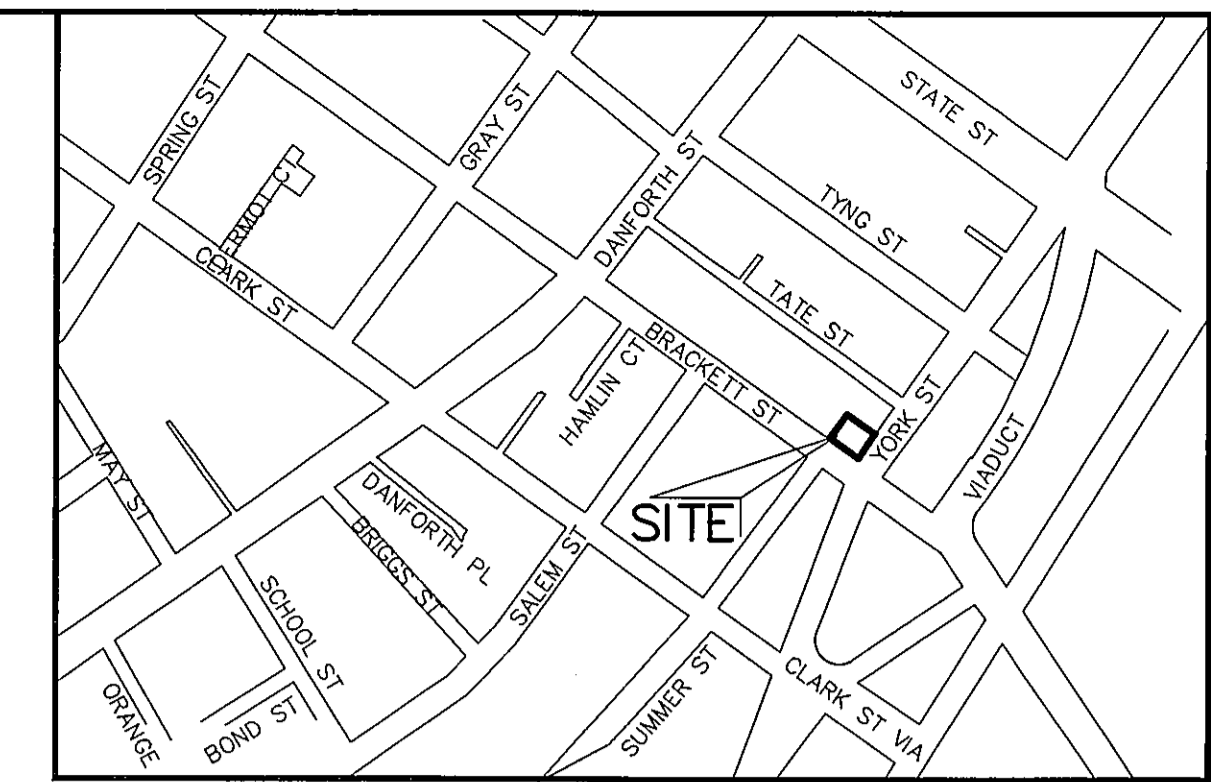


SALEM STREET

DANFORTH STREET



LOCATION MAP N.T.S.

LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	BOUNDARY LINE/ROW	---
---	ADJUTER LINE/ROW	---
---	SETBACK	---
---	MONUMENT	---
---	CI/LI	---
---	CURVE/LINE NO.	---
---	BENCHMARK	---
---	BUILDING	---
---	EDGE PAVEMENT	---
---	EDGE CONCRETE	---
---	PAVEMENT PAINT	---
---	CURBLINE	---
---	CONTOURS	---
---	SPOT GRADE	---
---	CHAIN LINK FENCE	---
---	RETAINING WALL	---
---	GAS	---
---	GAS GATE VALVE	---
---	WATER	---
---	WATER GATE VALVE	---
---	SEWER	---
---	SEWER MH	---
---	STORM DRAIN	---
---	CATCH BASIN	---
---	DRAINAGE MH	---
---	OVERHEAD UTILITY	---
---	UNDERGROUND UTILITY	---
---	UTILITY POLE	---
---	GUT	---
---	CONIFEROUS TREE	---

SEE NOTE 23
 REMOVE EXISTING CURB CUT INSTALL NEW GRANITE CURBING MATCH NEW CURBING TO EXISTING CURBING PER CITY STANDARDS

(1) WISTERIA FRUTESCENS 'AMETHYST FALLS' (AMERICAN WISTERIA) NO.2 CONT. AT PRIMARY FERGOLA VERTICAL POST

SIDEWALK AND CURBING ALONG BRACKETT STREET TO BE CONSTRUCTED BY THE CITY OF PORTLAND SEE NOTE 23

SAW CUT AND PATCH PAVEMENT PER CITY STANDARDS AS NECESSARY FOR UTILITY INSTALLATION RE-SET CURBING UPON COMPLETION OF UTILITY WORK

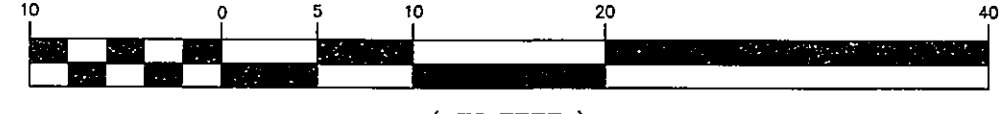
CONCRETE PAD MAINTAIN EXISTING POLICE/FIRE BOX DURING CONSTRUCTION LIMIT OF SIDEWALK RECONSTRUCTION

EXISTING BRICK SIDEWALK REBUILD/REPAIR ALL SIDEWALK DISTURBANCE RESULTING FROM CONSTRUCTION MAINTAIN EXISTING SIDEWALK GRADES

EXISTING BRICK SIDEWALK REBUILD/REPAIR ALL SIDEWALK DISTURBANCE RESULTING FROM CONSTRUCTION MAINTAIN EXISTING SIDEWALK GRADES
 SAW CUT AND PATCH PAVEMENT PER CITY STANDARDS AS NECESSARY FOR UTILITY INSTALLATION RE-SET CURBING UPON COMPLETION OF UTILITY WORK

YORK STREET
 PAVED - PUBLIC 66' WIDE

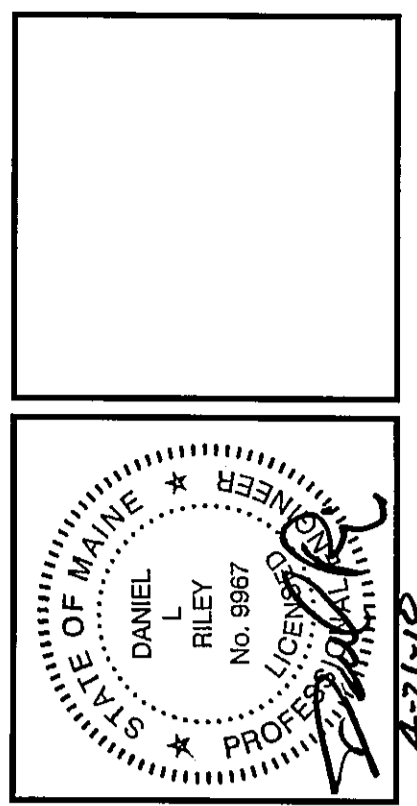
GRAPHIC SCALE



(IN FEET)
1 inch = 10 ft.

GENERAL NOTES:

