

Addendum 03

Date: September 28, 2011

To: Wright Ryan Construction (Construction Manager)
From: Ben Walter, CWS Architects
Regarding: **Elm Terrace** – Portland, Maine
Subject: **Addendum 03**

Modify the previously issued documents dated September 8, 2011 and any previously issued addenda, if applicable, as follows:

1. Delete 08 90 00 Window Schedule from Document 00 01 10 TABLE OF CONTENTS.

Book 1 -Bidding and Contract Documents Manual:

N/A

Book 2 -Specifications Manual:

2. Delete 08 90 00 Window Schedule from Book 2 – Specification Manual. This schedule was published in error. Refer to Window Schedule on Drawing A8.20 WINDOW SCHEDULE AND NOTES.
3. In Document 08 10 00 DOOR AND FRAME SCHEDULE, change the DOOR TYPE for Door No. 123 to read “V”.
4. Clarification: Provide a Rolling Security Grille as specified in Section 08 33 00 Rolling Security Grilles to fill the opening 20 feet wide and 7 feet tall (field verify) that provides access to the Parking Garage 001.
5. Add the following to specification Section 11 30 00 Residential Equipment:

2.6 DISHWASHER

- A. Apartment Units Indicated to have a Dishwasher: Energy Star rated, 24” width, stainless steel tub, adjustable racks, NSF sanitizing cycle, electronic controls, integral food disposer, white color; GE Model GLDA690PWW, or equal.
6. Change 3.2.A in specification Section 12 35 30 Residential Casework to read “Set and secure casework in place rigid, plumb, and level ensuring the maximum counter height indicated on the Drawings is achieved over the full length of the counter top by scribing or other means of securely modifying, if necessary and as required, the casework’s toe kick, end panels and back panel to ensure specified countertop height even at un-level floor surfaces.

Drawings:

Title Page

N/A

Civil and Site:

N/A

Structural:

7. Replace detail 2 on Drawing S3.2 with the attached SKS-1-1.
8. Replace detail 3 on Drawing S3.2 with the attached SKS-1-2.
9. Provide square concrete column wraps (not round as indicated on Drawing S1.1) at all six (6) steel columns in the enclosed parking garage area [PARKING GARAGE - 001] per attached SKS-1-3.
10. At all continuous bearing floor trusses to be installed directly over the first floor concrete slab subfloor structure of the building addition wing, a) MSR lumber ratings are not required; and b) the bottom plate of the trusses shall be pressure treated.

Architectural:

11. Replace Drawing A7.13 with the attached Drawing A7.13, revised Addendum 03, September 28, 2011. The revisions on this sheet address modifications to the overhead rolling door opening to PARKING GARAGE - 001 and includes modifications to the precast steel lintel and structural systems.

Mechanical:

12. **RFI Question:** Do lined ducts require exterior insulation? **FRI Response:** Yes.
13. **RFI Question:** HWS/R and DHW indicate 1 1/2" insulation with (R4) noted next to it. 1" insulation provides R4 at 75 degrees F. Is 1" acceptable? **FRI Response:** The State Energy Code requires a minimum pipe insulation thickness based on water temperature while LEED requires a minimum R-Value for pipe insulation. Revise Specifications Section 230700-3.6 to identify both thickness and R-value minimums as indicated below. The insulation product must meet both requirements as a minimum.

3.6 INSULATION APPLICATION SCHEDULE

<u>SERVICE</u>	<u>THICKNESS</u>	<u>MATERIAL/JACKET</u>
PIPING (including PEX tubing):		
Domestic Cold Water Piping		
1-1/4" and smaller	1/2" & R4	Fiberglass w/ASJ or Flexible Unicellular
1-1/2" and larger	1" & R4	Fiberglass w/ASJ or Flexible Unicellular
Domestic Hot Water Piping and Domestic Hot Water Recirculation Piping		
1-1/4" and smaller	1/2" & R4	Fiberglass w/ASJ or Flexible Unicellular
1-1/2" and larger	1" & R4	Fiberglass w/ASJ or Flexible Unicellular

