

GENERAL NOTES

1. SITE AREA: 23,747 SF OR 0.54 ACRES
2. APPLICANT: CHILDREN'S HOSPITAL HOUSING PARTNERS,LP
309 CUMBERLAND AVENUE
PORTLAND, MAINE 04101
3. OWNER OF RECORD: UNIVERSITY OF SOUTHERN MAINE
16 CENTRAL STREET
BANGOR, MAINE 04401
4. TAX MAP # + LOT NUMBER: MAP 44, BLOCK F, LOT 1
5. BOOK # + PAGE NUMBER: BOOK 98B3, PAGE 183
6. ZONING DISTRICT: R7- COMPACT URBAN RESIDENTIAL OVERLAY
7. BOUNDARY AND TOPOGRAPHIC SURVEY BY OWEN HASKELL, INC. 390 US ROUTE ONE, UNIT 10, FALMOUTH, MAINE 04105 (207) 774-0424.
8. ALL WORK WITHIN THE STREET RIGHT-OF-WAY SHALL MEET THE CITY OF PORTLAND STANDARDS.
9. BEARING ORIENTATION IS BASED UPON PLAN REFERENCE 1.
10. ELEVATIONS HEREON ARE BASED ON CITY OF PORTLAND DATUM. BENCHMARK IS THE TOP OF A GRANITE MONUMENT AT SOUTHWEST CORNER OF DANFORTH AND PARK STREET ELEVATION 79.55'.

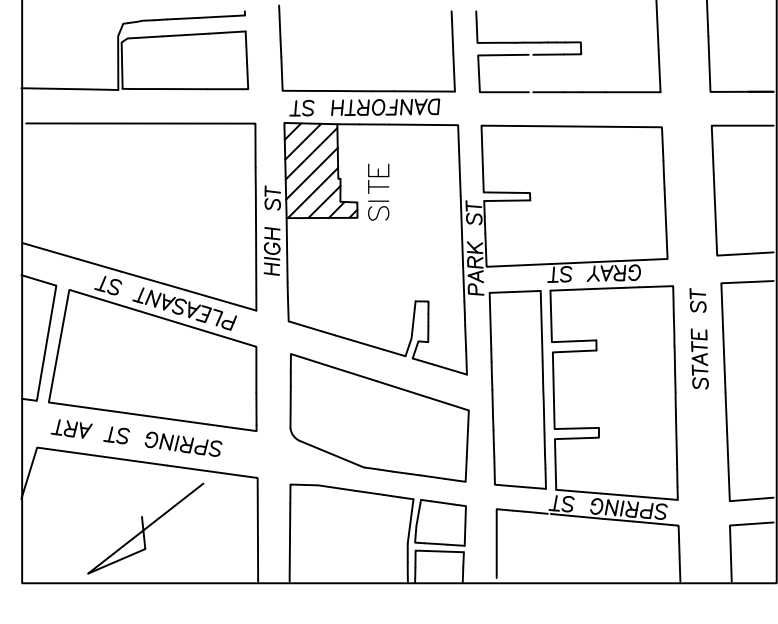
10. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-888-DIGSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.

