

LOCATION PLAN SCALE: 1"=200'

LEGEND

Table with two columns: EXISTING and PROPOSED. It lists various symbols and line types used in the plan, such as PROPERTY LINE, BUILDING SETBACK, CURB, and various utility lines like SEWER, WATER, and UNDERGROUND UTILITY.

SURVEY PLAN REFERENCES

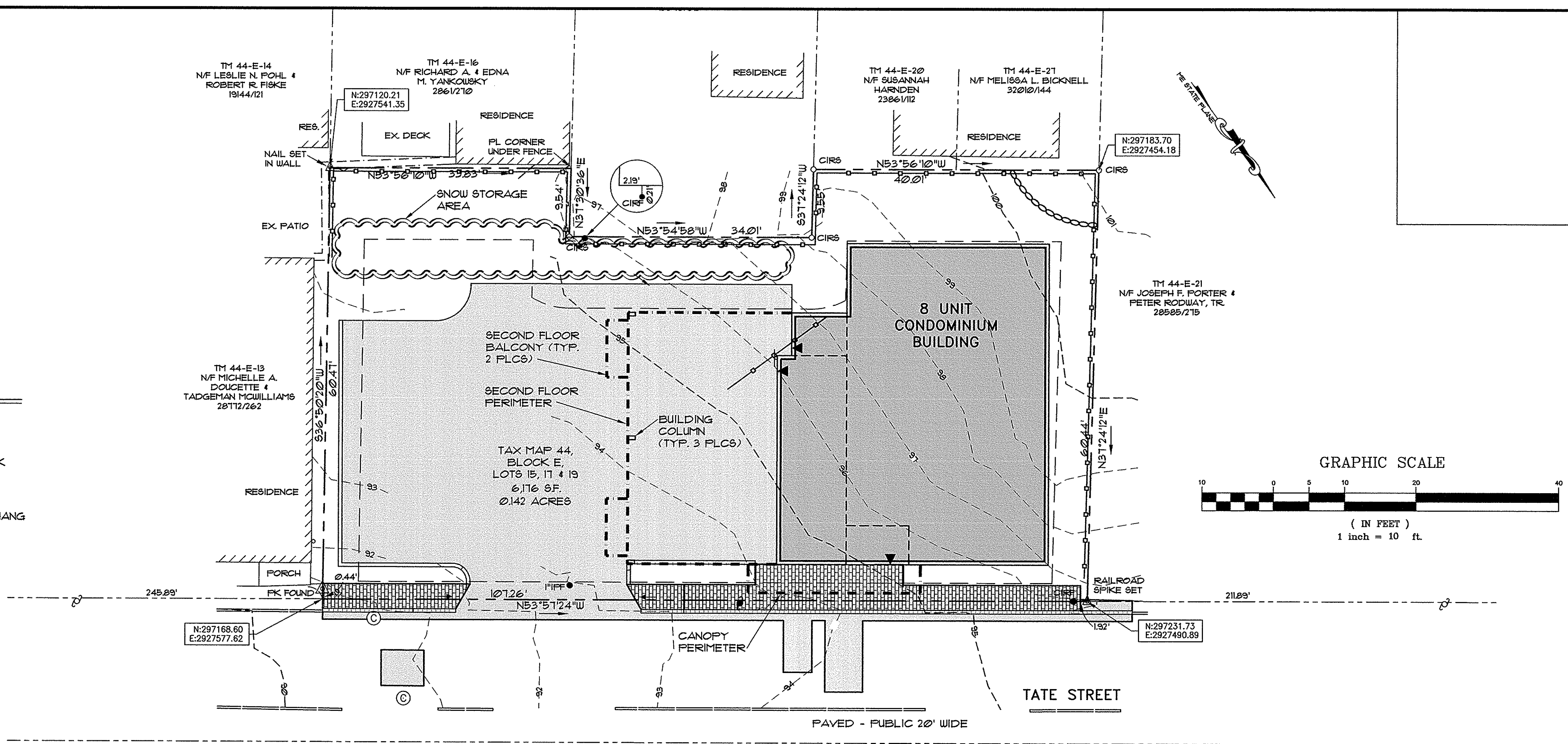
- List of 7 survey references including: SURVEY FOR ELIAS THOMAS ON APRIL 1913 BY E.C. JORDAN & CO., PLAN OF BRACKETT STREET SHEET NO. 1 OF 3, E.C. JORDAN & CO. FILE # 294, PLAN OF DANFORTH STREET BY E.C. JORDAN & CO., etc.

