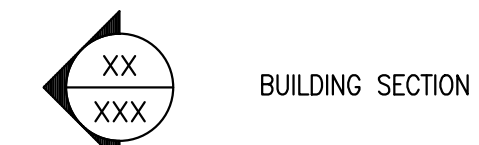
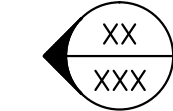


SYMBOLS LEGEND:



BUILDING SECTION



WALL SECTION



ELEVATION LEVEL



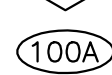
REMOVALS NOTE/TOILET ACCESSORIES NOTE



SPECIFIC NEW WORK NOTE



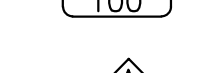
REVISION



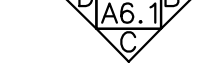
WINDOW TYPE



DOOR NUMBER



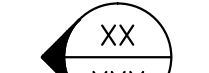
CONFERENCE ROOM



ROOM NAME



ROOM NUMBER



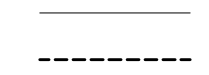
INTERIOR ELEVATION



CONTINUOUS BACKER ROD AND SEALANT



EXTERIOR ELEVATION



PARTITION TYPE, REF. PARTITION SCHEDULE AND LEGEND FOR ADDITIONAL INFORMATION



EXISTING WALL/PARTITION - TO REMAIN



EXISTING WALL TO BE REMOVED; OTHER DASHED ITEMS WITHIN REMOVALS PLANS ARE ALSO TO BE REMOVED



NEW WALL/PARTITION



INDICATES FIRE RATED WALL ASSEMBLY REFERENCE PARTITION SCHEDULE

ENVIRONMENTAL REMEDIATION GENERAL NOTES:

- COORDINATION SCOPE OF ENVIRONMENTAL REMEDIATION (BY OWNER) WITH DEMOLITION SCOPE OUTLINED HEREIN AND IN SPECIFICATION 02 41 19 SELECTIVE STRUCTURE DEMOLITION.
- THE OWNER WILL SEPARATELY BID AND PROVIDE ALL ENVIRONMENTAL REMEDIATION WORK FOR ALL PORTIONS OF THIS PROJECT UNDER A SEPARATE AGREEMENT OUTLINED IN THE PROJECT MANUAL FOR ENVIRONMENTAL REMEDIATION, ELM TERRACE, PORTLAND, MAINE - PREPARED FOR CHOM CHILDREN'S HOSPITAL HOUSING PARTNERS, LP., BY SUMMIT ENVIRONMENTAL CONSULTANTS, INC., PROJECT NUMBER 11-3043, DATED SEPTEMBER 2011 (SEE ITEM K. IN 1.3 MISCELLANEOUS DOCUMENTS IN DOCUMENT 00 31 00 AVAILABLE PROJECT INFORMATION OF THE PROJECT MANUAL).
- ALL DEMOLITION AND SELECTIVE DEMOLITION WORK SPECIFIED HEREIN IS EXCLUSIVE OF REMOVALS PROVIDED UNDER THE OWNER'S SEPARATE ENVIRONMENTAL REMEDIATION. REVIEW THE SCOPE OF THE OWNER'S ENVIRONMENTAL REMEDIATION SCOPE TO DETERMINE THE REMAINING SCOPE TO BE PROVIDED BY THE CONTRACTOR.
- THE CONSTRUCTION MANAGER SHALL PROVIDE ALL COORDINATION AND SCHEDULING TASKS REQUIRED FOR BOTH THE ENVIRONMENTAL REMEDIATION (BY OWNER) AND DEMOLITION SCOPES TO PROMOTE A SEAMLESS AND COMPLETE REMEDIATION AND DEMOLITION PROCESS.
- ALL DEMOTION SUBCONTRACTORS SHALL WORK UNDER THE SCHEDULING GUIDANCE AND DIRECTION OF THE CM TO ACHIEVE TO ACHIEVE A SEAMLESS AND COMPLETE REMEDIATION AND DEMOLITION PROCESS.
- ALL REMEDIATION CONTRACTORS HAVE BEEN NOTICED TO CONFORM WITH 1.3 SCOPE AND SEQUENCE OF WORK REQUIREMENTS OF THE REMEDIATION PROJECT MANUAL.