- THE RECORD OWNER OF THE PROPERTY IS DANA FISHER, LLC, AS DESCRIBED IN A DEED RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 26211 PAGE 184.
- THE PROPERTY IS DEPICTED ON THE CITY OF PORTLAND TAX MAP 44/ LOT E3
- BOUNDARY, AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON AN PLAN TITLED BOUNDARY AND TOPOGRAPHIC SURVEY ON YORK AND BRACKETT STREET PORTLAND MAINE PREPARED BY OLEN HASKEL, INC. DATED OCTOBER 3, 2008
- UTILITY INFORMATION SHOWN ON THESE PLANS IS BASED SOLELY ON THE FOLLOWING PLANS:
 - PORTLAND - S. PORTLAND BRIDGE OVER FORT RIVER, PREPARED BY STATE OF MAINE DEPARTMENT OF TRANSPORTATION MAY 31, 1934 SHEET 5 OF 8
 - PORTLAND SEWER SYSTEM INFILTRATION-INFLOW ANALYSIS PREPARED BY HUNTER-BALLEW ASSOCIATES 1982 STUDY AREA IV.
 - 5 UNIT CONDOMINIUMS, 20-24 BRACKETT STREET PREPARED BY OAK POINT ASSOCIATES DATED JULY 29, 2003.
 - STATE OF MAINE DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP, STATE HIGHWAY 114" SPUR, PREPARED NOVEMBER 1992
- BEARINGS ARE BASED ON MAINE STATE PLANE WEST ZONE, NAD 83. ELEVATION INFORMATION IS BASED ON NGVD 29.
- TOTAL AREA OF PARCEL IS APPROXIMATELY 0.020 ACRE.
- ZONING DISTRICT: B-1 NEIGHBORHOOD BUSINESS ZONE.
- SPACE AND BULK CRITERIA:
 - MIN. STREET FRONTAGE: 50 FEET (SEE SECT 14-165(B))
 - MIN. FRONT YARD: MAXIMUM 10 FEET
 - MIN. SIDE YARD: 10 FEET
 - MIN. REAR YARD: 10 FEET
 - MAX. BUILDING HEIGHT: 35 FEET
 - MAX. IMPERVIOUS RATIO: 30 %
- IMPERVIOUS RATIO CALCULATION
 LOT SIZE 4,111 SF.
 IMPERVIOUS AREA 3,300 SF.
 IMPERVIOUS RATIO = 80%
- THE FACILITY IS SERVICED BY CITY SEWER, WATER, GAS, OVERHEAD ELECTRIC, TELEPHONE AND CABLE.
- METHODS AND MATERIALS USED IN THE CONSTRUCTION OF THE IMPROVEMENTS HEREIN SHALL CONFORM TO THE CURRENT CITY CONSTRUCTION STANDARDS AND SPECIFICATIONS AND/OR CURRENT M.D.O.T. STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR OR DEVELOPER IS REQUIRED TO NOTIFY THE CITY OF PORTLAND PUBLIC SERVICES DIVISION IN WRITING THREE (3) DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION (814-8300 EXT. 2038). SHOULD THE IMPROVEMENTS BE OF SIGNIFICANT CONCERN OR IN A SENSITIVE AREA, A PRE-CONSTRUCTION MEETING MAY BE REQUIRED AT THE DISCRETION OF THE PUBLIC WORKS AUTHORITY.
- AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE. THE DEVELOPER OR AN AUTHORIZED AGENT, MUST BE AVAILABLE AT ALL TIMES DURING CONSTRUCTION.
- WARNING SIGNS, MARKERS, BARRICADES OR FLAG MEN, APPROPRIATE FOR THE TYPE OF CONSTRUCTION MUST BE EMPLOYED TO REGULATE TRAFFIC.
- CONSTRUCTION DEBRIS SHALL BE CONTAINERIZED AND DISPOSED OF IN ACCORDANCE WITH CITY OF PORTLAND'S SOLID WASTE ORDINANCE CHAPTER 12.
- ANY DAMAGE TO PUBLIC OR PRIVATE PROPERTY RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE DEVELOPER AT THEIR EXPENSE.
- PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED AT ALL TIMES DURING CONSTRUCTION TO INSURE THEIR INTEGRITY. IF DISTURBED THEY SHALL BE REPLACED BY A SURVEYOR REGISTERED IN THE STATE OF MAINE AT THE CONTRACTOR/DEVELOPER'S EXPENSE.
- ALL SANITARY SERVICES AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF PORTLAND PUBLIC SERVICES DIVISION.
- ALL NEW CONNECTIONS, RECONNECTIONS, ETC TO SANITARY OR STORM SEWERS SHALL REQUIRE A CONNECTION PERMIT PRIOR TO BEGINNING ANY WORK. THE CITY OF PORTLAND PUBLIC SERVICES DIVISION MUST BE NOTIFIED AT LEAST 24 HOURS PRIOR TO COMMENCEMENT TO ALLOW FOR INSPECTION.
- A PERMIT MUST BE OBTAINED FROM THE CITY OF PORTLAND PUBLIC SERVICES DIVISION PRIOR TO BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
- PRIOR TO ABANDONING ANY STORM SEWER OR SANITARY SEWER LATERAL, THE CONTRACTOR SHALL ACQUIRE A SEAL DRAIN PERMIT FROM THE CITY OF PORTLAND DEPARTMENT OF PUBLIC SERVICES. THE CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE TO THE SEWER MAINTENANCE DIVISION STATING THE DATE AND TIME THE CONTRACTOR INTENDS TO COMPLETE THE WORK. THE CONTRACTOR SHALL EXCAVATE TO EXPOSE THE LATERAL AT THE PROPERTY LINE AND SHALL INSTALL AN INFLATABLE PLUG IN THE LATERAL TO BE POSITIONED WHERE THE LATERAL CONNECTS TO THE STREET SEWER AS DETERMINED BY CITY STAFF. THE PLUG SHALL BE SECURED BY CABLE OR CHAIN AND THE LATERAL FILLED WITH PUMFED GROUT STARTING AT THE PLUG AND FILLING OUT TO THE POINT OF EXCAVATION.
- THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATIONS TO OR DEVIATIONS FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION, TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS SIZE, LOCATION AND SURFACING OF PARKING AREAS, AND LOCATION AND SIZE OF BUILDINGS.
- THE APPLICANT SHALL SUPPLY AND INSTALL TWO (2) BIKE RACKS OR HITCHES WHICH WILL HOLD TWO BIKES EACH IN THE VICINITY OF THE PROJECT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. LOCATION TO BE AGREED WITH THE CITY PUBLIC SERVICES DEPARTMENT AND CITY ARBORIST. THESE MAY BE LOCATED IN THE RIGHT-OF-WAY OR ON CITY LAND BUT IF SO LOCATED SHALL BE ONE OF THE TWO TYPES OF RACK DESCRIBED IN THE CITY'S TECHNICAL STANDARDS.
- THE CITY OF PORTLAND IS SCHEDULED TO INSTALL NEW CURBING AND BRICK SIDEWALK ALONG BRACKETT STREET DURING THE SUMMER OF 2010. THE APPLICANT IS NOT REQUIRED TO CONSTRUCT THIS SIDEWALK.



REV.	DATE	BY	STATUS
1	4-21-10	DLR	REVISED PER CONDITIONS OF APPROVAL
2	3-8-10	DLR	REVISED PER CITY STAFF COMMENTS
3	9-30-09	DLR	SUBMITTED FOR MINOR SITE PLAN REVIEW

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

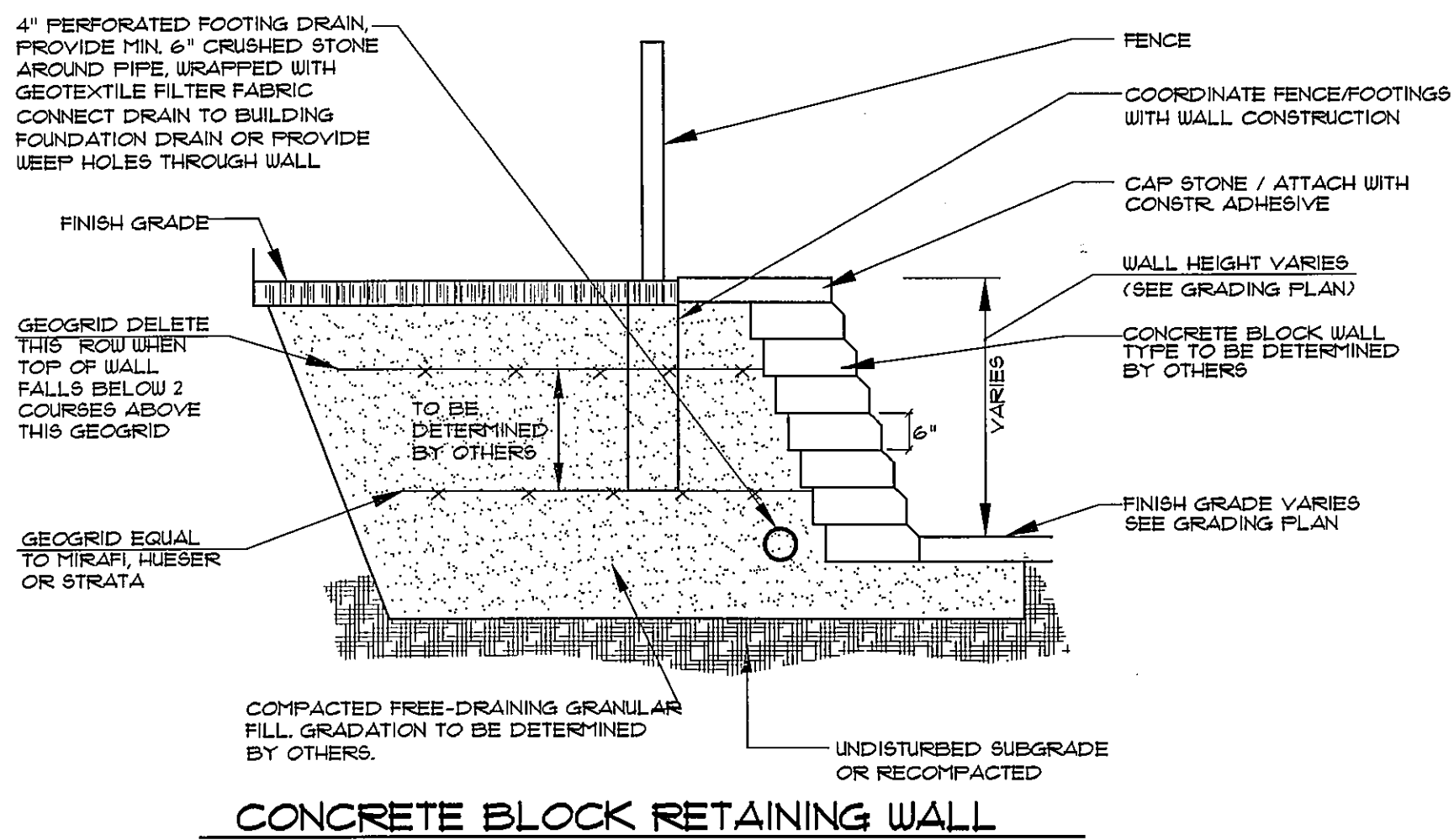
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 Westbrook, ME 04092-1339
 Tel: (207) 759-5277
 www.sebago-technics.com

PROJECT NO.	06813
FIELD BOOK	N/A
DESIGN	APP
CHKD	DLR
DRAWN	APP

SITE PLAN
 OF:
 231 YORK STREET
 YORK STREET
 PORTLAND, MAINE
 FOR:
DANA FISHER, LLC.
 P.O. BOX 169
 PORTLAND, MAINE 04112