SNOW CLEARANCE NOTES

- 6 notes regarding snow storage, removal, and site responsibilities. Note 1: SNOW MAY BE STORED WITHIN THE TEMPORARY SNOW STORAGE AREAS ONLY. Note 2: ANY SNOW THAT CAN NOT BE STORED ON SITE SHALL BE PHYSICALLY REMOVED...

WAIVER REQUESTS

- 1. PARKING SPACE SIZES, AND AISLE WIDTH 8'-6"x18, 8'-9 3/4"x18 AND 22' DRIVE AISLE.



SUBDIVISION PLAN SCALE: 1"=10'

SUBDIVISION CONDITIONS OF APPROVAL

1.

GENERAL NOTES

- 1. OWNER: 22 28 TATE STREET, LLC, 3 CARROLL STREET, PORTLAND, MAINE, 04102. CUMBERLAND COUNTY REGISTRY OF DEEDS BK. 3216, PG. 278 & 280, DATED MARCH 5, 2015. 2. DEVELOPER: TATE STREET PARTNERSHIP, LLC, 3 CHESTNUT STREET, PORTLAND, MAINE 04101. 3. ENGINEER: PINKHAM & GREER CIVIL ENGINEERS, 28 VANNAH AVENUE, PORTLAND, MAINE, 04103. 4. ARCHITECT: ARCHITECT: ARCHETYPE ARCHITECTS, 48 UNION WHARF, PORTLAND, MAINE 04101. 5. TOPOGRAPHIC AND BOUNDARY INFORMATION: OWEN HASKELL, INC. 390 US ROUTE ONE, FALMOUTH, MAINE, 04105. 6. SOILS MAPPING TAKEN FROM SOIL CONSERVATION STUDY OF CUMBERLAND COUNTY AND CLASSIFIED AS HINCKLEY (H1B), GENERALLY SANDY LOAM, 3-8% SLOPES, HYDROLOGICAL GROUP "A". 7. ZONE: R-6, RESIDENTIAL, PROPOSED USE: MULTIFAMILY DWELLING. 8. TAX MAP REFERENCE: MAP 44 / BLOCK E / LOTS 15, 11, & 19. 9. TOTAL PARCEL = 0.142 acres. 10. UNITS TO BE SERVICED BY PUBLIC WATER AND SEWER, FROM TATE STREET. THESE SERVICES, INCLUDING HYDRANTS, ARE AS SHOWN ON SHEET C13, GRADING AND UTILITIES PLAN. 11. POWER, TELEPHONE AND CABLE SERVICES ARE TO BE UNDERGROUND FROM TATE STREET. THESE SERVICES ARE SHOWN ON SHEET C13, GRADING AND UTILITIES PLAN. 12. EXISTING UTILITIES, INCLUDING SIZE AND VERTICAL AND HORIZONTAL LOCATIONS, ARE SHOWN ON SHEET C12, GRADING AND UTILITIES PLAN. 13. ALL WORK WITHIN THE RIGHT OF WAY IS TO MEET CITY OF PORTLAND STANDARDS. 14. PROPOSED PARKING SPACES: 8 SPACES. 15. THE SUBJECT PARCEL SHOWN AS 22-28 TATE STREET IS SUBJECT TO A CITY OF PORTLAND LEVEL III SITE PLAN AND SUBDIVISION PERMIT. 16. DETAILS OF STREET TREES ARE INCLUDED ON THE LANDSCAPE PLAN AS PART OF THE APPROVAL FOR 22-28 TATE STREET SITE PLAN. 17. FLOODPLAIN: THIS PROPERTY IS IN ZONE C OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL 230051 0013 B, EFFECTIVE DATE JULY 11, 1986. IT IS NOT IN A SPECIAL FLOOD HAZARD ZONE. 18. SNOW REMOVAL REQUIREMENTS ARE AS NOTED ON SHEET C11 UNDER SNOW CLEARANCE NOTES. 19. NEW PROPERTY PINS TO BE SET AT THE EXPENSE OF THE DEVELOPER AT THE END OF CONSTRUCTION. 20. ALL CONSTRUCTION AND SITE ALTERATIONS SHALL BE DONE IN ACCORDANCE WITH THE "MAINE EROSION AND SEDIMENT CONTROL BMP'S" PUBLISHED BY THE BUREAU OF LAND AND WATER QUALITY, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, LATEST EDITION. 21. IMPERVIOUS AREA EXISTING 3,445 SQ. FT. PROPOSED 4,318 SQ. FT. 22. PARKING SPACE 1 IS A DEDICATED SPACE TO UNIT 1. IT IS ADA COMPLIANT. THE SIGN TO SAY "UNIT 1 PARKING ONLY"

