

N.T.S.

- THE RECORD OWNER OF THE PROPERTY IS DANA FISHER, LLC. AS DESCRIBED IN A DEED RECORDED AT THE
- TOPOGRAPHIC SURVEY ON YORK AND BRACKETT STREET PORTLAND MAINE PREPARED BY OWEN HASKEL, INC.
- 4. UTILITY INFORMATION SHOWN ON THESE PLANS IS BASED SOLELY ON THE FOLLOWING PLANS;

 A. PORTLAND S. PORTLAND BRIDGE OVER FORE RIVER, PREPARED BY STATE OF MAINE DEPARTMENT

 OF TRANSPORTATION MAY 31, 1994 SHEET 5 OF 5
- C. 5 UNIT CONDOMINIUMS, 20-24 BRACKETT STREET PREPARED BY OAK POINT ASSOCIATES DATED
- D. STATE OF MAINE DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP, STATE HIGHWAY "14" SPUR,

"ALL UTILITY LOCATIONS SHOWN ON THIS PLAN ARE BASED ON PLANS BY OTHERS AND FIELD OBSERVATIONS. NO SURVEY LOCATION OF UTILITIES WAS PERFORMED BY SEBAGO TECHNICS AS PART OF THESE PLANS. ALL LOCATIONS ARE CONSIDERED APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXACT LOCATION OF UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING DIGSAFE PRIOR TO

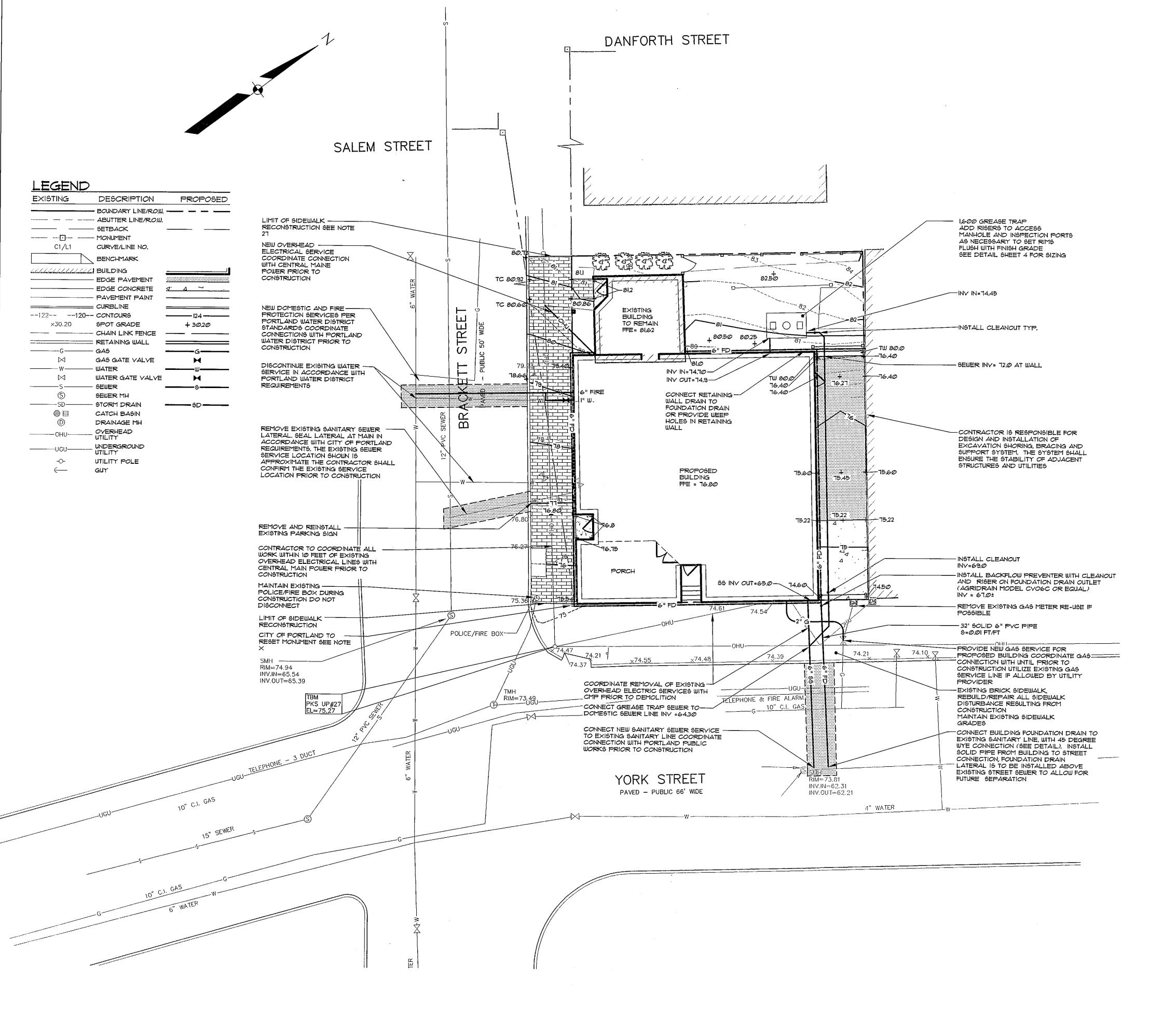
- 5. BEARINGS ARE BASED ON MAINE STATE PLANE WEST ZONE, NAD 83. ELEVATION INFORMATION IS BASED ON