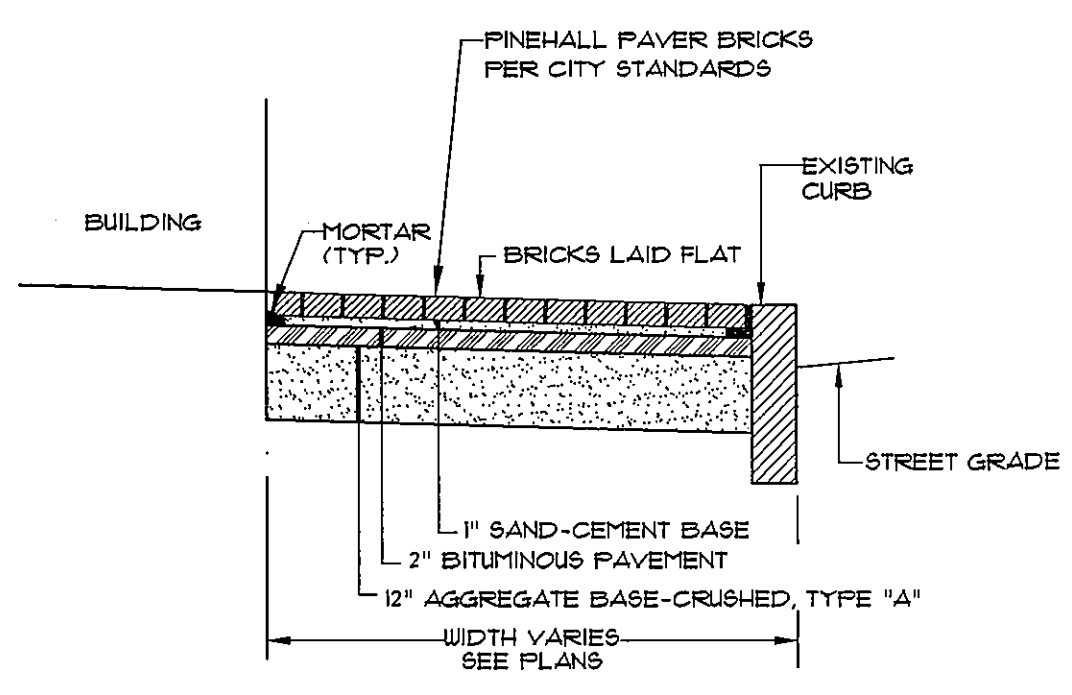
DATE: 9-25-09 SCALE: 1"=10'

SHEET 1 OF 4



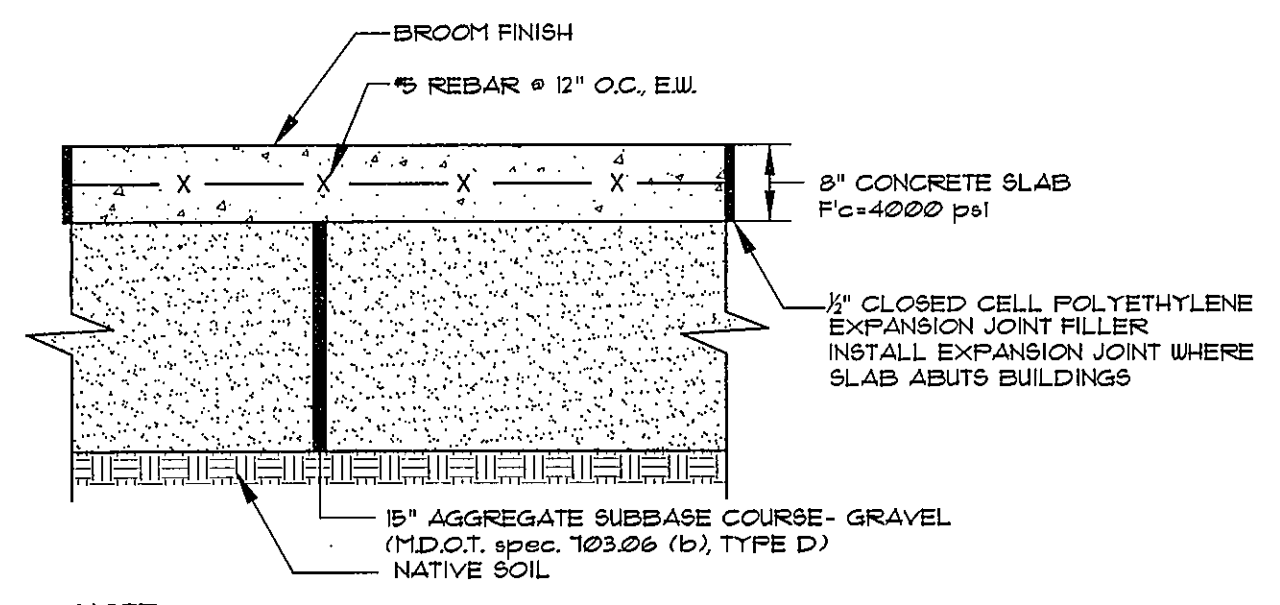
CONCRETE BLOCK RETAINING WALL
NOT TO SCALE

NOTE: CONTRACTOR SHALL PROVIDE ENGINEERING DESIGN SHOP DRAWINGS, PLANS AND CALCULATIONS FOR REVIEW BY THE ARCHITECT PRIOR TO CONSTRUCTION. THE PLANS SHALL BE PREPARED BY A PROFESSIONAL ENGINEER LICENSED IN MAINE. ALL WALL DESIGNS TO BE REVIEWED BY OWNER'S GEOTECHNICAL ENGINEER FOR GLOBAL STABILITY PRIOR TO SUBMITTING PLANS AND CALCULATIONS TO ARCHITECT.



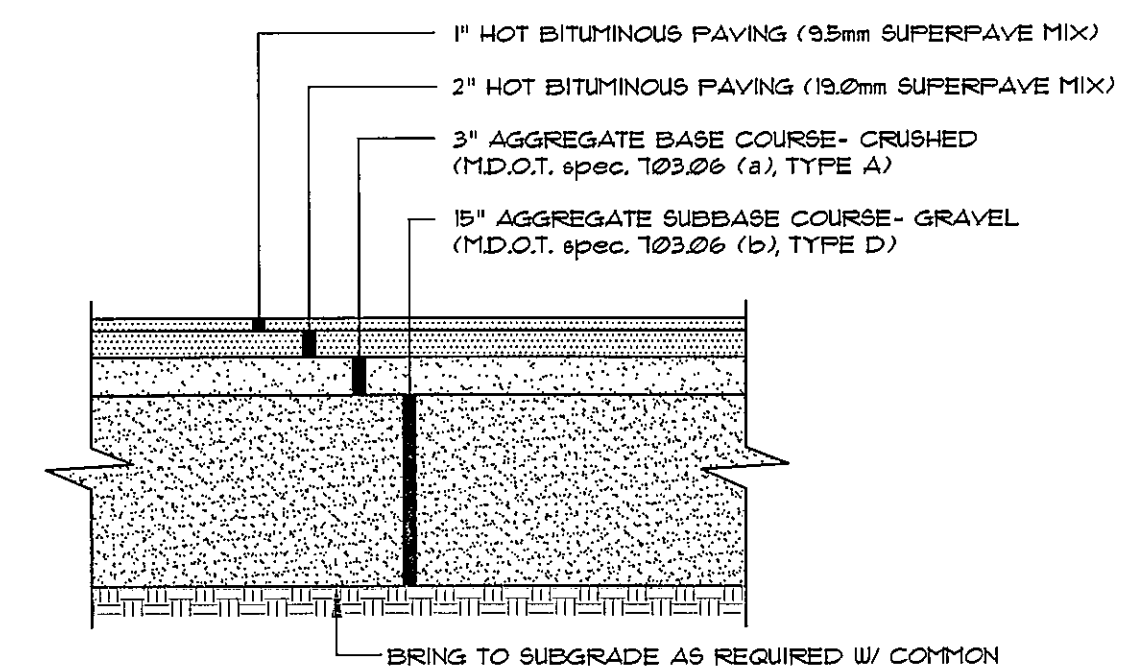
BRICK SIDEWALK DETAIL
NOT TO SCALE

NOTE: BORDER COURSE OF BRICK SHALL BE MORTARED TO PAVEMENT BASE.



