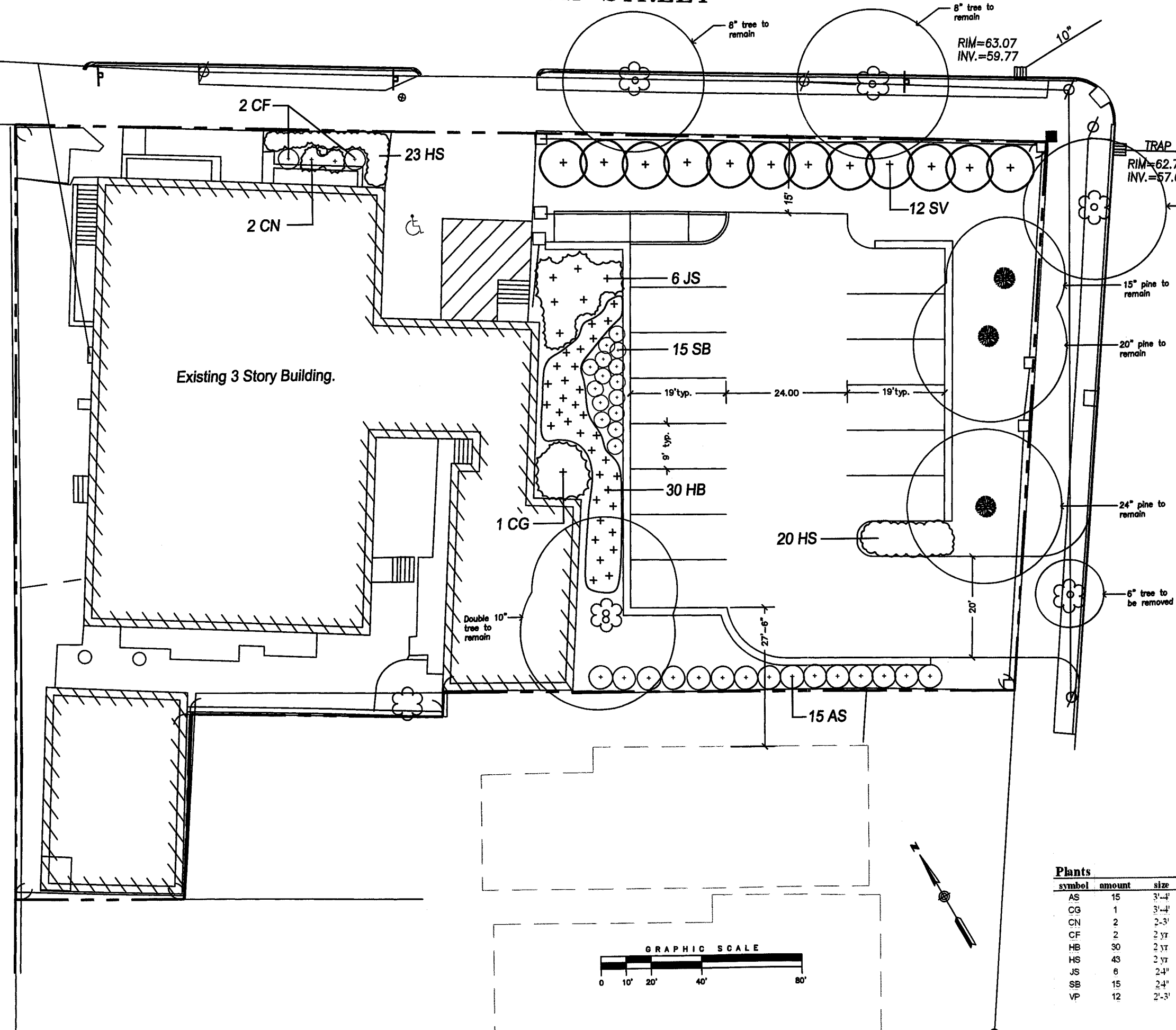
CHAIN LINK FENCE

GATE
108.76'

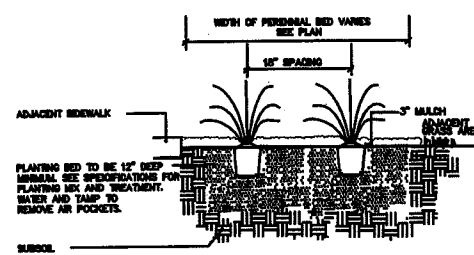
N 33°39'10" E



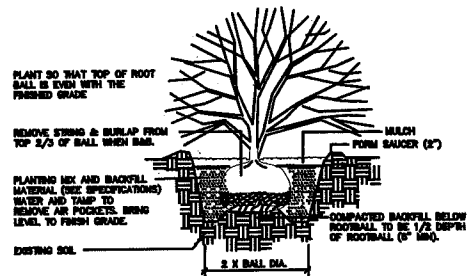
HIGH STREET



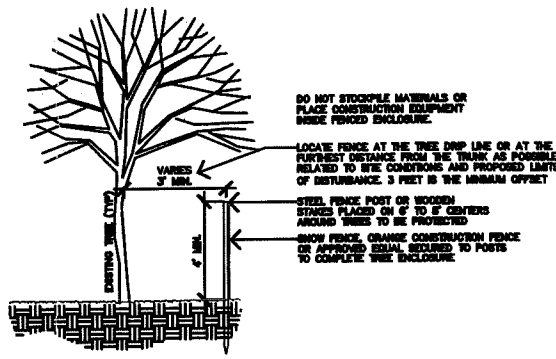
DANFORTH STREET



PERENNIAL PLANTING
NOT TO SCALE



SHRUB PLANTING
NOT TO SCALE



TREE PROTECTION FENCE
NOT TO SCALE

Proposed Planting List

Plants symbol	amount	size	botanical name	common name
AS	15	3'-4'	Arboretum occidentale 'Smaragd'	Emerald Green Arborvitae
CG	1	3'-4'	Chamaecyparis obtusa 'Gracilis'	Hinoki Falsecypress
CN	2	2-3'	Chamaecyparis obtusa 'Nana Gracilis'	Dwarf Hinoki Falsecypress
CF	2	2 yr	Calamagrostis 'Karl Foerster'	Feather Reed Grass
HB	30	2 yr	Helictotrichon sempervirens 'Sapphire'	Blue Oat Grass
HS	43	2 yr	Hemerocallis species	Daylily
JS	6	2-4"	Juniperus chinensis 'Sea Green'	Sea Green Juniper
SB	15	2-4"	Spirea bumalda 'Anthony Waterer'	Anthony Waterer Spirea
VP	12	2'-3'	Viburnum plicatum 'Shasta'	Shasta Viburnum

Design: SM
Drawn: KS
Checked: SM
Job No: SM
Scale: 1" = 20'
Date: 6-1-07

Revision
Date
Issued for
Date
By

Rev.