PLAN REFERENCES

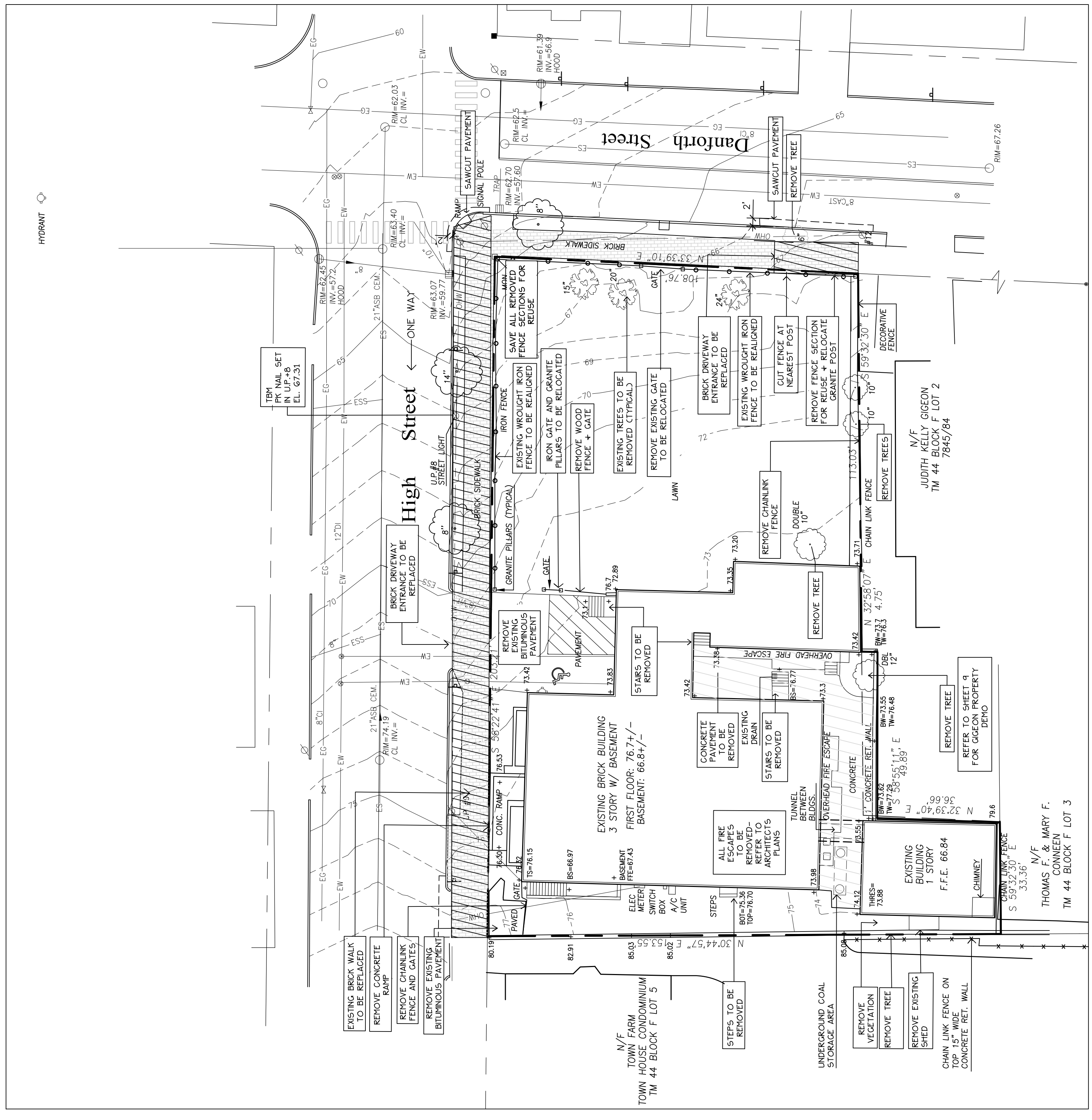
1. CONDOMINIUM PLAN, OLIVER B. DORRANCE HOUSE, 99-101 DANFORTH ST., PORTLAND, MAINE, MADE FOR 99-101 DANFORTH ST., ASSOCIATES, DATED AUG. 08, 2001 AND RECORDED IN PLAN BOOK 201 PAGES 344, 345.
2. SECOND AMENDED SURVEY, THE CARROLL MANSION A CONDOMINIUM 77 PARK STREET, PORTLAND, MAINE DATED 6-20-84 (REVISED 3-20-85) AND RECORDED IN REGISTRY OF DEEDS PLAN BOOK 146 PAGE 60.
3. PLAN OF TOWN FARM TOWNHOUSE CONDOMINIUM, HIGH + PLEASANT ST., PORTLAND, MAINE MADE FOR PLEASANT STREET DEVELOPMENT ASSOCIATES DATED 8-2-84 AND RECORDED IN REGISTRY OF DEEDS PLAN BOOK 145 PAGE 46.
4. BOUNDARY + TOPOGRAPHIC SURVEY AT 87-93 DANFORTH ST., 56-70 HIGH ST., PORTLAND, MAINE MADE FOR USM FACILITIES MANAGEMENT DATED JANUARY 02, 2007 BY OWEN HASKELL, INC.

LEGEND

EXISTING	EXISTING
PROPERTY LINE	EG
GRANITE MONUMENT	OHV
CATCHBASIN	OVERHEAD WRES
MANHOLE	CURB
HYDRANT	FENCE
UTILITY POLE	SIGN
WATER VALVE	DECIDUOUS TREE
SANITARY SEWER	EVERGREEN TREE
STORM DRAIN	CONTOUR
WATER	SPOT ELEVATION



LOCATION MAP
N.T.S.



Prepared For:
Children's Hospital
Housing Partners,LP
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Portland, Maine 04101

Prepared By:
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ELM TERRACE

68 High Street Portland, Maine

Date: SEPTEMBER 8, 2011

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Revisions:

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Title: EXISTING CONDITIONS & DEMOLITION PLAN