- 9. THE FACILITY IS SERVICED BY CITY SEWER, WATER, GAS, OVERHEAD ELECTRIC, TELEPHONE AND CABLE.
- 10. METHODS AND MATERIALS USED IN THE CONSTRUCTION OF THE IMPROVEMENTS HEREIN SHALL CONFORM TO THE CURRENT CITY CONSTRUCTION STANDARDS AND SPECIFICATIONS AND/OR CURRENT M.D.O.T. STANDARDS AND
- THE CONTRACTOR OR DEVELOPER IS REQUIRED TO NOTIFY THE CITY OF PORTLAND PUBLIC SERVICES DIVISION IN WRITING THREE (3) DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION (874-8300 EXT. 8838), SHOULD THE IMPROVEMENTS BE OF SIGNIFICANT CONCERN OR IN A SENSITIVE AREA, A PRE-CONSTRUCTION MEETING MAY BE
- 12. AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE. THE DEVELOPER, OR AN AUTHORIZED AGENT, MUST BE AVAILABLE AT ALL TIMES DURING CONSTRUCTION.
- 13. WARNING SIGNS, MARKERS, BARRICADES OR FLAG MEN, APPROPRIATE FOR THE TYPE OF CONSTRUCTION MUST BE
- 14. CONSTRUCTION DEBRIS SHALL BE CONTAINERIZED AND DISPOSED OF IN ACCORDANCE WITH CITY OF
- 15. ANY DAMAGE TO PUBLIC OR PRIVATE PROPERTY RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE
- 16. PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED AT ALL TIMES DURING CONSTRUCTION TO INSURE THEIR INTEGRITY. IF DISTURBED THEY SHALL BE REPLACED BY A SURVEYOR REGISTERED IN THE STATE OF MAINE AT THE CONTRACTOR/DEVELOPER'S EXPENSE.
- 17. ALL SANITARY SERVICES AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT
- 18. ALL NEW CONNECTIONS, RECONNECTIONS, ETC. TO SANITARY OR STORM SEWERS SHALL REQUIRE A CONNECTION PERMIT PRIOR TO BEGINNING ANY WORK THE CITY OF PORTLAND PUBLIC SERVICES DIVISION MUST BE NOTIFIED
- 19. A PERMIT MUST BE OBTAINED FROM THE CITY OF PORTLAND PUBLIC SERVICES DIVISION PRIOR TO BEGINNING
- 20. PRIOR TO ABANDONING ANY STORM SEWER OR SANITARY SEWER LATERAL, THE CONTRACTOR SHALL ACQUIRE A SEAL DRAIN PERMIT FROM THE CITY OF PORTLAND DEPARTMENT OF PUBLIC SERVICES. THE CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE TO THE SEWER MAINTENANCE DIVISION STATING THE DATE AND TIME THE CONTRACTOR INTENDS TO COMPLETE THE WORK. THE CONTRACTOR SHALL EXCAVATE TO EXPOSE THE LATERAL AT THE PROPERTY LINE AND SHALL INSTALL AN INFLATABLE PLUG IN THE LATERAL TO BE POSITIONED WHERE THE LATERAL CONNECTS TO THE STREET SEWER AS DETERMINED BY CITY STAFF. THE PLUG SHALL BE SECURED BY CABLE OR CHAIN AND THE LATERAL FILLED WITH PUMPED GROUT STARTING AT THE PLUG AND
- THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATIONS TO OR DEVIATIONS FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION, TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS SIZE, LOCATION AND SURFACING OF PARKING AREAS, AND
- 22. THE APPLICANT SHALL SUPPLY AND INSTALL TWO (2) BIKE RACKS OR HITCHES WHICH WILL HOLD TWO BIKES EACH IN THE VICINITY OF THE PROJECT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, LOCATION TO BE AGREED WITH THE CITY PUBLIC SERVICES DEPARTMENT AND CITY ARBORIST, THESE MAY BE LOCATED IN THE RIGHT-OF-WAY OR ON CITY LAND BUT IF SO LOCATED SHALL BE ONE OF THE TWO TYPES OF RACK
- STREET DURING THE SUMMER OF 2010. THE APPLICANT IS NOT REQUIRED TO CONSTRUCT THIS SIDEWALK.