Planning Board Review
6-15-07
KS

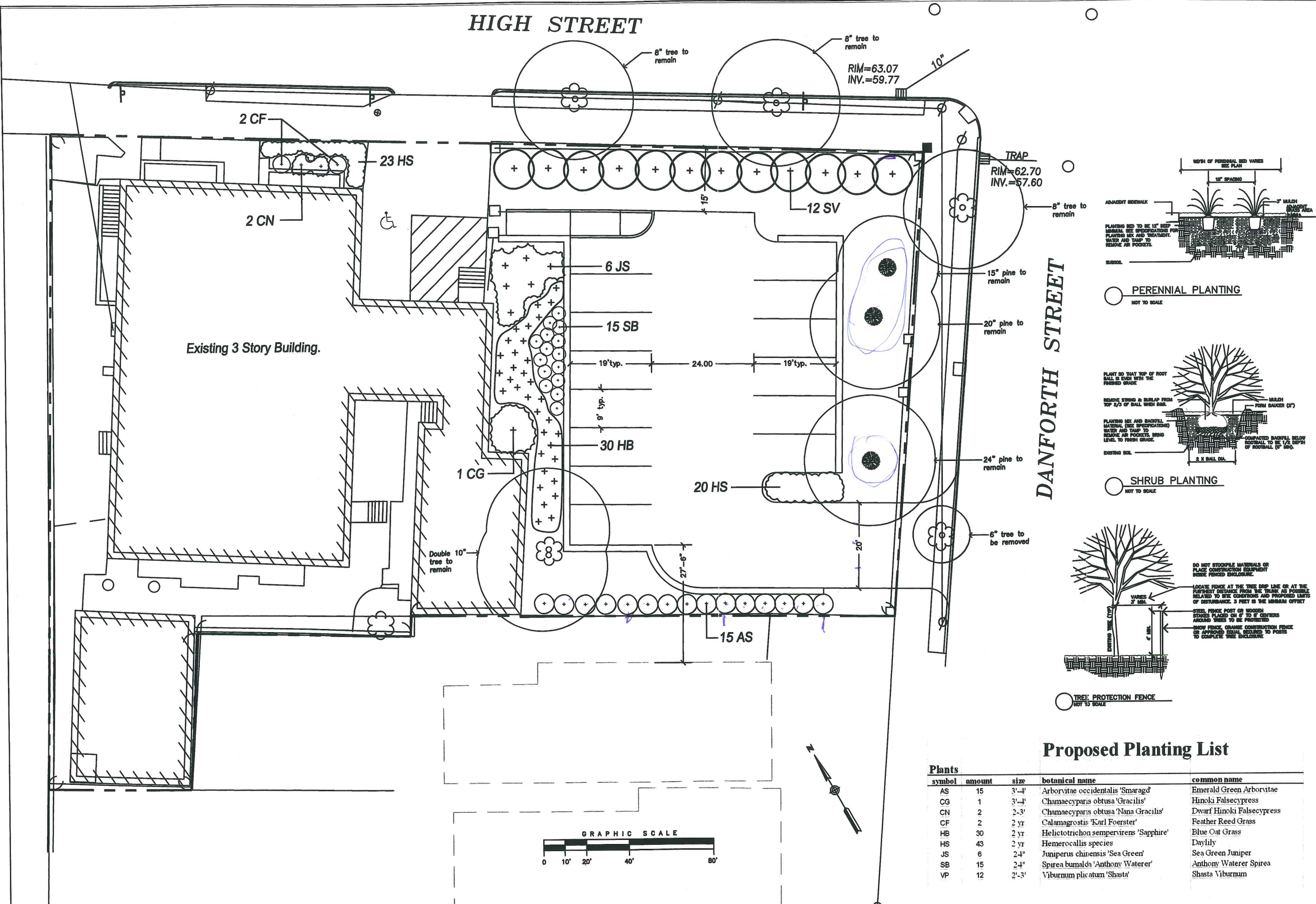
Terrence J. DeWitt & Associates
Landscape Architects & Planners
125 West Main Street, Portland, ME 04101
Telephone: 207.646.4577 Fax: 207.646.0778
E-Mail: tjdwitt@tjdand.com

Drawing Name: **Landscape / Layout Plan**

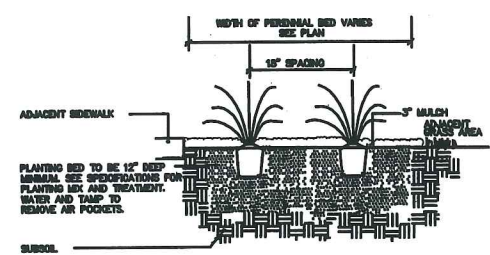
Project: **Proposed Parking Lot
University of Southern Maine
66-68 High Street
Portland, Maine**

Sheet: **L-2**

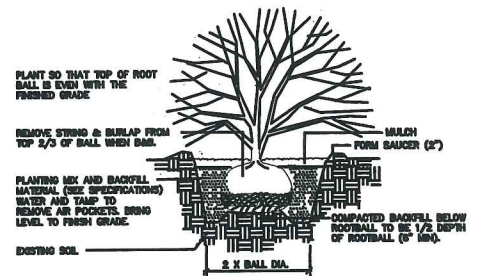
HIGH STREET



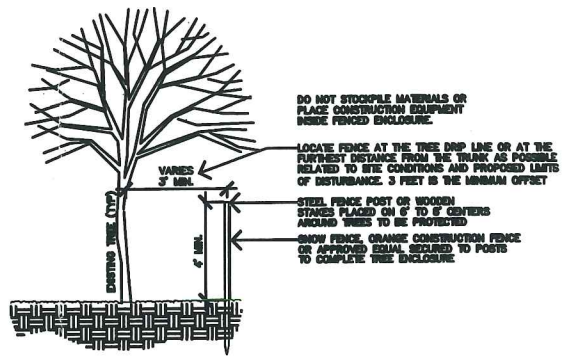
DANFORTH STREET



PERENNIAL PLANTING
NOT TO SCALE



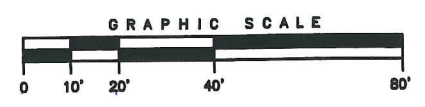
SHRUB PLANTING
NOT TO SCALE



TREE PROTECTION FENCE
NOT TO SCALE

Proposed Planting List

Plants	symbol	amount	size	botanical name	common name
	AS	15	3'-4"	Arborvitae occidentalis 'Smaragd'	Emerald Green Arborvitae
	CG	1	3'-4"	Chamaecyparis obtusa 'Gracilis'	Hinoki Falsecypress
	CN	2	2-3'	Chamaecyparis obtusa 'Nana Gracilis'	Dwarf Hinoki Falsecypress
	CF	2	2 yr	Calamagrostis 'Karl Foerster'	Feather Reed Grass
	HB	30	2 yr	Helictotrichon sempervirens 'Sapphire'	Blue Oat Grass
	HS	43	2 yr	Hemerocallis species	Daylily
	JS	6	2-4"	Juniperus chinensis 'Sea Green'	Sea Green Juniper
	SB	15	2-4"	Spirea bumalda 'Anthony Waterer'	Anthony Waterer Spirea
	VP	12	2'-3'	Viburnum plicatum 'Shasta'	Shasta Viburnum