Water and Drain Piping Under Handicap Accessible Fixtures		Insulation Kit
Hot Water Heating Supply and Return Piping		
3" and smaller	1" & R4	Fiberglass w/ASJ
4" and larger	1-1/2" & R4	Fiberglass w/ASJ
Solar Heating Supply and Return Piping (interior)	1-1/2" & R4	Fiberglass w/ASJ or Flexible Unicellular
Solar Heating Supply and Return Piping (exterior)	1-1/2" & R4	Fiberglass w/ASJ or Flexible Unicellular w/ PVC jacket

14. **RFI Question:** Is there an insulation requirement for the underground HWS/R noted on M1.0 **FRI Response:** Piping shall be pre-insulated as noted below:

Add to Plumbing Specifications Section 220000-2.1:

Underground Domestic Water Piping (between buildings): Uponor Ecoflex Thermal (or equal) pre-insulated piping suitable for potable water, available in Thermal Single and Thermal Twin. Provide Thermal Twin when possible consisting of two Wirsbo AQUAPEX plus service pipes surrounded by PEX-foam insulation and covered by an HDPE jacket, sizes per drawings.

Add to HVAC Systems Specifications Section 230000-2.1:

Underground Hot Water Heating Piping (between buildings): Uponor Ecoflex Thermal (or equal) pre-insulated piping suitable for heating water, available in Thermal Single and Thermal Twin. Provide Thermal Twin when possible consisting of two Wirsbo hePEX plus service pipes surrounded by PEX-foam insulation and covered by an HDPE jacket, sizes per drawings.

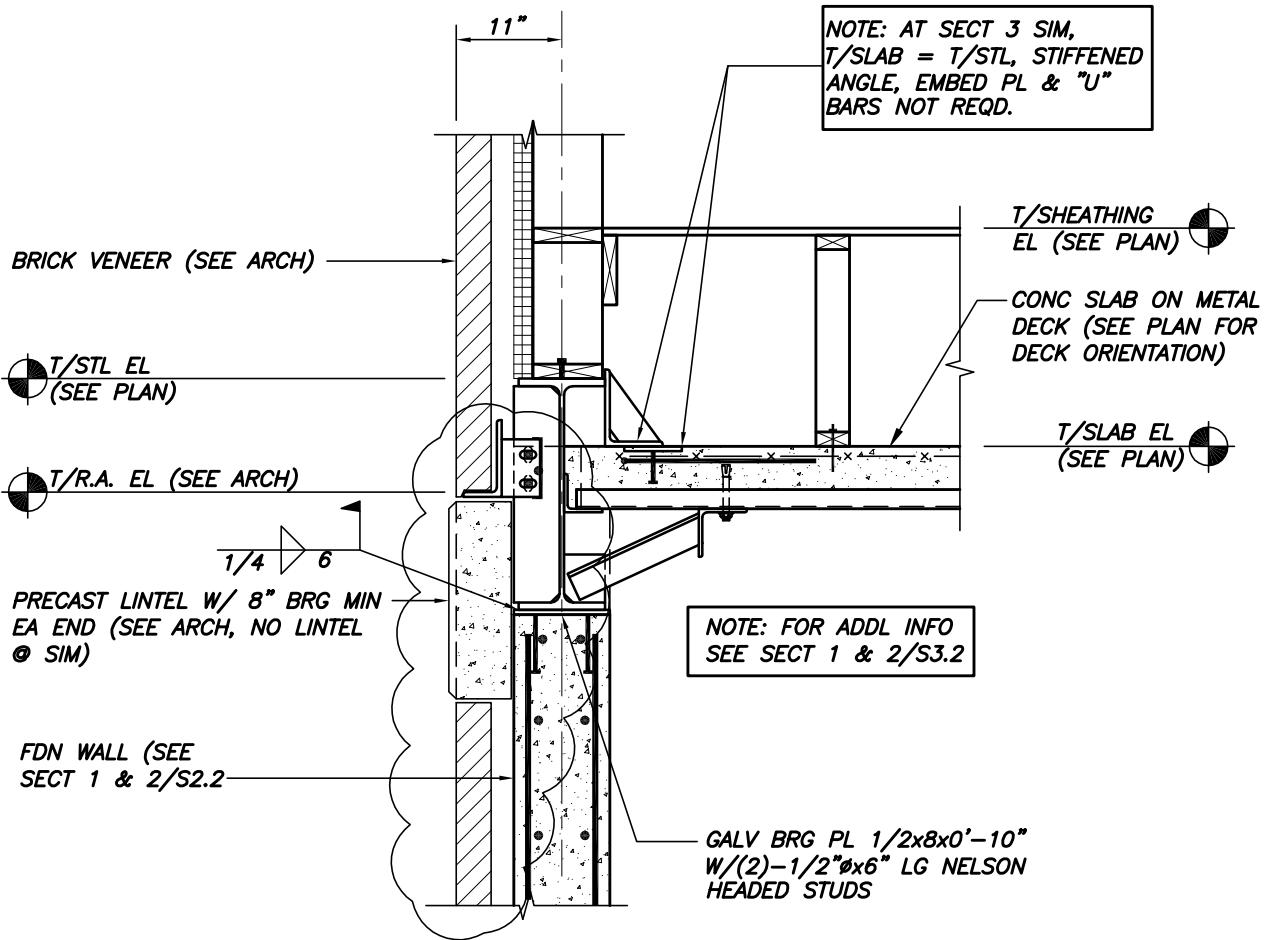
Electrical:

15. Provide wiring for the future installation of a security camera system (NIC, by Owner) at locations indicated with homeruns to OFFICE 132 per the following schedule:
- a) EXTERIOR LOCATIONS – Provide CAT-5 communication cable with cable jack termination in recessed device box plus 120v power with recessed junction box for headed enclosure:
 - i) NE corner of PARKING GARAGE 001 covering garage vehicle entrance and building entrance door.
 - ii) NE inside corner between existing and new building of vehicle access drive covering exterior entrance to PARKING GARAGE 001 and exterior entrance door to CORRIDOR 002, 12' AFF.
 - iii) NW corner of existing building wing (above MECHANICAL ROOM 003) covering exterior OUTDOOR GARDEN and entrance door to CORRIDOR 126, 12' AFF.
 - iv) NW corner of existing main building (above TENANT STORAGE ROOM 031) covering exterior ACCESS WAY and entrance door to CORRIDOR 026, 12' AFF.

- b) ELEVATOR CAB – Provide two (2) pairs of shielded CAT-5 communication cable whips not bundled with high voltage cables. Secure whip ends to overhead of elevator cab.
- c) INTERIOR LOCATIONS – Provide CAT-5 communication cable with cable jack termination in recessed device box:
 - i) SE inside corner of CORRIDOR 007 facing toward CORRIDOR 008.
 - ii) SE inside corner of CORRIDOR 021 facing toward CORRIDOR 002.
 - iii) SE inside corner of ELEVATOR LOBBY 007 facing toward CORRIDOR 026.
 - iv) NE inside corner of CORRIDOR 123 facing toward VESTIBULE 122.
 - v) SE inside corner of LOBBY 129 facing toward the entrance to OFFICE 132 and ENTRY 030.
 - vi) Three (3) Intermediate Landings of STAIR 1.
 - vii) Three (3) Intermediate Landings of STAIR 2.

End of Addendum 03

Attachments: (See attached specifications, sketches, drawings and attachments listed above, if applicable)