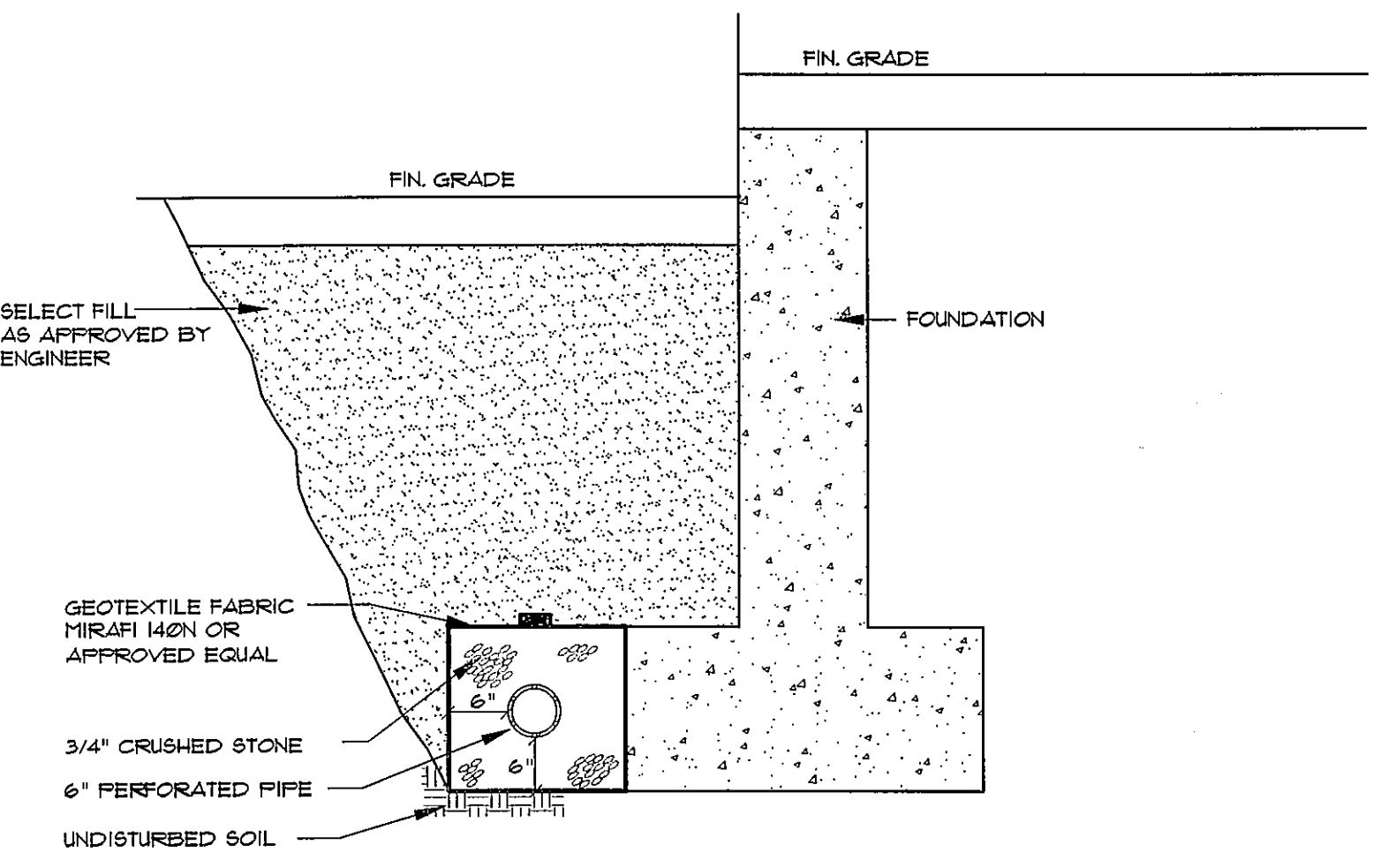
NOTE:
1. PROVIDE CONTRACTION CONTROL JOINTS EVERY 6' IN EACH DIRECTION

TYPICAL CONCRETE SLAB
NOT TO SCALE

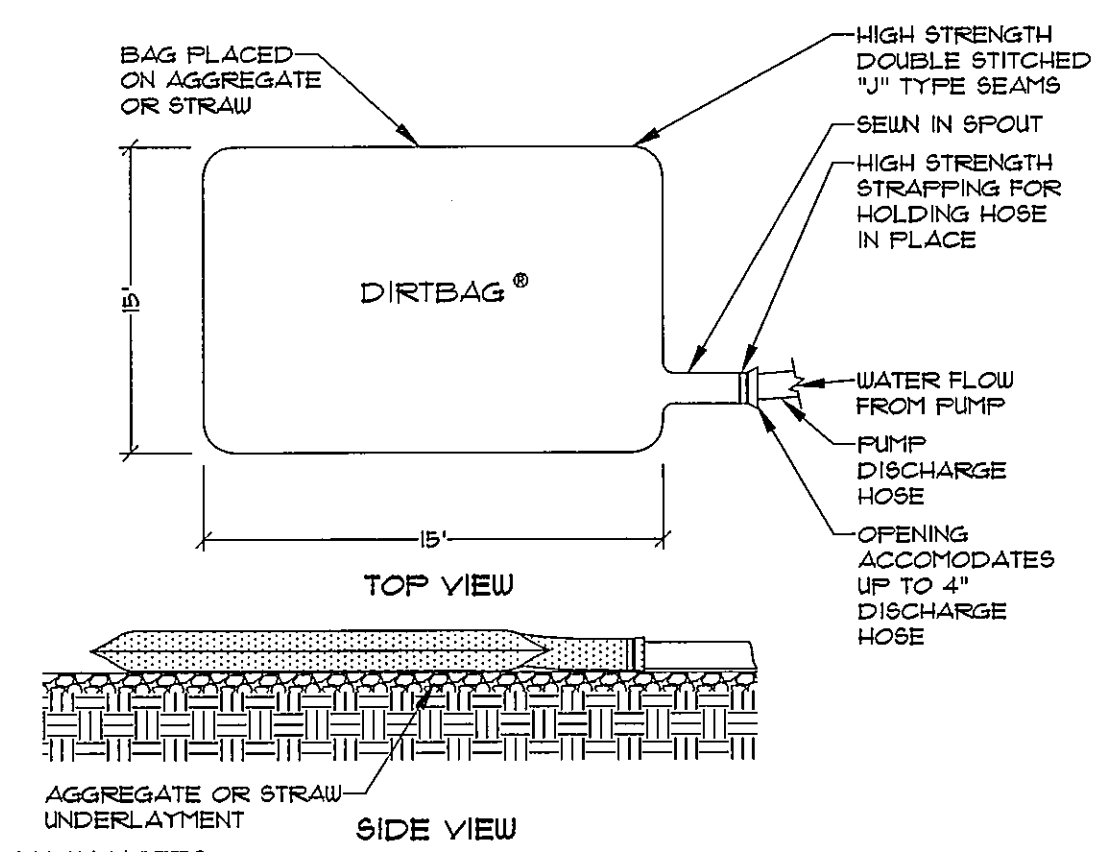


NOTES:
1. COMPACT GRAVEL SUBBASE, BASE COURSE TO 92% OF MAXIMUM DENSITY USING HEAVY ROLLER COMPACTION.
2. CONTRACTOR SHALL SET GRADE STAKES MARKING SUBBASE AND FINISH GRADE ELEVATIONS FOR CONSTRUCTION REFERENCE.
3. CONTRACTOR MAY REPLACE BITUMINOUS PAVING SECTION WITH TWO (2) 1-1/2" LIFTS OF 12.5mm SUPERPAVE MIX. SUBMIT PAVEMENT MIX DESIGN PRIOR TO CONSTRUCTION.