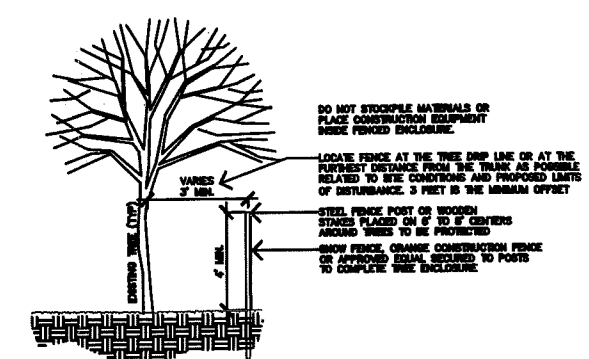
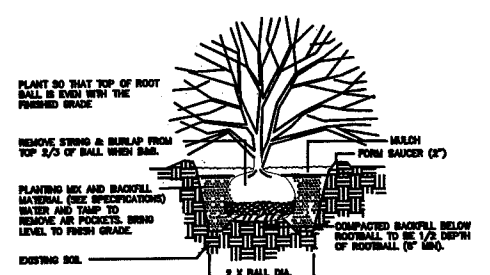
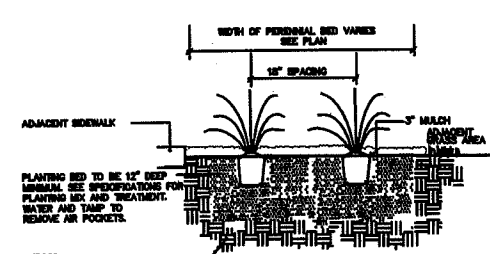
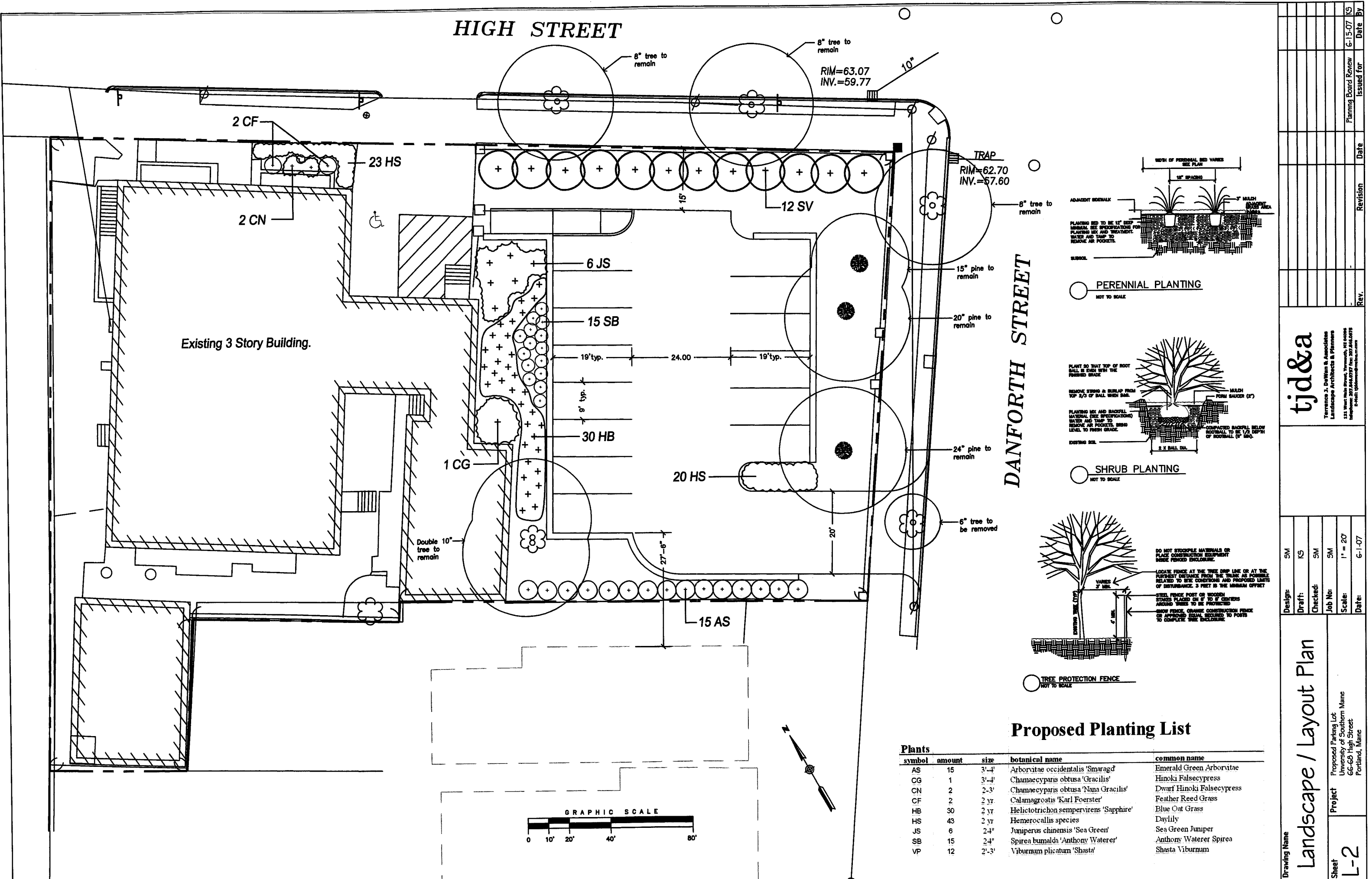


Drawing Name	Landscape / Layout Plan				
	Sheet	L-2	Project	Proposed Parking Lot University of Southern Maine 66-68 High Street Portland, Maine	
Design:	SM	Draft:	KS	Checked:	SM
Job No:	SM	Scale:	1" = 20'	Date:	6-1-07
Revision	Date	Issued for	Planning Board Review	6-15-07	KS
Rev.					

tid&a

Terrence J. DeWan & Associates
Landscape Architects & Planners
221 West Main Street, Portland, ME 04101
Tel: 603.771.1111 Fax: 603.771.1112
E-Mail: tjd@tidandaw.com

HIGH STREET



DANFORTH STREET

Existing 3 Story Building.