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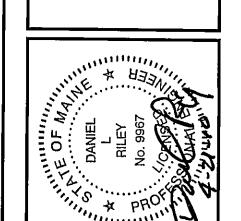
		4-21-10 REVISED PER CONDITIONS OF APPROVAL	3-8-10 REVISED PER CITY STAFF COMMENTS	9-30-09 SUBMITTED FOR MINOR SITE PLAN REVIEW	DATE: STATUS:	NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS. INC.
		DLR	DLR	DLR	BY:	
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SCALE 9-25-09



CONSTRUCTION NOTES

- 1. ALL WORK SHALL CONFORM TO THE APPLICABLE CODES AND ORDINANCES.
- 2. CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIM OR HERSELF WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIM OR HERSELF WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION, ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
- 3. CONTRACTOR SHALL NOTIFY ENGINEER OF ALL ITEMS NOTED AS "EXISTING" WHICH ARE NOT FOUND IN THE FIELD.
- 4. INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND OWNER'S REQUIREMENTS UNLESS SPECIFICALLY OTHERWISE INDICATED OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
- 5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO FABRICATION AND ERECTION OF ANY MATERIAL, ANY UNUSUAL CONDITIONS SHALL BE REPORTED TO THE ATTENTION OF THE ENGINEER.
- 6. CONTRACTOR SHALL CLEAN AND REMOVE DEBRIS AND SEDIMENT DEPOSITED ON PUBLIC STREETS, SIDEWALKS, ADJACENT AREAS, OR OTHER PUBLIC WAYS DUE TO CONSTRUCTION.
- CONTRACTOR SHALL INCORPORATE PROVISIONS AS NECESSARY IN CONSTRUCTION TO PROTECT EXISTING STRUCTURES, PHYSICAL FEATURES, AND MAINTAIN SITE STABILITY DURING CONSTRUCTION, CONTRACTOR SHALL RESTORE ALL AREAS TO ORIGINAL CONDITION AND AS DIRECTED BY DESIGN DRAWINGS.
- 8. SITE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES" PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.
- 10. THE CONTRACTOR IS HEREBY CAUTIONED THAT ALL SUBSURFACE UTILITY LINES SHOWN HEREON ARE BASED SOLELY ON THE FIELD LOCATION OF VISIBLE STRUCTURES, SMH'S, CB'S, HYDRANTS, ETC... IN CONJUNCTION WITH DESIGN AND OR AS-BUILT PLANS SUPPLIED TO SEBAGO TECHNICS INC. BY OTHERS. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. PRIOR TO ANY CONSTRUCTION, EXCAVATION, TEST BORINGS, DRILLING, ETC. THE CONTRACTOR SHALL CONTACT DIG SAFE (1-888-DIGSAFE) AT LEAST THREE (3) BUT NOT MORE THAN THIRTY (30) DAYS PRIOR TO COMMENCEMENT AND A SITE IDENTIFICATION NUMBER ALONG WITH A SAFE TO DIG DATE OBTAINED. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION, DEPTH AND MATERIAL OF ALL SUBSURFACE UTILITY LINES SHOWN HEREON AND ANY AND ALL OTHERS LOCATED ON SITE WITHIN THE CONSTRUCTION AREA
- CONTRACTOR SHALL BE AWARE THAT DIG SAFE ONLY NOTIFIES ITS "MEMBER" UTILITIES ABOUT THE DIG, WHEN NOTIFIED, DIG SAFE WILL ADVISE CONTRACTOR OF MEMBER UTILITIES IN THE AREA, CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND CONTACTING NON-MEMBER UTILITIES DIRECTLY, NON-MEMBER UTILITIES MAY INCLUDE TOWN OR CITY WATER AND SEWER DISTRICTS AND SMALL LOCAL UTILITIES, AS WELL AS USG PUBLIC WORKS SYSTEMS,
- 12. CONTRACTORS SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF 23 MRSA 3360-A. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITIES TO OBTAIN AUTHORIZATION PRIOR TO RELOCATION OF ANY EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS. IF A UTILITY CONFLICT ARISES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER, THE MUNICIPALITY AND APPROPRIATE UTILITY COMPANY PRIOR TO PROCEEDING WITH ANY RELOCATION.