GENERAL NOTES PERTAINING TO THE CONSTRUCTION AND CONSTRUCTION DOCUMENTATION:

- THE CONTRACTOR SHALL REVIEW AND DIRECT ALL SUB-CONTRACTORS TO REVIEW ALL DRAWINGS AND SPECIFICATIONS TO ASCERTAIN THE SCOPE OF WORK FOR EACH TRADE PRIOR TO BID. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR ALL DRAWINGS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH FEDERAL, STATE, CITY AND LOCAL BUILDING CODES AND THEIR REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING PERMITS AND APPROVALS AS REQUIRED BY THE LOCAL JURISDICTIONAL AUTHORITIES FOR THIS JOB.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY AND ALL MECHANICAL, ELECTRICAL AND TELEPHONE ITEMS (INCLUDING PIPING, DUCTWORK, LIGHTING AND/OR CONDUIT) AND THAT ALL REQUIRED CLEARANCES OR INSTALLATIONS FOR ABOVE EQUIPMENT ARE PROVIDED. COORDINATION SHALL BE PERFORMED PRIOR TO CONSTRUCTION.
- THE CONTRACTORS FAILURE TO REPORT ANY DISCREPANCIES WITHIN THESE CONSTRUCTION DOCUMENTS TO THE ARCHITECT WILL NOT BE GROUNDS FOR ADDITIONAL COST OR CHANGE ORDERS.
- IF FIELD CONDITIONS NECESSITATE ANY CHANGES OR MODIFICATIONS, ALL SUCH CHANGES OR MODIFICATIONS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO PERFORMING SUCH CHANGES OR MODIFICATIONS.
- THE CONTRACTOR SHALL PROVIDE FOR THE LEGAL REMOVAL AND DISPOSAL OF ALL RUBBISH AND DEBRIS FROM THE BUILDING AND THE SITE ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT. REFERENCE THE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING WEATHER TIGHT ENCLOSURE THROUGHOUT THE CONSTRUCTION PROCESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BUILDING DAMAGE CAUSED BY THE FAILURE OF THIS ENCLOSURE.
- ALL EXISTING PENETRATIONS AND/OR HOLES IN EXISTING BUILDING ASSEMBLIES (HORIZONTAL & VERTICAL; EXTERIOR & INTERIOR) SHALL BE PLUGGED AND SEALED WITH APPROPRIATE MATERIAL AND METHODS TO MEET THE INTENDED DESIGN OF ASSEMBLY. REFERENCE NEW WORK DOCUMENTS AND SPECIFICATIONS.
- PROJECT CONSISTS OF MODIFICATIONS TO EXISTING AND NEW CONSTRUCTION. THE CONTRACTOR AND SUB CONTRACTORS ARE RESPONSIBLE FOR ALL BLOCKING, SHIMMING AND FITTING REQUIRED AS PART OF EACH DETAIL OR SYSTEM REGARDLESS WHAT IS DEPICTED IN THE DRAWINGS AND SPECIFICATIONS. P.T. WOOD WILL BE USED WHERE WOOD WILL COME IN CONTACT WITH CONCRETE OR MASONRY.

ABBREVIATIONS:

A/C	AIR CONDITIONING
ABV	ABOVE
AC	ACOUSTICAL PLASTER
ACT	ACOUSTICAL CEILING TILE
ADD	ADDENDUM, ADDENDUM
ADJ	ADJACENT
AF	ABOVE FINISHED FLOOR
AP	ACCESS PANEL
BCE	BOTTOM CHORD EXTENSION
BD	BOARD
BLP	BORROWED LIGHT PANEL
BO	BOTTOM OF
BOF	BOTTOM OF FOOTING
BOS	BOTTOM OF STEEL
BS	BOTH SIDES
BSE	BRICK SHELF ELEVATION
C	CHANNEL
CPT	CARPET
CB	CATCH BASIN; CHALKBOARD
CFM	CUBIC FEET PER MINUTE
CJ	CONTROL JOINT; CONSTRUCTION JOINT
C	CENTERLINE
CMU	CONCRETE MASONRY UNIT
CT	CERAMIC TILE
CUH	CABINET UNIT HEATER
DF	DRINKING FOUNTAIN
DR	DOOR
DW	DISHWASHER
EF	EXHAUST FAN; EACH FACE
EJ	EXPANSION JOINT
EPDM	ETHYLENE PROPYLENE DIENE MONOMER
EW	EACH WAY
EW	ELECTRIC WATER COOLER
EX	EXISTING
EXIST	EXISTING
EXT	EXTERIOR
EXTR	EXTERIOR
FB	FLAT BAR
FBO	FURNISHED BY OTHERS
FCO	FLOOR CLEAN-OUT
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FF	FINISHED FLOOR; FAR FACE
FIN	FINISHED
FIXT	FIXTURE
FL	FLOOR
FO	FRAMED OPENING
FOF	FACE OF FINISH
FS	FAR SIDE
GA	GAGE, GAUGE
GB	GRAB BAR
GC	GENERAL CONTRACTOR
GDT	GYPSON DROPP-IN TILE
G	GLASS
GWB	GYPSON WALL BOARD
H/C	HANDICAPPED; HOLLOW CORE
HDO	HIGH DENSITY OVERLAY
HM	HOLLOW METAL
HR	HORIZONTAL
HRU	HEAT RECOVERY UNIT
HAV	HEATING AND VENTILATING
HVAC	HEATING, VENTILATING, & AIR CONDITIONING
ID	INSIDE DIAMETER
IF	INSIDE FACE
IJ	ISOLATION JOINT
INT	INTERIOR
INTR	INTERIOR
INV	INVERT
JNT	JOINT
L	ANGLE
LLH	LONG LEG HORIZONTAL
LLV	LONG LEG VERTICAL
LP	LIGHTING PANEL
MDO	MEDIUM DENSITY OVERLAY
MO	MASONRY OPENING
MR	MOISTURE-RESISTANT
MUA	MAKE-UP AIR
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OC	ON CENTER
OF	OUTSIDE FACE; OWNER FURNISHED
OFIC	OWNER FURNISHED AND INSTALLED BY CONTRACTOR
OH	OVERHEAD
OP	OPENING
OPNG	OPENING
OPP	OPPOSITE
PA	PUBLIC ADDRESS
PAF	POWDER-ACTUATED FASTENER
P	PLATE, PROPERTY LINE
PLAM	PLASTIC LAMINATE
PLAS	PLASTER
PLF	POUNDS PER LINEAR FOOT
PLYWD	PLYWOOD
PP	POWER PANEL
PPF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PTD	PAINTED, PAPER TONEL DISPENSER
PTN	PARTITION
PVC	POLYVINYL CHLORIDE
R	RISER; RADIUS
RB	RUBBER BASE
REF	REFRIGERATOR
REFRIG	REFRIGERATOR
RD	ROOF DRAIN
RM	ROOM
RO	ROUGH OPENING
RP	REMOVABLE PANEL
RR	RUB-RAIL
SC	SOLID CORE
SF	SQUARE FOOT; SUPPLY FAN
SK	SHEAR KEY
SIM	SIMILAR
SS	STAINLESS STEEL
ST	STEEL
STL	STEEL
STD	STANDARD
STR	STRUCTURAL
STRUC	STRUCTURAL
T	TREAD
T&B	TOP AND BOTTOM
TBM	TEMPORARY BENCHMARK
TCE	TOP CHORD EXTENSION
TJ	TIE JOINT
TO	TOP OF
TOC	TOP OF CONCRETE
TOF	TOP OF FOOTING
TOM	TOP OF MASONRY
TOP	TOP OF PIER
TOS	TOP OF STEEL
TOW	TOP OF WALL
TPD	TOILET PAPER DISPENSER
TY	TYPICAL
UH	UNIT HEATER
UNO	UNLESS NOTED OTHERWISE
VBT	VAPOR BARRIER
VCT	VINYL COMPOSITION TILE
VERT	VERTICAL
VF	VERIFY IN FIELD
VP	VISION PANEL
VIR	VENT THROUGH THE ROOF
VWC	VINYL WALL COVERING
W/	WITH
WC	WATER CLOSET
WD	WOOD
WF	WIDE FLANGE
WH	WATER HEATER
WIN	WINDOW
WIN	WINDOW, TYPICAL GWB
W/O	WITHOUT
WO	WINDOW OPENING
WS	WEB STIFFENER
WVF	WELODED WIRE FABRIC

CWS

CWS Architects

Architecture
Space Planning
Value Design

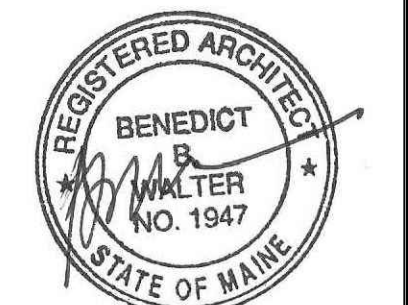
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**ELM
TERRACE**

68 HIGH STREET

PORTLAND, MAINE

Project No: 09428

Drawing Title:

NOTES

Scale: NTS

Date: ISSUED SEPTEMBER 8, 2011

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HISTORIC PRESERVATION SUBMISSION 03-23-2011

50% MAINEHOUSING REVIEW 04-01-2011

90% MAINEHOUSING REVIEW 06-03-2011

NPS SUBMISSION 07-01-2011

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TP2