Proposed Planting List

Plants	symbol	amount	size	botanical name	common name
AS	15	3'-4'	Arborvitae occidentalis 'Smaragd'	Emerald Green Arborvitae	
CG	1	3'-4'	Chamaecyparis obtusa 'Gracilis'	Hinoki Falsecypress	
CN	2	2-3'	Chamaecyparis obtusa 'Nana Gracilis'	Dwarf Hinoki Falsecypress	
CF	2	2 yr.	Calamagrostis 'Karl Foerster'	Feather Reed Grass	
HB	30	2 yr.	Helictotrichon sempervirens 'Sapphire'	Blue Oat Grass	
HS	43	2 yr.	Hemerocallis species	Daylily	
JS	6	2-4"	Juniper chinensis 'Sea Green'	Sea Green Juniper	
SB	15	2-4"	Spirea bumalda 'Anthony Waterer'	Anthony Waterer Spirea	
VP	12	2'-3'	Viburnum plicatum 'Shasta'	Shasta Viburnum	

tjd&a
Terrence J. DeWan & Associates
Landscape Architects & Planners
121 West Main Street, Portland, ME 04101
Phone: 207.646.6737 Fax: 207.646.0976
E-mail: tjde@tjdandaw.com

Project: University of Southern Maine
66-68 High Street
Portland, Maine

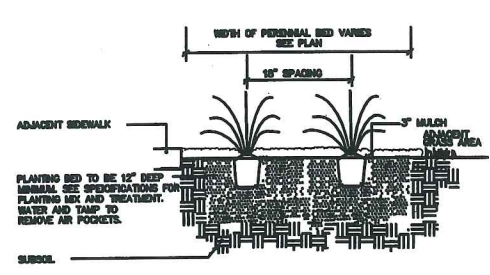
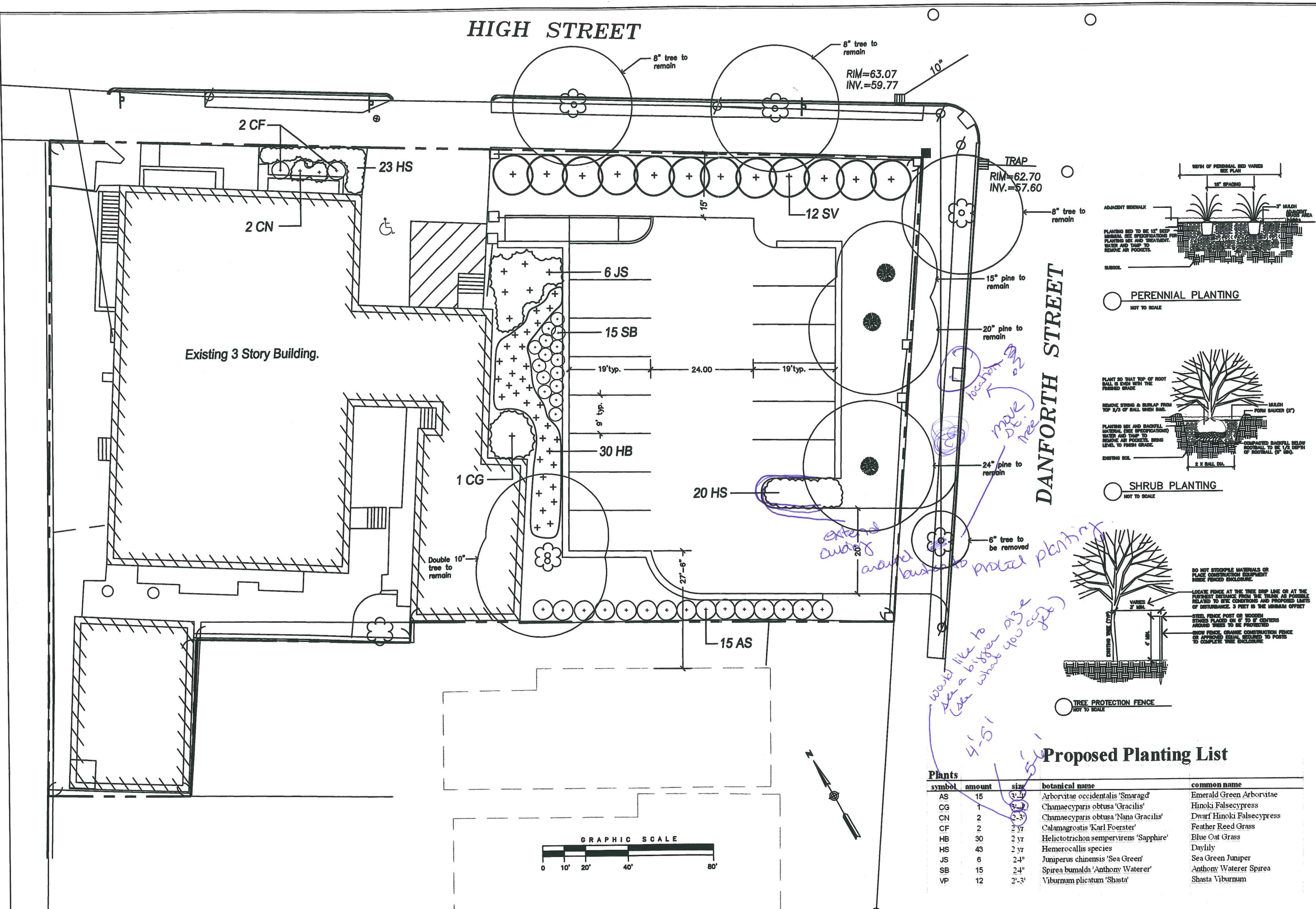
Sheet: L-2

Drawing Name: Landscape / Layout Plan

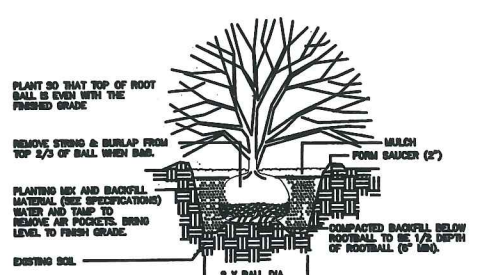
Design: SM
Draft: KS
Checked: SM
Job No: SM
Scale: 1" = 20'
Date: 6-1-07

Rev.	Date	Revision
1	6-15-07	KS Planning Board Review
2		Issued for

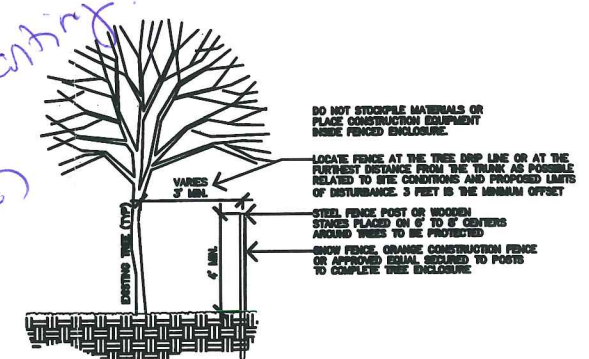
HIGH STREET



PERENNIAL PLANTING
NOT TO SCALE



SHRUB PLANTING
NOT TO SCALE



TREE PROTECTION FENCE
NOT TO SCALE

DANFORTH STREET

would like to see a bigger size (aka what you call) 4'-5'