- ALL PAYEMENT MARKINGS AND DIRECTIONAL SIGNAGE SHOWN ON THE PLAN SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS.
- 14. ALL PAVEMENT JOINTS SHALL BE SAUCUT PRIOR TO PAVING TO PROVIDE A DURABLE AND UNIFORM JOINT,
- 15. NO HOLES, TRENCHES OR STRUCTURES SHALL BE LEFT OPEN OVERNIGHT IN ANY EXCAVATION ACCESSIBLE TO THE PUBLIC OR IN PUBLIC RIGHTS-OF-WAY.
- 16. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE A M.D.O.T. PERMIT AS WELL AS PERMITS FROM THE CITY AS APPLICABLE.
- 17. IMMEDIATELY UPON COMPLETION OF CUTS/FILLS, THE CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH EROSION CONTROL NOTES AND AS SPECIFIED ON PLANS.
- 18. THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR THE REMOVAL, REPLACEMENT AND RECTIFICATION OF ALL DAMAGED AND DEFECTIVE MATERIAL AND WORKMANSHIP IN CONNECTION WITH THE CONTRACT WORK, THE CONTRACTOR SHALL REPLACE OR REPAIR AS DIRECTED BY THE OWNER ALL SUCH DAMAGED OR DEFECTIVE MATERIALS WHICH APPEAR WITHIN A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.
- 19. ALL WORK PERFORMED BY THE GENERAL CONTRACTOR AND/OR TRADE SUBCONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF LOCAL, STATE OR FEDERAL LAWS, AS WELL AS ANY OTHER GOVERNING REQUIREMENTS, WHETHER OR NOT SPECIFIED ON THE DRAWINGS.
- 20. WHERE THE TERMS "APPROVED EQUAL", "OTHER APPROVED", "EQUAL TO", "ACCEPTABLE" OR OTHER GENERAL QUALIFYING TERMS ARE USED IN THESE NOTES, IT SHALL BE UNDERSTOOD THAT REFERENCE IS MADE TO THE RULING AND JUDGMENT OF SEBAGO TECHNICS, INC.
- 21. THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR THE WORK UNTIL TURNED OVER TO THE OWNER
- 22. THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS ON SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES.
- 23. THE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ANY CHANGES AND DEVIATION OF APPROVED PLANS NOT AUTHORIZED BY THE ARCHITECT/ENGINEER OR OWNER.
- 24. DETAILS ARE INTENDED TO SHOW END RESULT OF DESIGN. ANY MODIFICATION TO SUIT FIELD DIMENSION AND CONDITION SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO ANY WORK.
- 25. BEFORE THE FINAL ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL REMOVE ALL EQUIPMENT AND MATERIALS, REPAIR OR REPLACE PRIVATE OR PUBLIC PROPERTY WHICH MAY HAVE BEEN DAMAGED OR DESTROYED DURING CONSTRUCTION, CLEAN THE AREAS WITHIN AND ADJACENT TO THE PROJECT WHICH HAVE BEEN OBSTRUCTED BY HIS/HER OPERATIONS, AND LEAVE THE PROJECT AREA NEAT AND PRESENTABLE.
- 26. THE CONTRACTOR SHALL DESIGN, FURNISH, INSTALL, MONITOR AND MAINTAIN EXCAVATION SUPPORT AND PROTECTION SYSTEMS CAPABLE OF SUPPORTING EXCAVATION SIDE WALLS AND OF RESISTING SOIL AND HYDROSTATIC PRESSURE AND SUPERIMPOSED AND CONSTRUCTION LOADS, THE SYSTEM SHALL ENSURE THE STABILITY OF ADJACENT STRUCTURES AND UTILITIES. THE DESIGN OF THE EXCAVATION SUPPORT SYSTEM, INCLUDING ESTABLISHING CRITERIA AND PERFORMANCE REQUIREMENTS AND COMPLETING A COMPREHENSIVE ENGINEERING ANALYSIS SHALL BE COMPLETED BY A PROFESSIONAL ENGINEER, LICENSED IN THE STATE OF MAINE.
- 27. THE CITY OF PORTLAND IS SCHEDULED TO INSTALL NEW CURBING AND BRICK SIDEWALK ALONG BRACKETT STREET DURING THE SUMMER OF 2010, THE APPLICANT IS NOT REQUIRED TO CONSTRUCT THIS SIDEWALK.