TYP. PAVED ALLEY SECTION
NOT TO SCALE

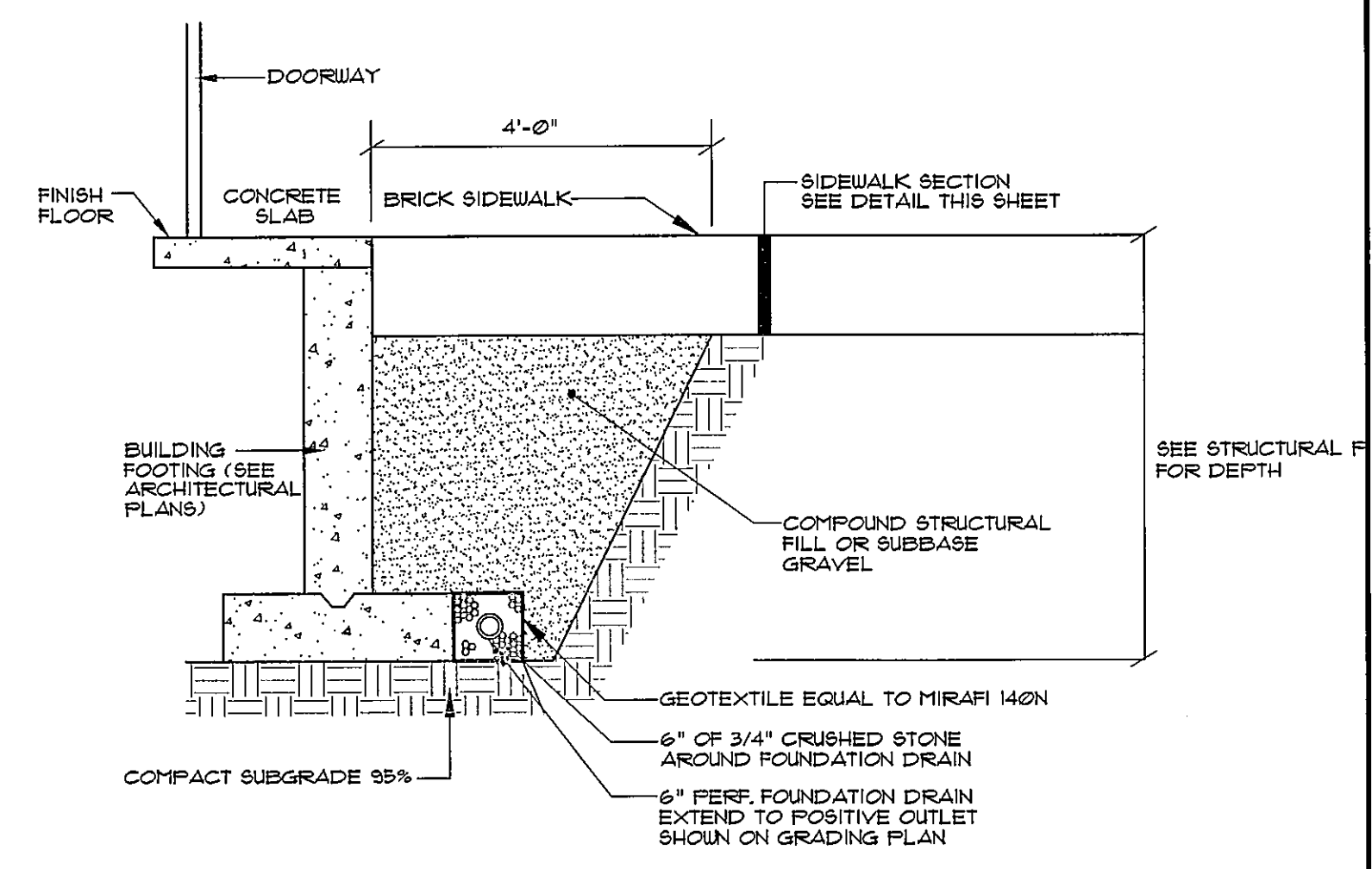


TYPICAL FOUNDATION DRAIN SECTION
NOT TO SCALE

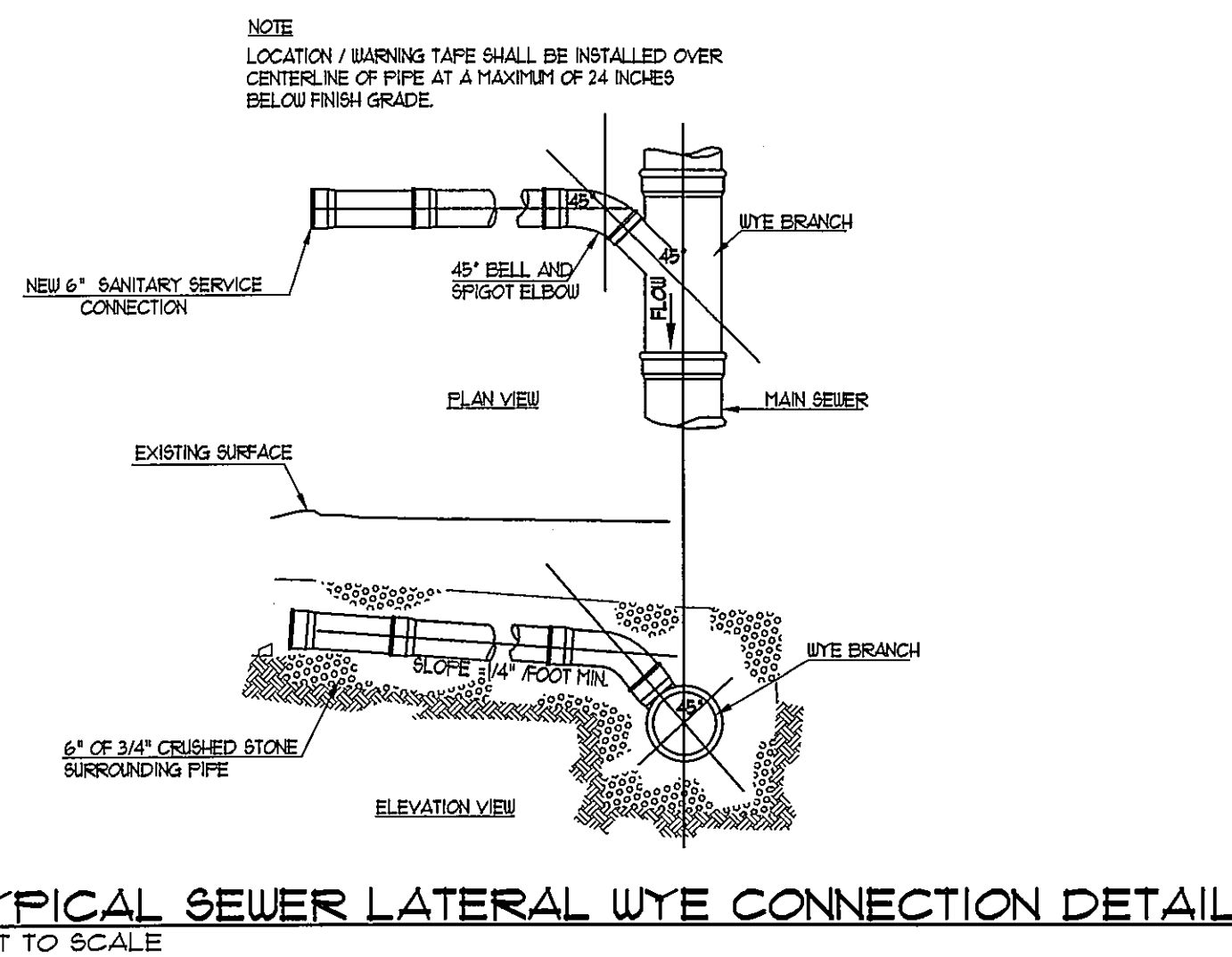


INSTALLATION NOTES:
1. DEWATERING IF NECESSARY FOR FOUNDATION EXCAVATION AND CONSTRUCTION. REMOVAL OF ACCUMULATED SEDIMENT SHALL BE ACCOMPLISHED WITHOUT DISCHARGING SEDIMENT LADEN WATER TO THE CITY OF PORTLAND STORMWATER INFRASTRUCTURE.
2. CONTRACTOR MAY UTILIZE A GEOTEXTILE PUMPED SEDIMENT CONTROL DEVICE ("DIRTBAG" OR EQUIVALENT).
3. INSTALL DIRTBAG ON A 3" BED OF HAY TO MAXIMIZE FLOW OF WATER THROUGH ALL SURFACES OF THE BAG.
4. SURROUND DIRTBAG WITH A DOUBLE ROW OF SILTATION FENCE, OR AN EROSION CONTROL BERM BACKED BY SILTATION FENCE.

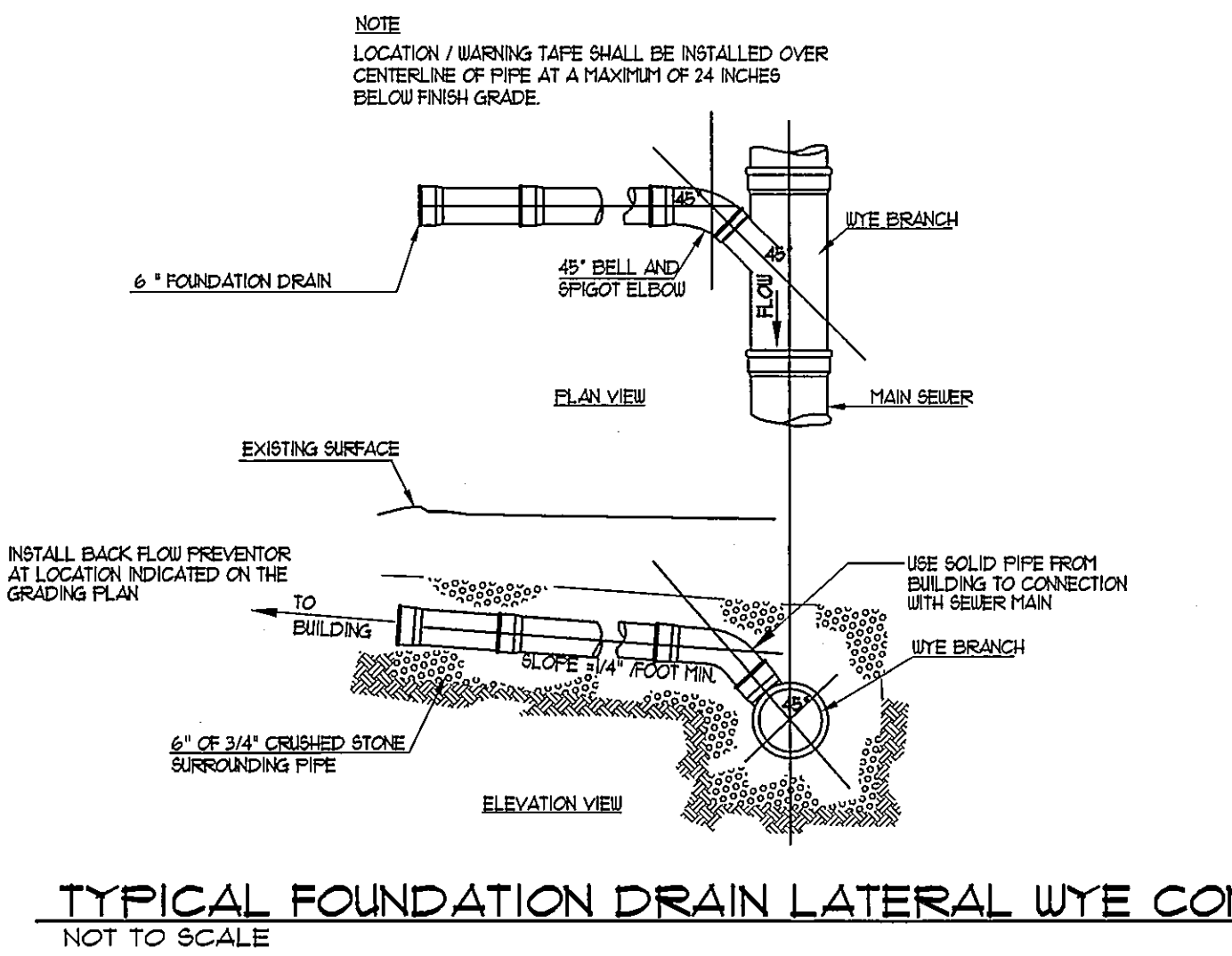
DIRTBAG PUMPED SILT CONTROL SYSTEM
NOT TO SCALE



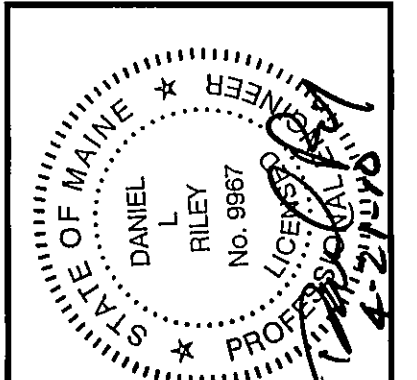
GRANULAR BASE @ DOOR THRESHOLD
NOT TO SCALE



TYPICAL SEWER LATERAL WYE CONNECTION DETAIL
NOT TO SCALE



TYPICAL FOUNDATION DRAIN LATERAL WYE CONNECTION DETAIL
NOT TO SCALE



REVISED PER CONDITIONS OF APPROVAL	4-21-10	DLR	B
REVISED PER CITY STAFF COMMENTS	9-9-10	DLR	B
STATUS: SUBMITTED FOR MINOR SITE PLAN REVIEW	9-30-09	DLR	A
DATE:	BY:	REV:	