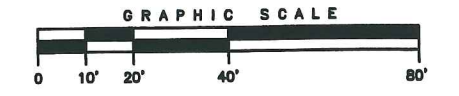
extend out to protect planting

move tree

location

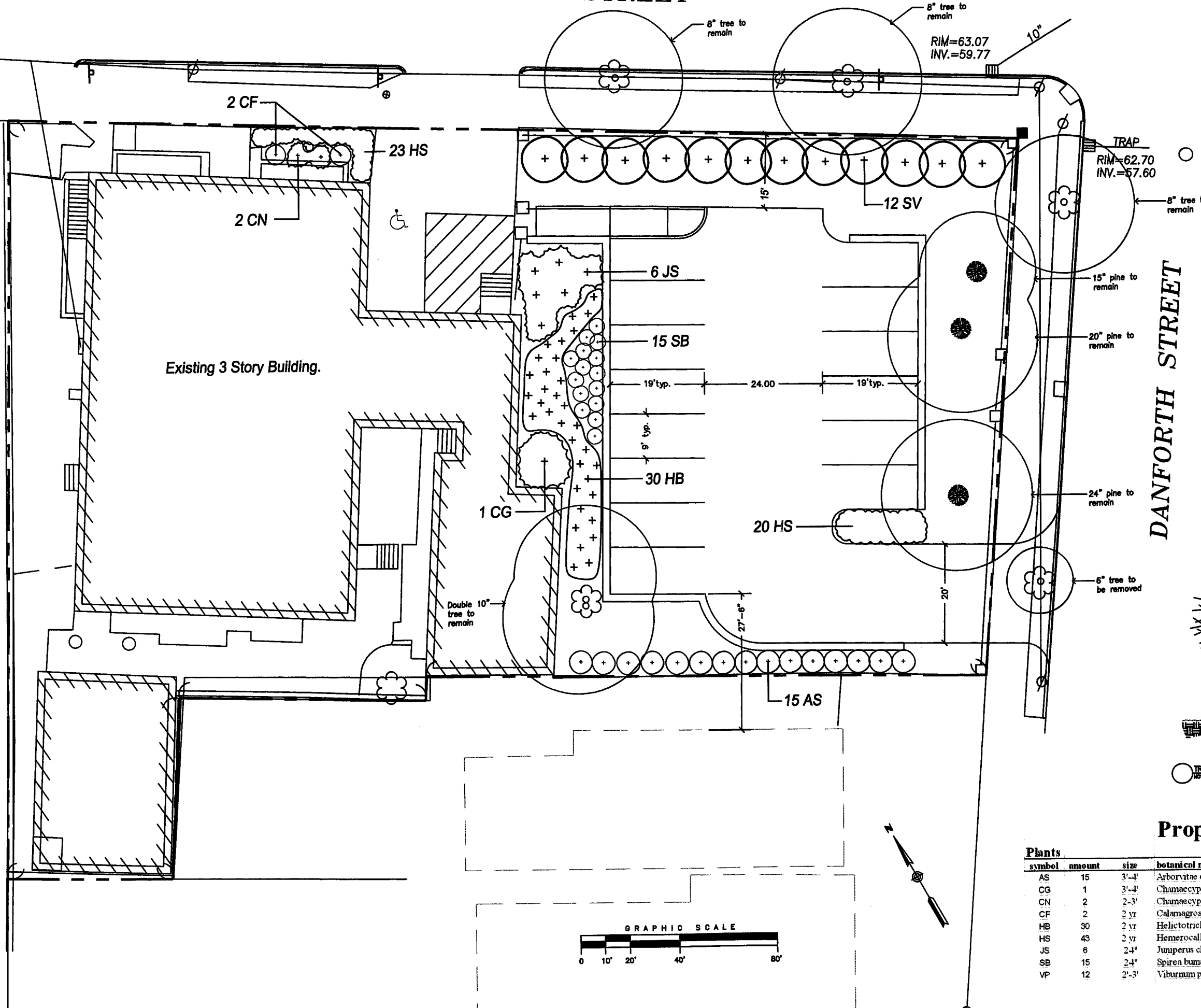
Proposed Planting List

Plants	symbol	amount	size	botanical name	common name
	AS	15	3'-4'	Arboretum occidentalis 'Smaragd'	Emerald Green Arborvitae
	CG	1	3'-4'	Chamaecyparis obtusa 'Gracilis'	Hinoki Falsecypress
	CN	2	2'-3'	Chamaecyparis obtusa 'Nana Gracilis'	Dwarf Hinoki Falsecypress
	CF	2	2 yr	Calamagrostis 'Karl Foerster'	Feather Reed Grass
	HB	30	2 yr	Helictotrichon sempervirens 'Sapphire'	Blue Oat Grass
	HS	43	2 yr	Hemerocallis species	Daylily
	JS	6	2'-4"	Juniperus chinensis 'Sea Green'	Sea Green Juniper
	SB	15	2'-4"	Spirea bumalda 'Anthony Waterer'	Anthony Waterer Spirea
	VP	12	2'-3'	Viburnum plicatum 'Shasta'	Shasta Viburnum

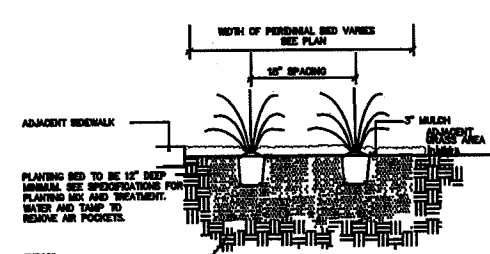


<p>tjd&a</p> <p>Terrence J. DeWan & Associates Landscape Architects & Planners</p> <p>133 New York Street, Portland, ME 04108 Tel: 603.876.8800 Fax: 603.876.8801 E-Mail: tjdw@tjdand.com</p>	Design:	SM	<p>Proposed Parking Lot University of Southern Maine 66-68 High Street Portland, Maine</p>	Planning Board Review	6-15-07	KS
	Draft:	KS		Issued for		
	Checked:	SM		Date		
Job No:	SM	Scale:	1" = 20'	Revision		
Date:	6-1-07			Rev.		
<p>Drawing Name</p> <h1>Landscape / Layout Plan</h1>		<p>Sheet</p> <h1>L-2</h1>				

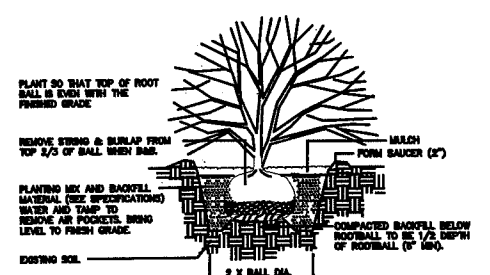
HIGH STREET



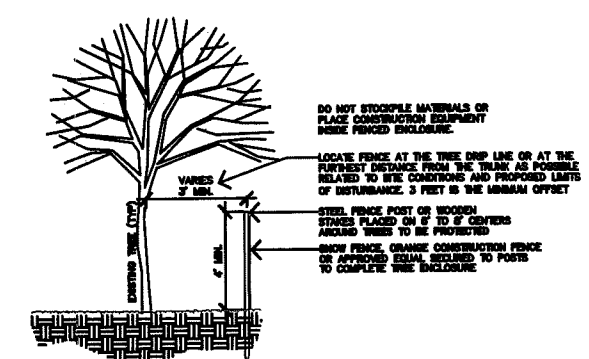
DANFORTH STREET



PERENNIAL PLANTING
NOT TO SCALE



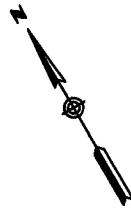
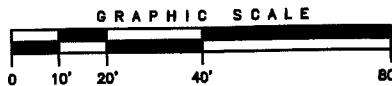
SHRUB PLANTING
NOT TO SCALE