DLR 4-21-10 REVISED PER CONDITIONS OF APPROVAL	DLR 3-8-10 REVISED PER CITY STAFF COMMENTS	DLR 9-30-09 SUBMITTED FOR MINOR SITE PLAN REVIEW	BY: DATE: STATUS:	'HIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, NUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.
В	В	A	REV:	THIS PLAN SHALL NOT AUTHORIZED OR OTHE

 Sebago Technics

 Engineering Expertise You Can Build On One Chabot Street Vol. Can Build On Lewiston, ME 04240

 Vestbrook, Me 04098-1339 Vestbrook
 Tel (207) 783-5656 Vestpook

 PROJECT NO.
 FIELD BOOK
 DESIGN
 CHKD
 DRAWN

 09313
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 APP
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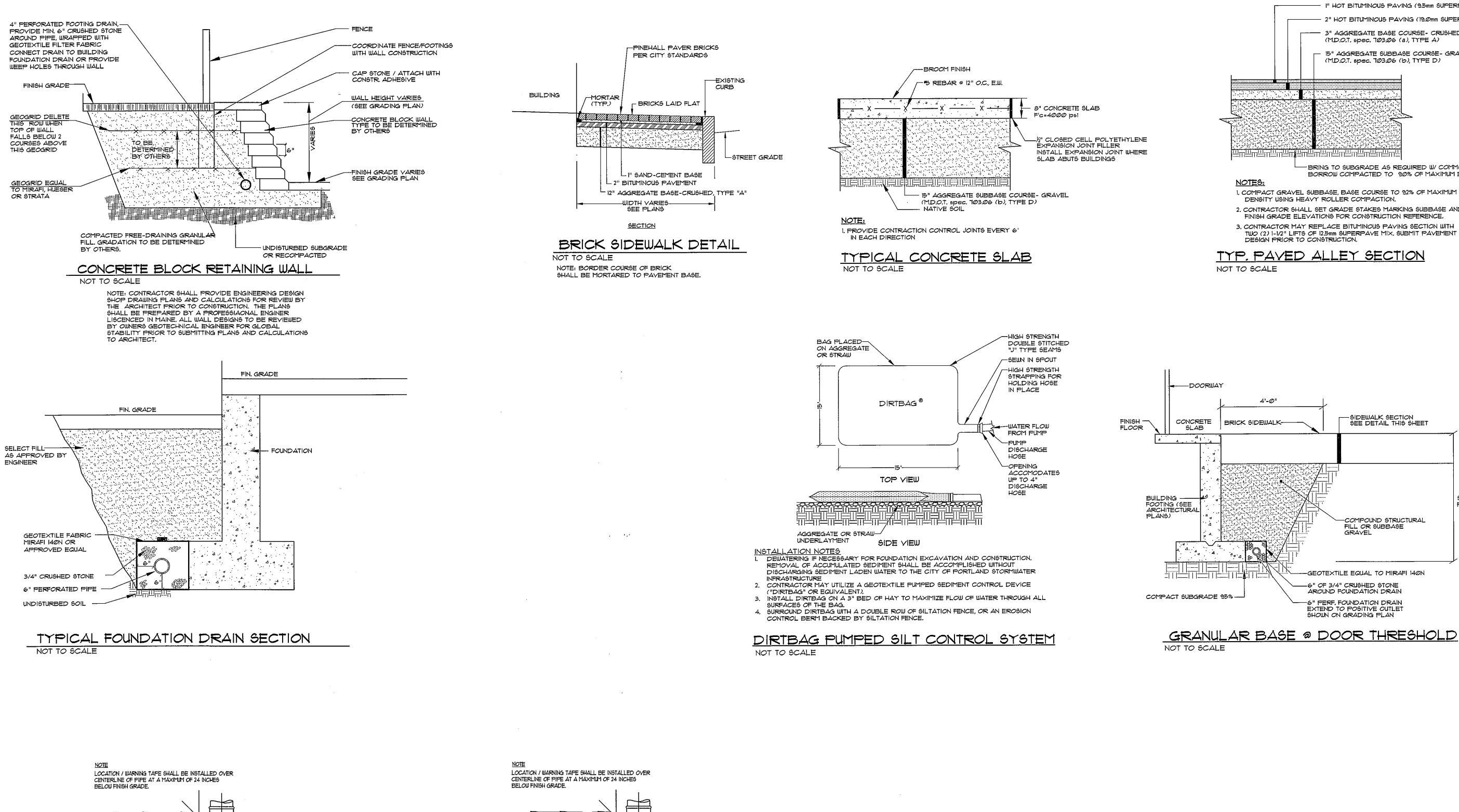
SRADING AND UTILITY PLAN 19: 131 YORK STREET ORK STREET ORTLAND, MAINE OR: DANA FISHER, LLC.