SECTION 3
3/4"=1'-0" S1.2

REF DWG S3.2

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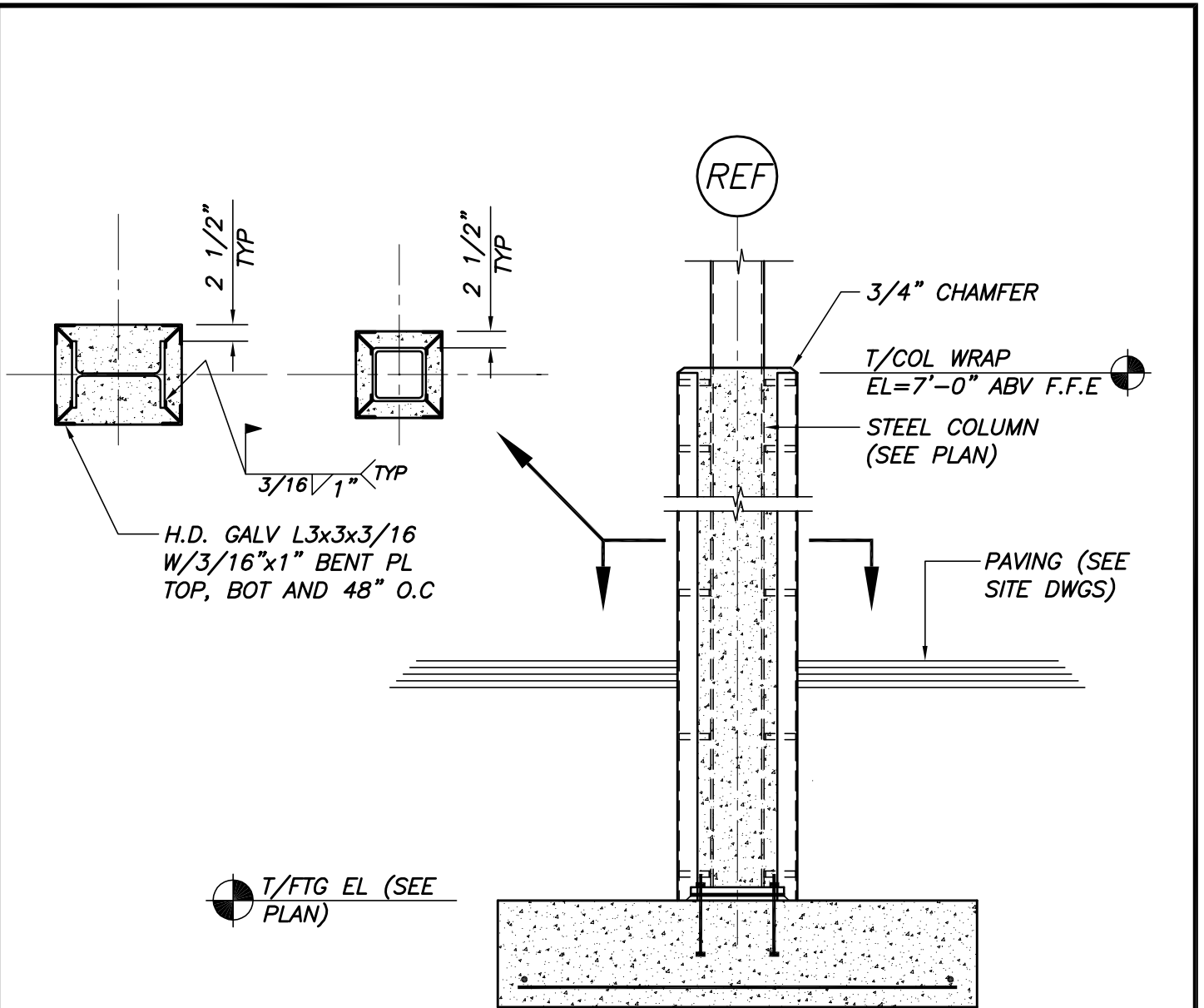
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Drawn	APP
Checked	DSB
Scale	NOTED
Date	09/27/11

ELM TERRACE
68 HIGH STREET
PORTLAND, MAINE

Becker Job Number
2364

SKS-1-2



H.D. GALV L3x3x3/16
 W/3/16"x1" BENT PL
 TOP, BOT AND 48" O.C

T/FTG EL (SEE
 PLAN)

3/4" CHAMFER

T/COL WRAP
 EL=7'-0" ABV F.F.E

STEEL COLUMN
 (SEE PLAN)

PAVING (SEE
 SITE DWGS)

TYP COL WRAP DETAIL
 N.T.S.

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SKS-1-3