TREE PROTECTION FENCE
NOT TO SCALE

Proposed Planting List

Plants	symbol	amount	size	botanical name	common name
AS	15	3'-4'	Arborvitae occidentalis 'Smaragd'	Emerald Green Arborvitae	
CG	1	3'-4'	Chamaecyparis obtusa 'Gracilis'	Hinoki Falsecypress	
CN	2	2-3'	Chamaecyparis obtusa 'Nana Gracilis'	Dwarf Hinoki Falsecypress	
CF	2	2 yr	Calamagrostis 'Karl Foerster'	Feather Reed Grass	
HB	30	2 yr	Helictotrichon sempervirens 'Sapphire'	Blue Oat Grass	
HS	43	2 yr	Hemerocallis species	Daylily	
JS	6	2-4"	Juniperus chinensis 'Sea Green'	Sea Green Juniper	
SB	15	2-4"	Spirea bumalda 'Anthony Waterer'	Anthony Waterer Spirea	
VP	12	2'-3'	Viburnum plicatum 'Shasta'	Shasta Viburnum	

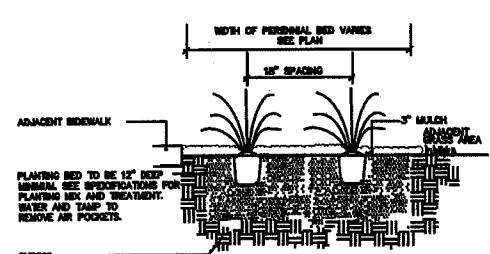
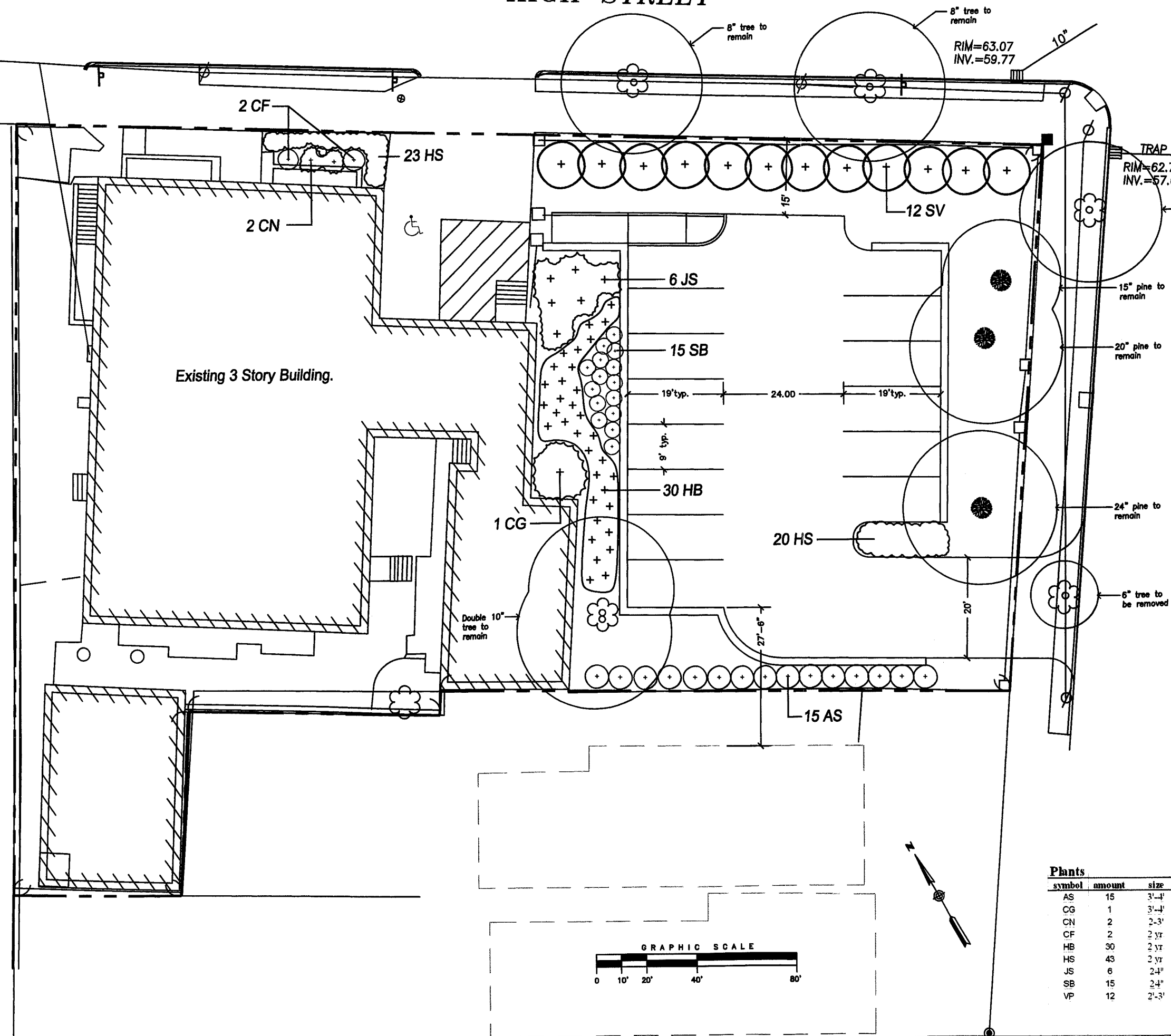


Drawing Name Landscape / Layout Plan	Project Proposed Parking Lot University of Southern Maine 66-68 High Street Portland, Maine	Design: SM	Draft: KS	Checked: SM	Job No: SM	Scale: 1" = 20'	Date: 6-1-07
		Revision	Date	Revision	Date	Revision	Date
		Terrence J. DeWitt & Associates Landscape Architects & Planners 121 West Main Street, Portland, ME 04101 Tel: 603.761.1111 Fax: 603.761.1112 Email: tjd@aol.com					
Sheet L-2							

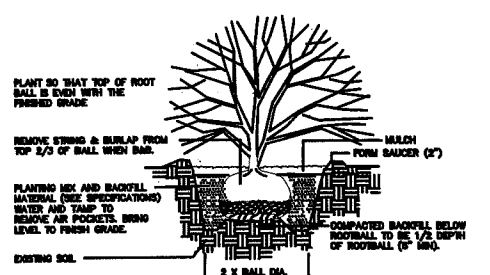
HIGH STREET

DANFORTH STREET

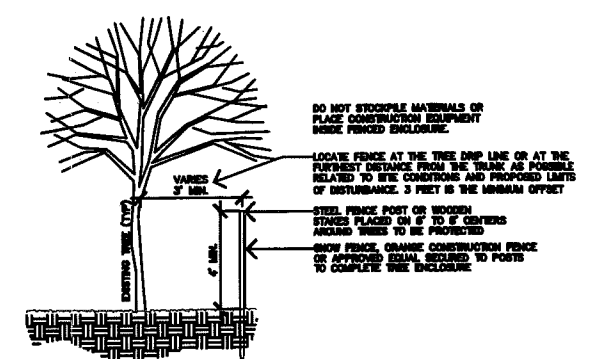
Existing 3 Story Building.