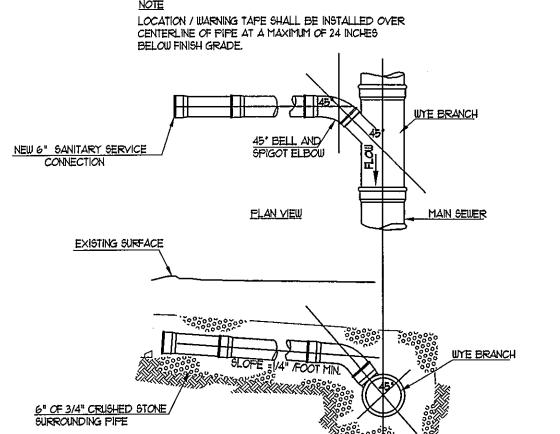
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GRAPHIC SCALE

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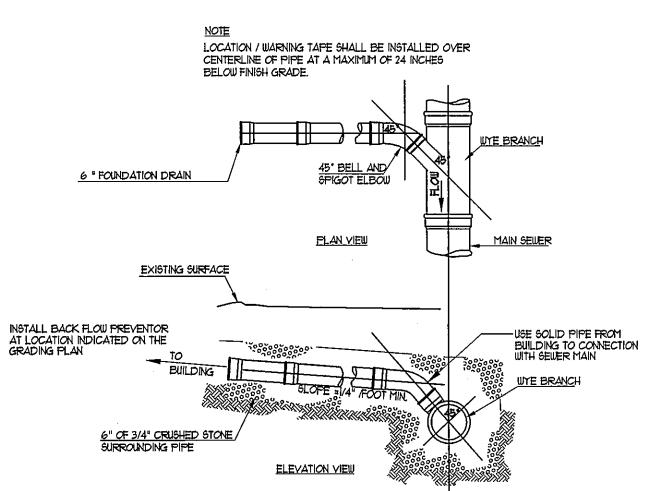
(IN FEET)
1 inch = 10 ft.



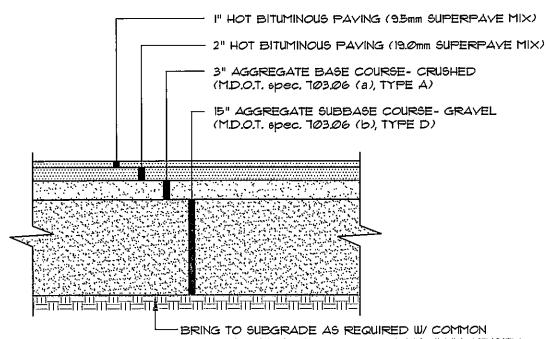


ELEVATION VIEW

TYPICAL SEWER LATERAL WYE CONNECTION DETAIL NOT TO SCALE



TYPICAL FOUNDATION DRAIN LATERAL WYE CONNECTION DETAIL

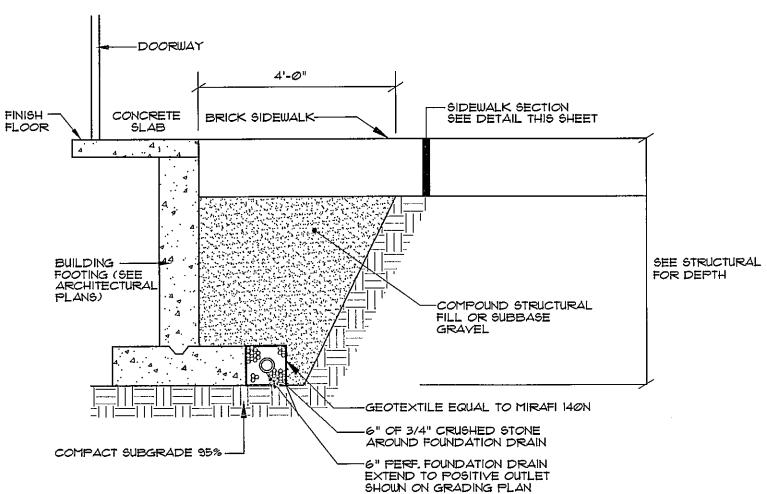


BORROW COMPACTED TO 90% OF MAXIMUM DENSITY.