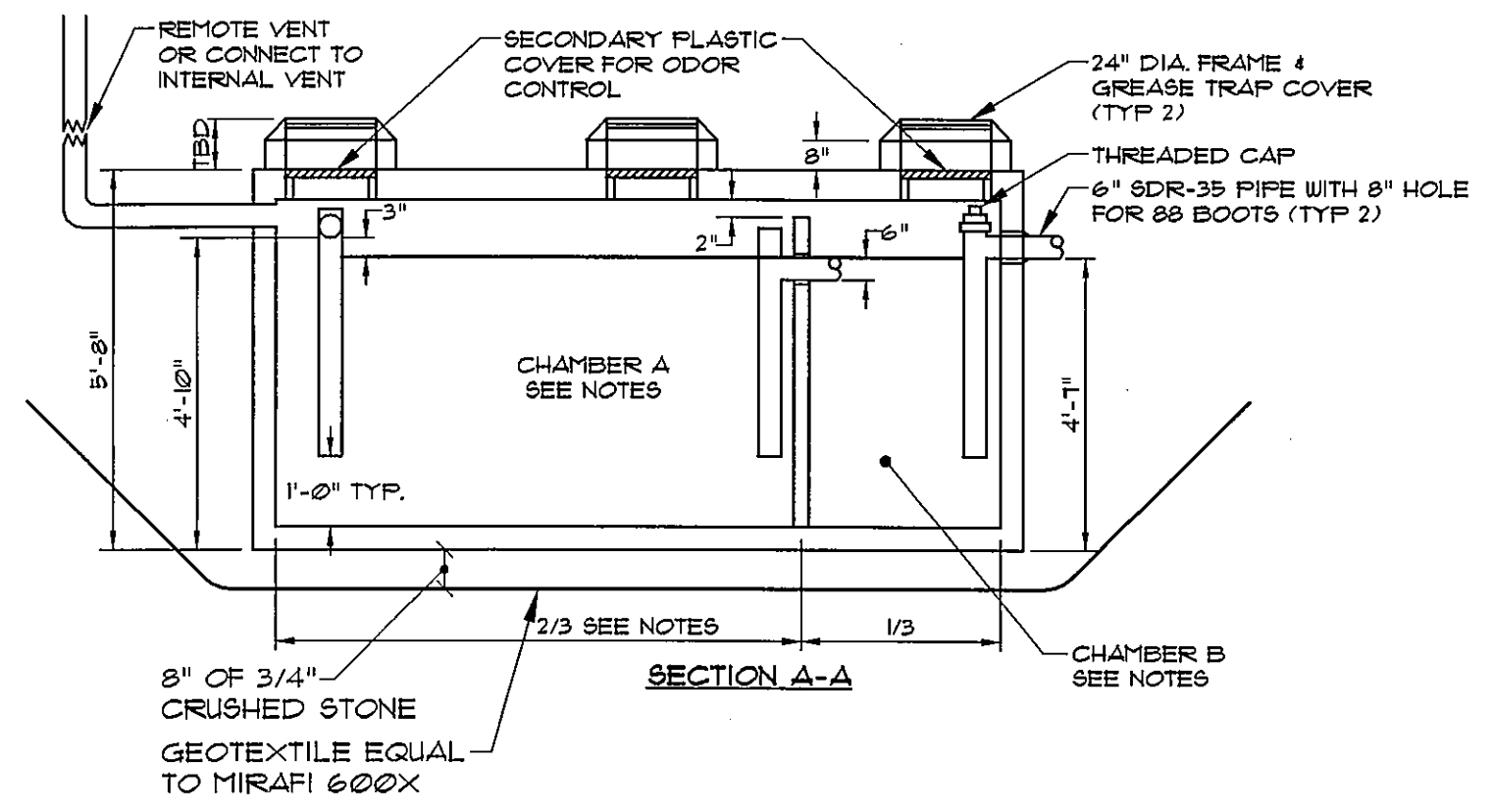
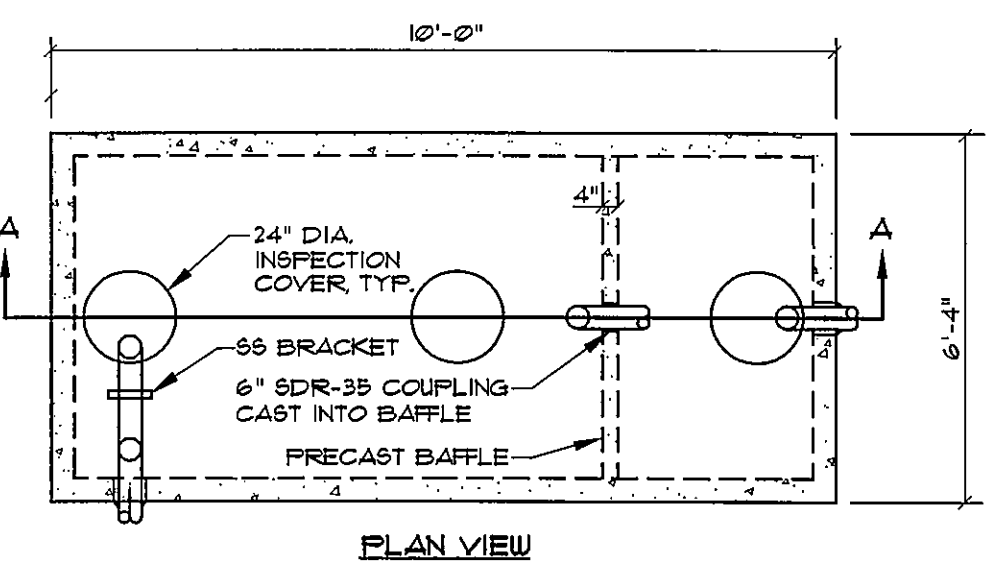
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PROJECT NO.	09313
FIELD BOOK	NA
DESIGN	APP
CHKD	DLR
DRAWN	APP

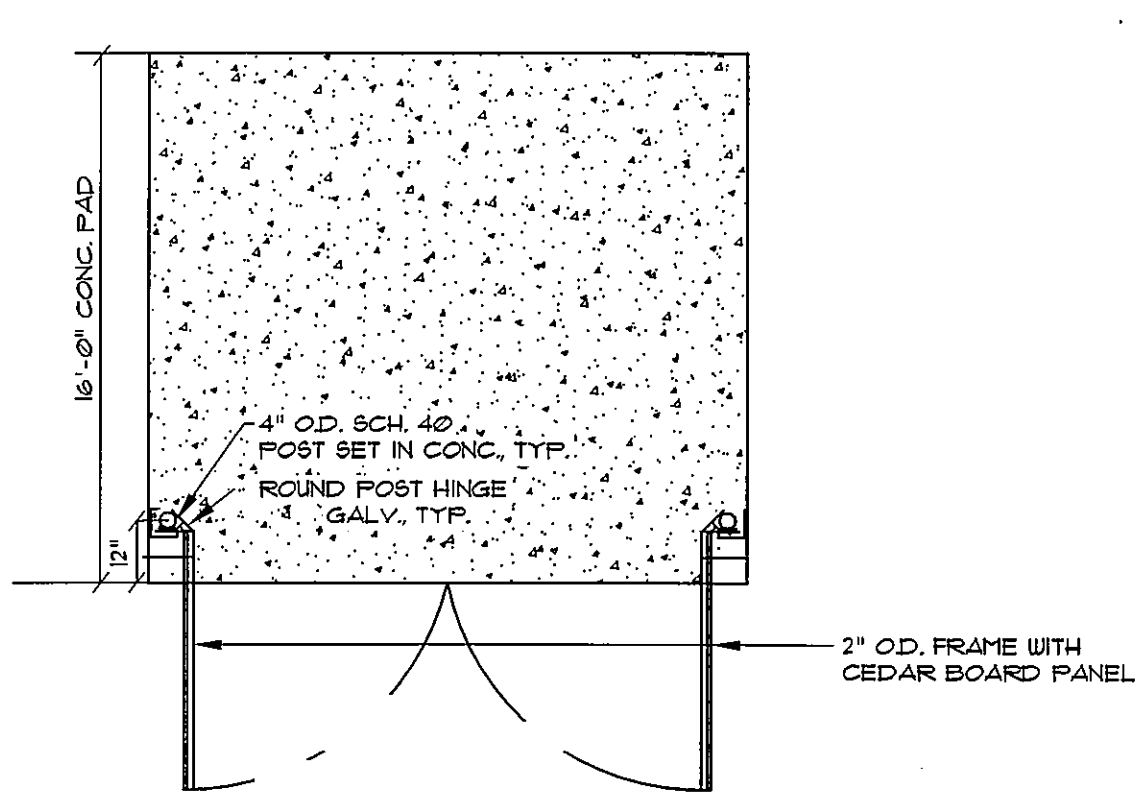
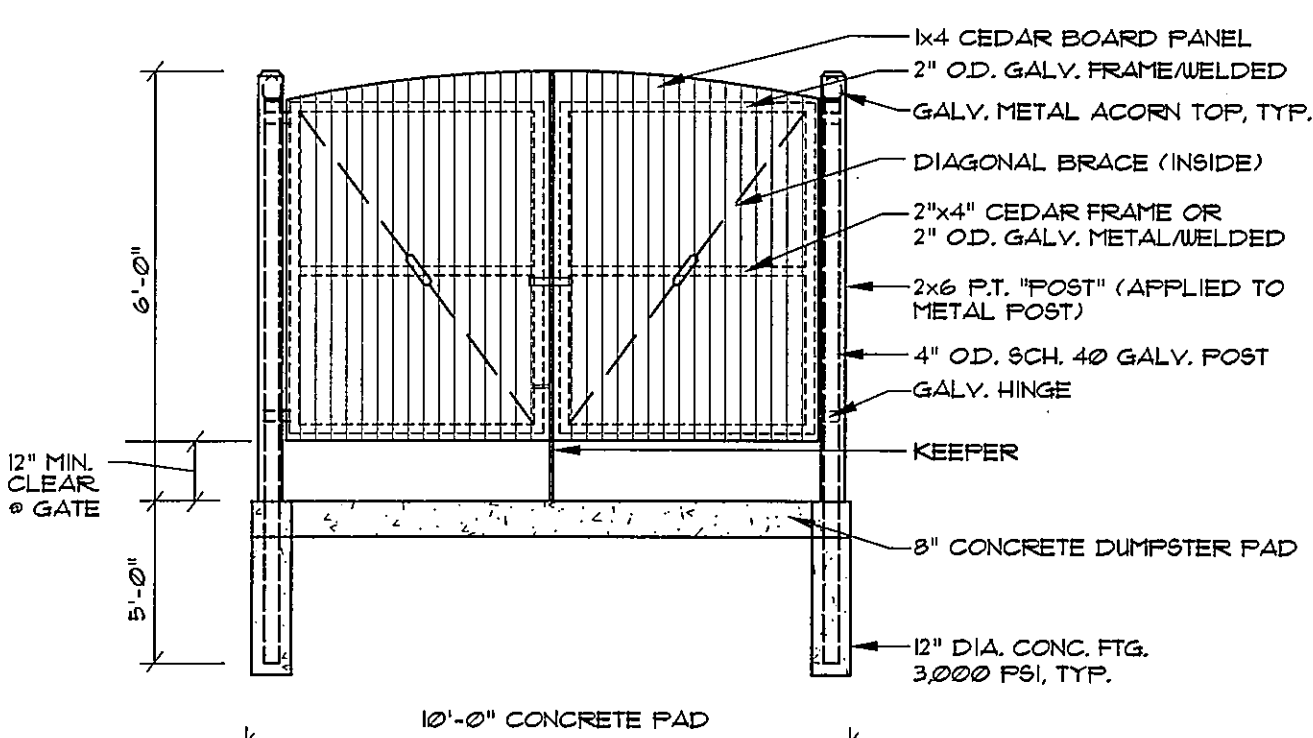
DETAILS OF:
231 YORK STREET
YORK STREET
PORTLAND, MAINE
FOR:
DANA FISHER, LLC.
P.O. BOX 169
PORTLAND, MAINE 04112

DATE	SCALE
9-25-09	N.T.S.