PERENNIAL PLANTING
 NOT TO SCALE



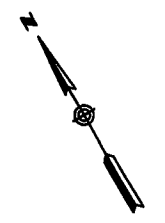
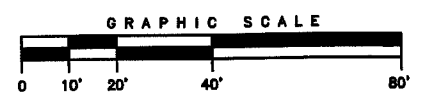
SHRUB PLANTING
 NOT TO SCALE



TREE PROTECTION FENCE
 NOT TO SCALE

Proposed Planting List

Plants symbol	amount	size	botanical name	common name
AS	15	3'-4"	Arborvitae occidentalis 'Smaragd'	Emerald Green Arborvitae
CG	1	3'-4"	Chamaecyparis obtusa 'Gracilis'	Hinoki Falsecypress
CN	2	2-3'	Chamaecyparis obtusa 'Nana Gracilis'	Dwarf Hinoki Falsecypress
CF	2	2 yr	Calamagrostis 'Karl Foerster'	Feather Reed Grass
HB	30	2 yr	Helictotrichon sempervirens 'Sapphire'	Blue Oat Grass
HS	43	2 yr	Hemerocallis species	Daylily
JS	6	2-4"	Juniperus chinensis 'Sea Green'	Sea Green Juniper
SB	15	2-4"	Spirea bumalda 'Anthony Waterer'	Anthony Waterer Spirea
VP	12	2'-3'	Viburnum plicatum 'Shasta'	Shasta Viburnum



tjd&a
 Terrence J. DeWitt & Associates
 Landscape Architects & Planners
 125 Main Street, Portland, ME 04101
 Telephone: 207.646.0377 Fax: 207.646.0378
 E-Mail: tjdwitt@tjdand.com

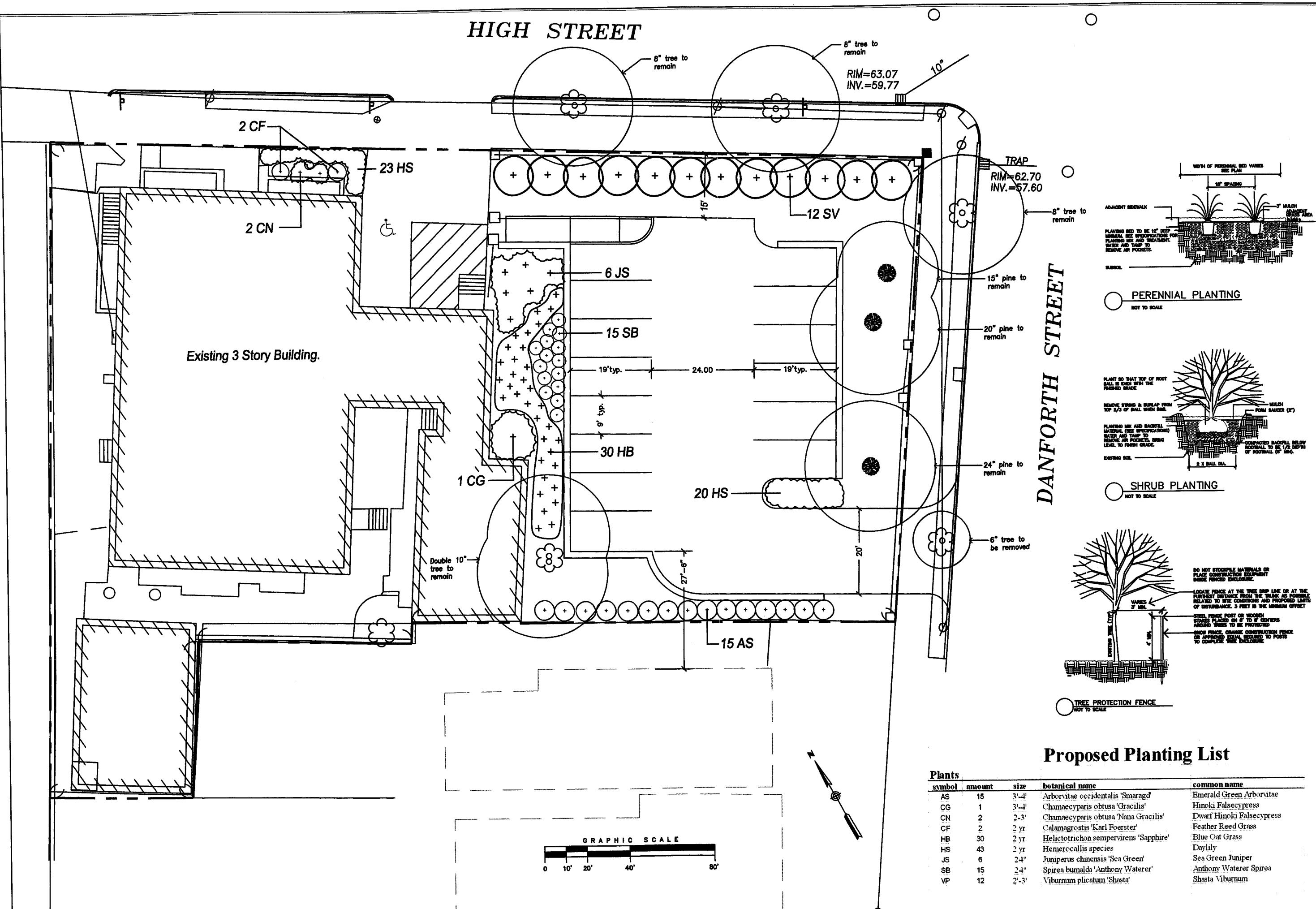
Project: Proposed Parking Lot
 University of Southern Maine
 66-68 High Street
 Portland, Maine

Sheet: L-2

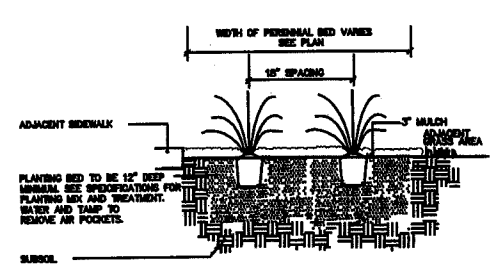
Rev.	Date	Revision	Date	Issued for	Date	By
1	6-15-07			Planning Board Review	6-15-07	KS

Drawing Name: Landscape / Layout Plan
Design: SM
Drawn: KS
Checked: SM
Job No: SM
Scale: 1" = 20'
Date: 6-1-07