ZONE INFORMATION

Table with columns: SPACE STANDARDS, REQUIRED, PROVIDED. Rows include: MINIMUM LOT SIZE (2,000 vs 6,176 SQ. FT.), MINIMUM AREA PER DWELLING UNIT (725 vs 172 SQ. FT.), MINIMUM STREET FRONTAGE (20 vs 107.26 FEET), MINIMUM FRONT YARD SETBACK (2.5 vs 5.0 FEET), MINIMUM REAR YARD SETBACK (10 vs 10.3 FEET), MINIMUM SIDE YARD SETBACK (5 vs 9.6 & 63.6 FEET), MAXIMUM LOT COVERAGE (60% vs 38%), MINIMUM LOT WIDTH (20 vs 107 FEET), MAXIMUM BUILDING HEIGHT (45 vs 32.9 FEET), LANDSCAPED OPEN SPACE (20% vs 29%), OFF STREET PARKING (5 vs 8), INDOOR BIKE RACK (- vs RACK FOR 3).

SUBDIVISION PLAT, APPROVED BY THE CITY OF PORTLAND PLANNING BOARD

Series of horizontal lines for signatures and dates.

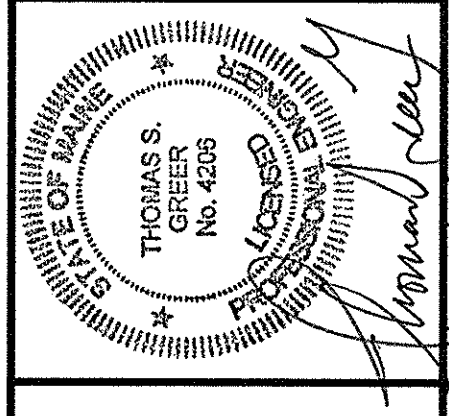
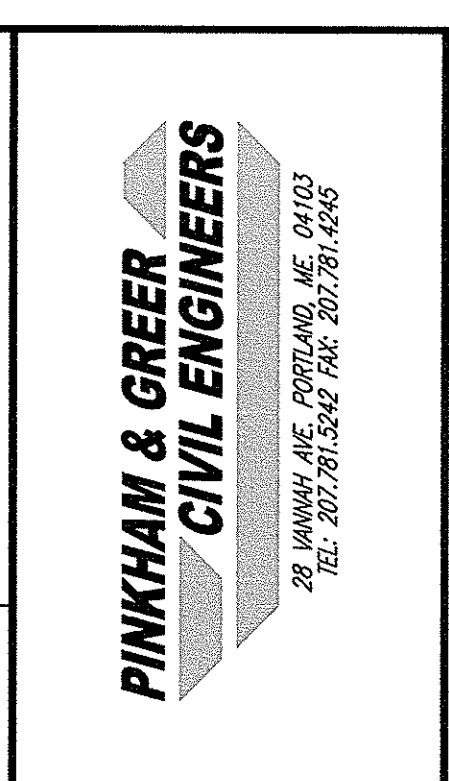


Table with columns: REV., DATE, DESCRIPTION. It contains a revision record for the drawing.

DEVELOPER: TATE STREET PARTNERSHIP, LLC 17 CHESTNUT STREET, PORTLAND
SCALE: AS SHOWN
DATE: OCTOBER 9, 2015
PROJECT: 15133
DRAWN BY: JDC/RUS
DESIGNED BY: TSG
CHK BY: [Signature]

WEST PORT LOFTS CONDOMINIUM 22-28 TATE STREET PORTLAND, MAINE
SUBDIVISION RECORDING PLAT

C1.1
DATE