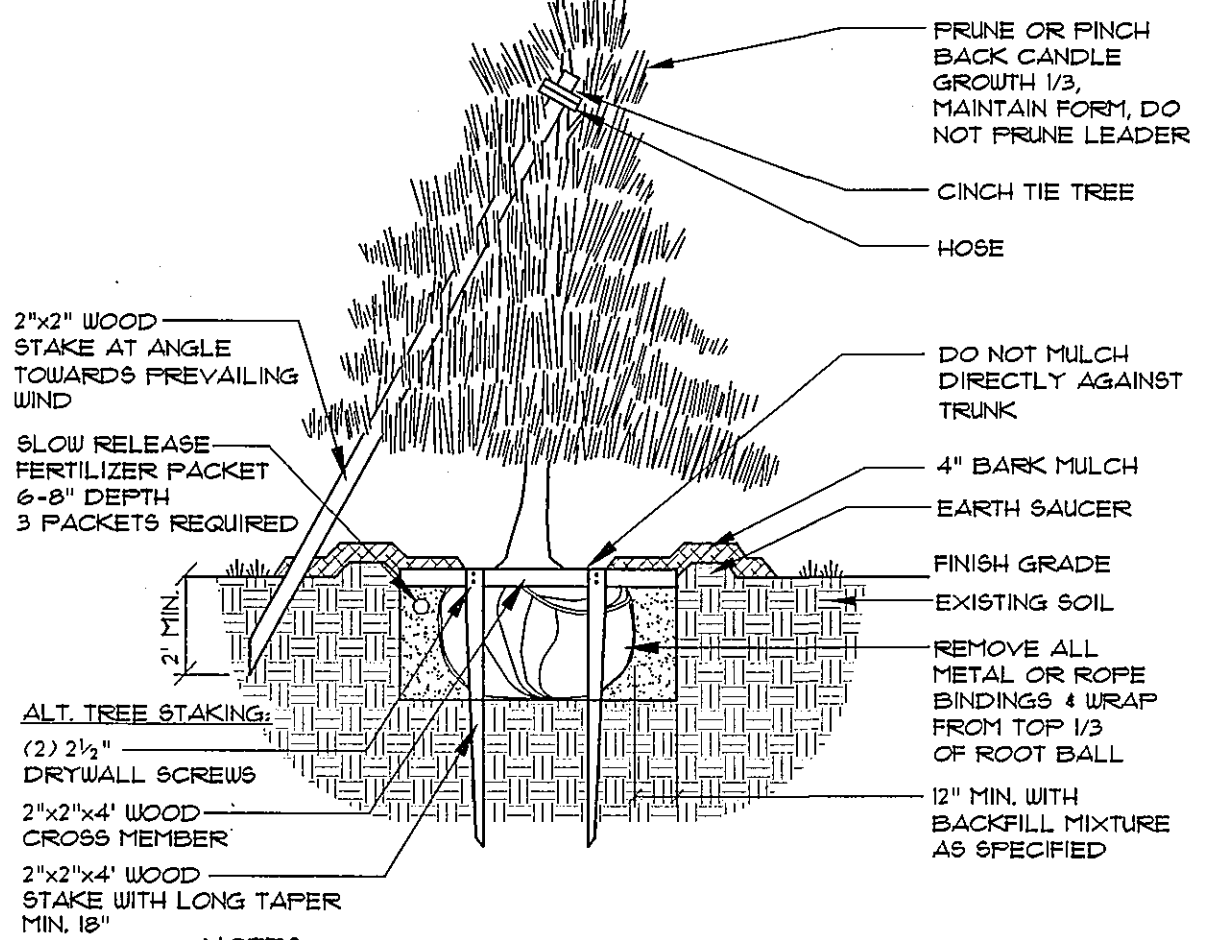
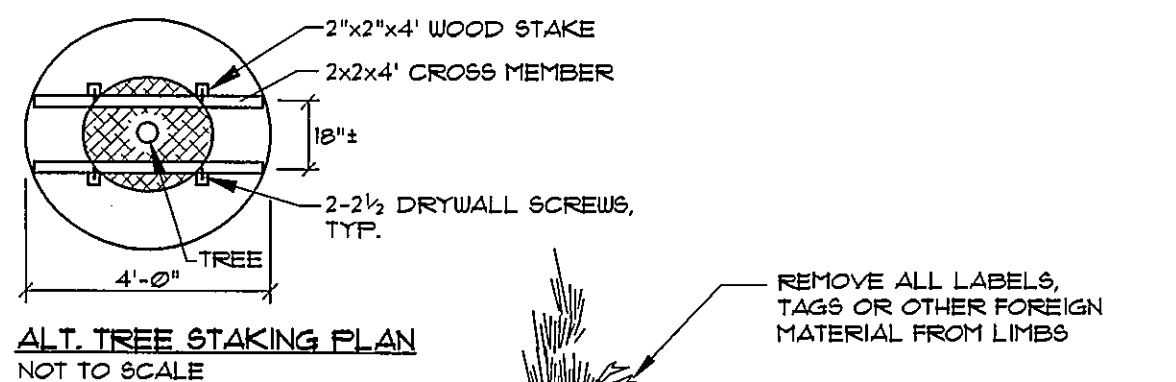


- NOTES:**
1. CONCRETE 5000 PSI AT 28 DAYS
 2. H-20 LOADING
 3. JOINTS SEALED WITH BUTYL RUBBER JOINT SEALANT (ASBESTO M-19)
 4. FORMULA FOR SIZING THE TRAP, TANK SHALL BE SIZED TO PROVIDE A MINIMUM TOTAL VOLUME OF 1250 GALLONS.
- CHAMBER "A" (2/3 OF TANK VOLUME) MUST BE EQUIVALENT TO THE AVERAGE DAILY PROCESS FLOW FROM THE FACILITY (1000 GALLONS MINIMUM)
- CHAMBER "B" SHALL PROVIDE 1/3 OF TANK VOLUME (500 GALLONS MINIMUM)
5. NO DOMESTIC SANITARY OR OTHER EXTRANEIOUS WASTES SHALL FLOW THROUGH TANK

GREASE TRAP
NOT TO SCALE



TYPICAL DUMPSTER GATE
NOT TO SCALE

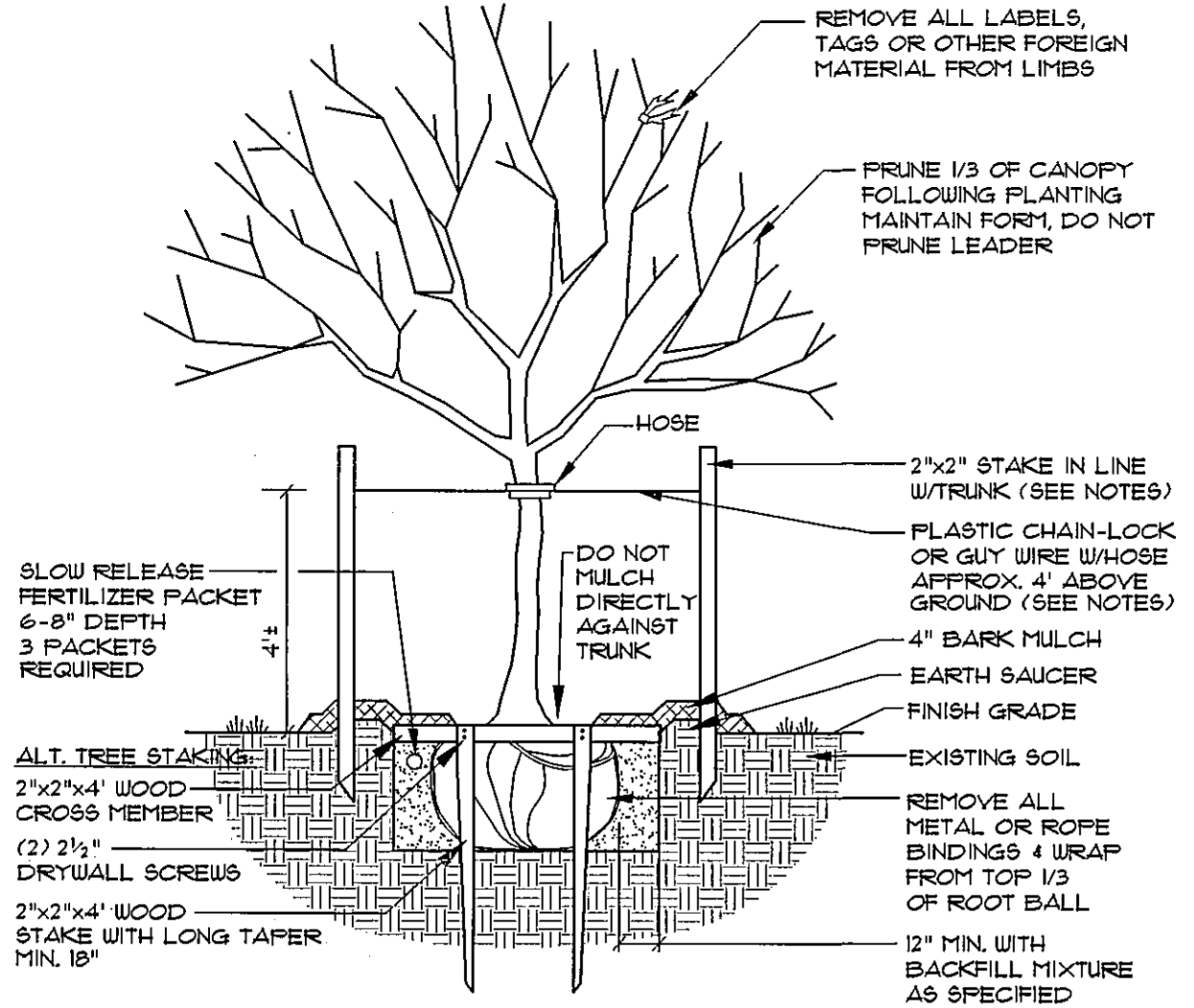
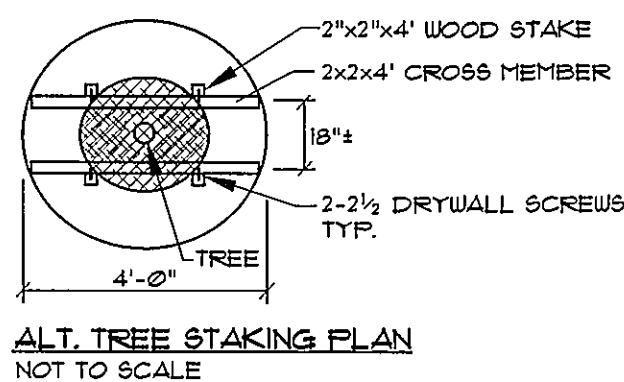