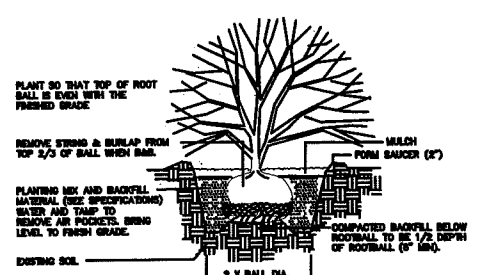
HIGH STREET



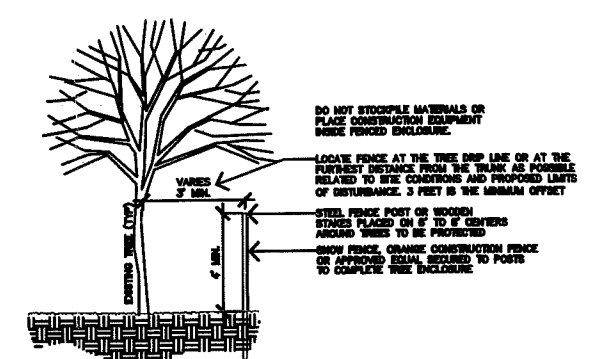
DANFORTH STREET



PERENNIAL PLANTING
NOT TO SCALE



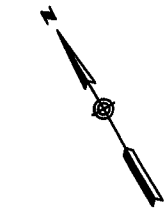
SHRUB PLANTING
NOT TO SCALE



TREE PROTECTION FENCE
NOT TO SCALE

Proposed Planting List

Plants symbol	amount	size	botanical name	common name
AS	15	3'-4'	Arborvitae occidentalis 'Smaragd'	Emerald Green Arborvitae
CG	1	3'-4'	Chamaecyparis obtusa 'Gracilis'	Hinoki Falsecypress
CN	2	2'-3'	Chamaecyparis obtusa 'Nana Gracilis'	Dwarf Hinoki Falsecypress
CF	2	2 yr	Calamagrostis 'Karl Foerster'	Feather Reed Grass
HB	30	2 yr	Helictotrichon sempervirens 'Sapphire'	Blue Oat Grass
HS	43	2 yr	Hemerocallis species	Daylily
JS	6	2-4"	Juniperus chinensis 'Sea Green'	Sea Green Juniper
SB	15	2-4"	Spirea bumalda 'Anthony Waterer'	Anthony Waterer Spirea
VP	12	2'-3'	Viburnum plicatum 'Shasta'	Shasta Viburnum



Design: SM

Draft: KS

Checked: SM

Job No: SM

Scale: 1" = 20'

Date: 6-1-07

tid&a

Terrence J. DeWitt & Associates
Landscape Architects & Planners
221 West Main Street, Portland, ME 04101
Tel: 603.761.1234
E-Mail: tjd@a.com

Revision

Date

Issued for

6-15-07 KS

Date

Drawing Name

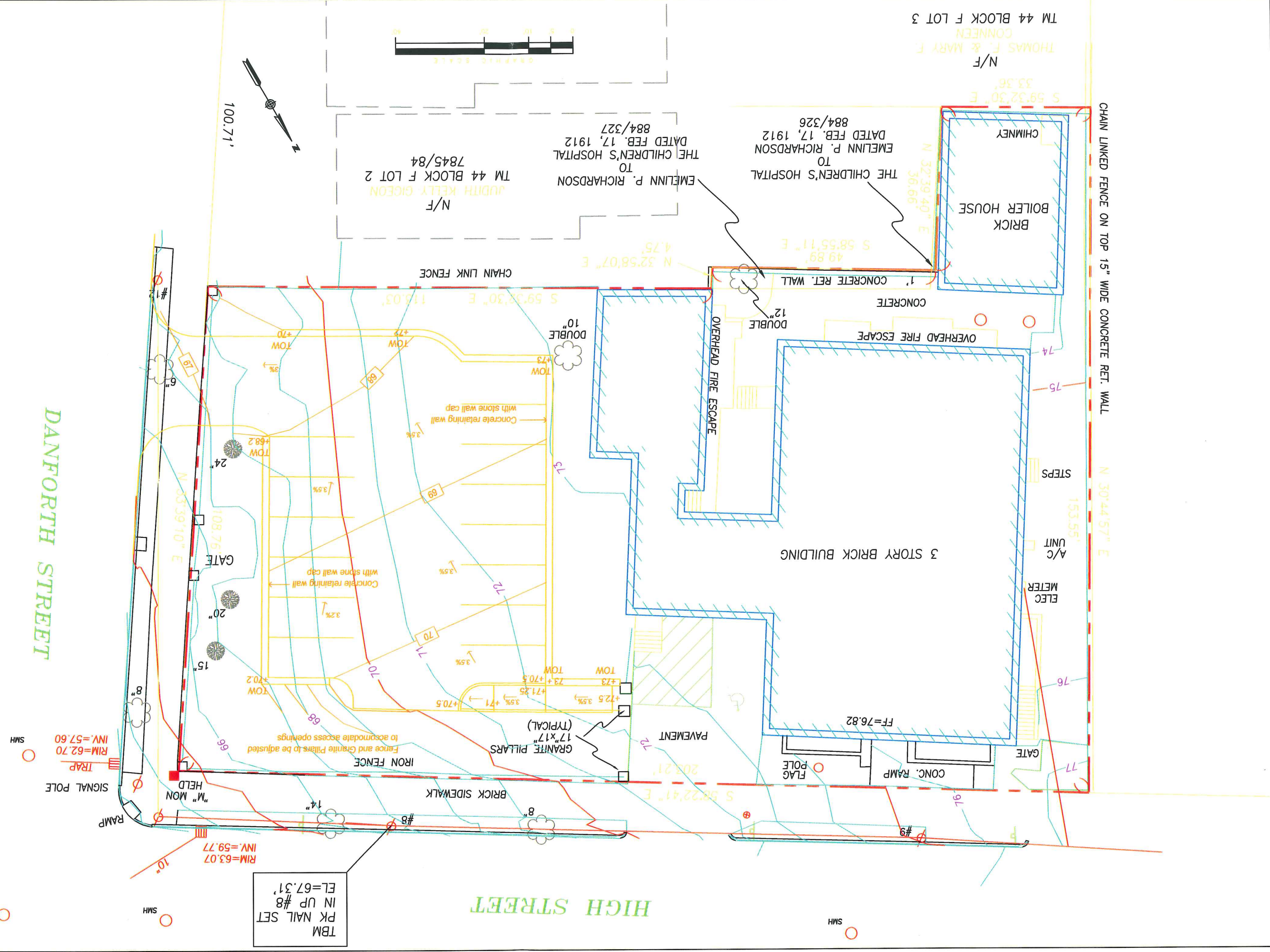
Landscape / Layout Plan

Project

Proposed Parking Lot
University of Southern Maine
66-68 High Street
Portland, Maine

Sheet

L-2



Drawing Name		Project		Designs		Rev.	
PRELIMINARY Grading Plan		Proposed Parking Lot University of Southern Maine 66-68 High Street Portland, Maine		SM KS SM SM		Access per Public Works comments 6-20-07	
Sheet	L-1	Job No:	SM	Scale:	1" = 20'	Date:	6-1-07
Terrence J. DeWan & Associates Landscape Architects & Planners 131 West Main Street, Yarmouth, ME 04095 Telephone: 207.464.0727 Fax: 207.464.0729 E-mail: tdewan@tda-ha.com		TBM PK NAIL SET #8 EL=67.31'		Planning Board Review		6-15-07	
				Issued for		6-20-07	
						KS	
						BY	