- NOTES:**
1. THE TREE IS OF SUBSTANTIAL SIZE.
 2. THE PLANTING LOCATION IS EXTREMELY WINDY, AS ON OPEN UNDEVELOPED SITES.
 3. THE PLANTING LOCATION IS COMPRISED OF SAND OR OTHER LOOSE TEXTURED SOILS.
 4. IF STAKES AND GUYS ARE REQUIRED, REMOVE AFTER ONE YEAR TIME.

DECIDUOUS TREES UNDER 2\"/>

EVERGREEN TREES 1\"/>

NOT TO SCALE



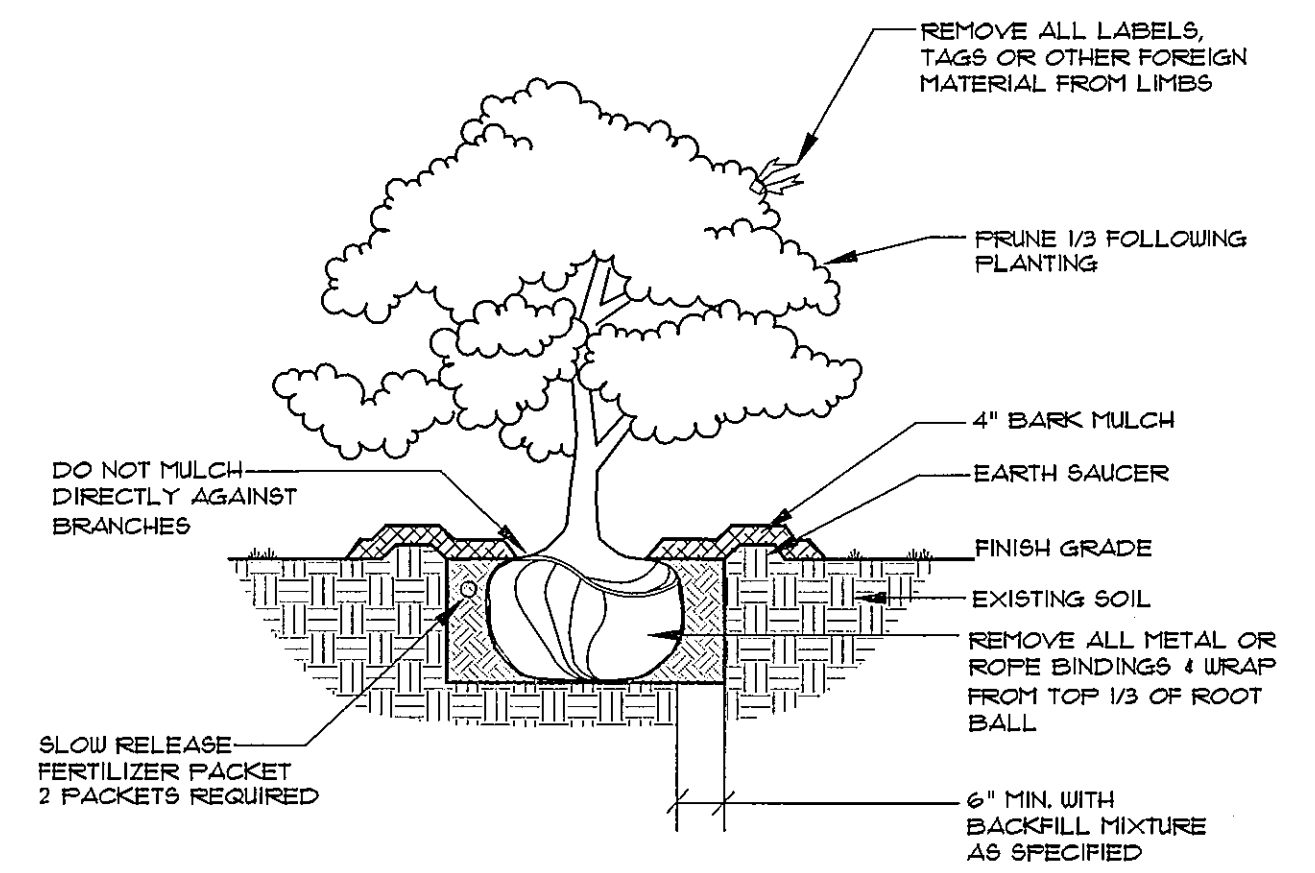
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 4. IF STAKES AND GUYS ARE REQUIRED, REMOVE AFTER ONE YEAR TIME.

DECIDUOUS TREES 2\"/>

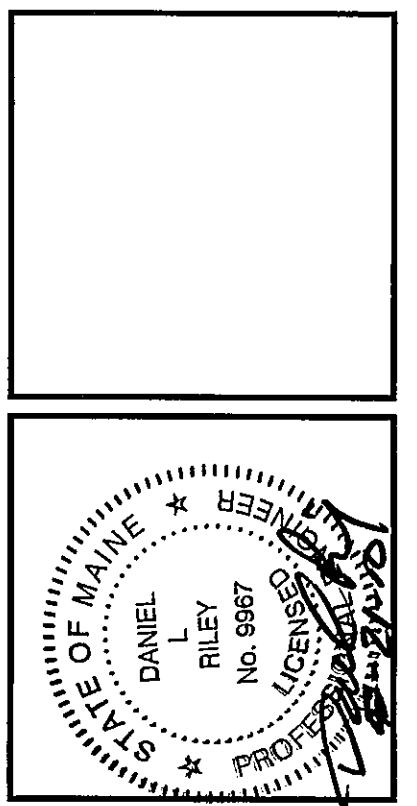
NOT TO SCALE

LANDSCAPE NOTES

1. PLANT QUANTITIES SHOWN ON PLANT LISTS ARE FOR CONVENIENCE TO THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE FOR ALL PLANT MATERIAL INSTALLATION AS SHOWN ON PLANS.
2. SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF "U.S.A. STANDARD FOR NURSERY STOCK," BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
3. ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE.
4. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE FIT PREPARATION, FRUNING, STAKING OR GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE BY THE OWNER.
5. PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BY THE CONTRACTOR AND A PERIOD OF TWO YEARS THEREAFTER BY THE OWNER FROM DATE OF INSTALLATION. DURING THE ONE YEAR GUARANTEE PERIOD, DEAD PLANT MATERIAL SHALL BE REPLACED AT NO COST TO THE OWNER. AT THE END OF THE ONE YEAR PERIOD, THE CONTRACTOR SHALL OBTAIN FINAL ACCEPTANCE FROM THE OWNER.
6. ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
7. EXISTING TREES TO BE PRESERVED WILL BE PROTECTED DURING CONSTRUCTION AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
8. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF THE UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF SAME BEFORE COMMENCING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES, PAVING, WALKS, CURBING, ETC. DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO THE OWNER.
9. ALL SHRUB BEDS SHALL BE MULCHED WITH 3\"/>
- 10. THE CONTRACTOR SHALL PROVIDE 4\"/>
- 11. ANY DEVIATION FROM THE LANDSCAPE PLAN, INCLUDING PLANT LOCATION, SELECTION, SIZE, QUANTITY OR CONDITION SHALL BE REVIEWED AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT (AND MUNICIPAL AUTHORITY, IF APPLICABLE) PRIOR TO INSTALLATION ON SITE.
- 12. WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR PERENNIAL AND ANNUAL FLOWER BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.



DECIDUOUS & EVERGREEN SHRUB
NOT TO SCALE



REVISED PER CONDITIONS OF APPROVAL	DATE	BY
REVISED PER CITY STAFF COMMENTS	4-21-10	DLR
SUBMITTED FOR MINOR SITE PLAN REVIEW	3-8-10	DLR
STATUS:	9-30-09	DLR

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Tel: (207) 655-0277
Fax: (207) 768-9666
WWW.SEBAGOTECHNICS.COM

PROJECT NO. 08313

DESIGN	CHKD	DRAWN
N/A	APP	APP

DETAILS
OF:
231 YORK STREET
YORK STREET
PORTLAND, MAINE
FOR:
DANA FISHER, LLC.
P.O. BOX 169
PORTLAND, MAINE 04112