DENSITY USING HEAVY ROLLER COMPACTION. 2. CONTRACTOR SHALL SET GRADE STAKES MARKING SUBBASE AND FINISH GRADE ELEVATIONS FOR CONSTRUCTION REFERENCE.

3. CONTRACTOR MAY REPLACE BITUMINOUS PAYING SECTION WITH TWO (2) 1-1/2" LIFTS OF 12.5mm SUPERPAVE MIX. SUBMIT PAVEMENT MIX DESIGN PRIOR TO CONSTRUCTION.

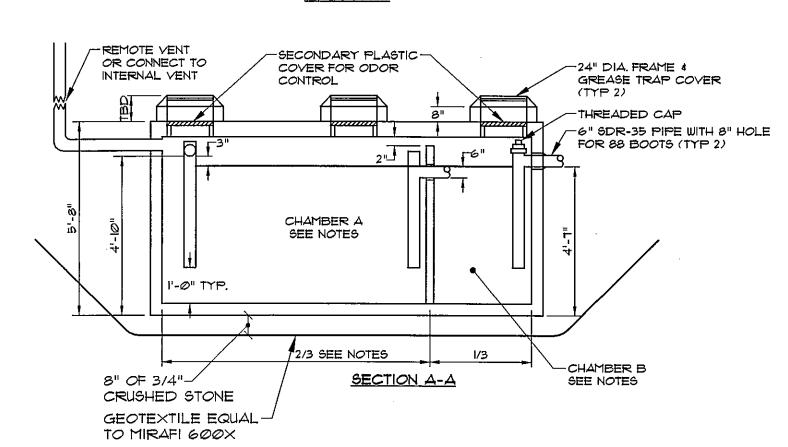
TYP. PAVED ALLEY SECTION



GRANULAR BASE @ DOOR THRESHOLD

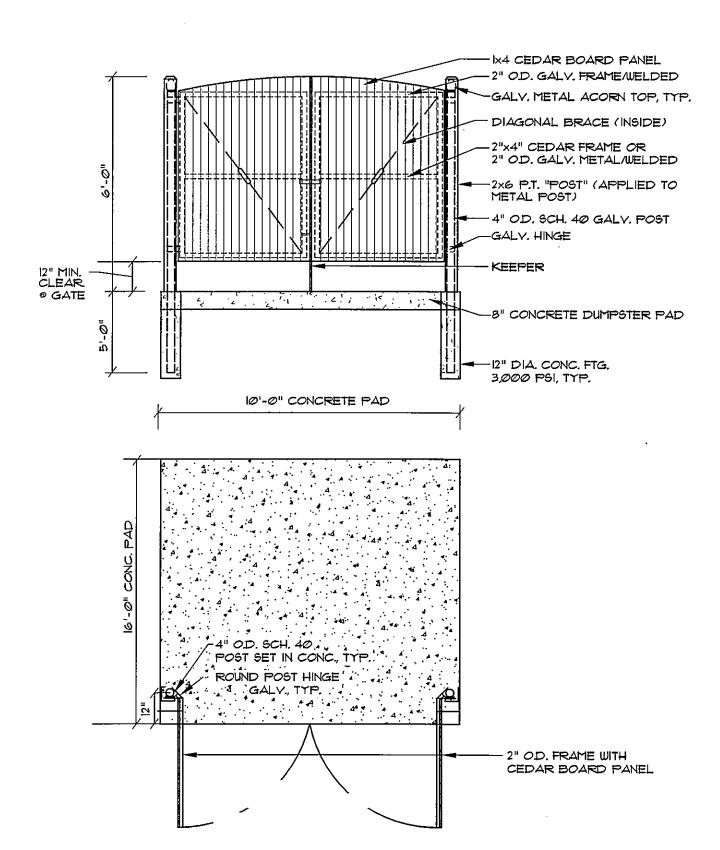
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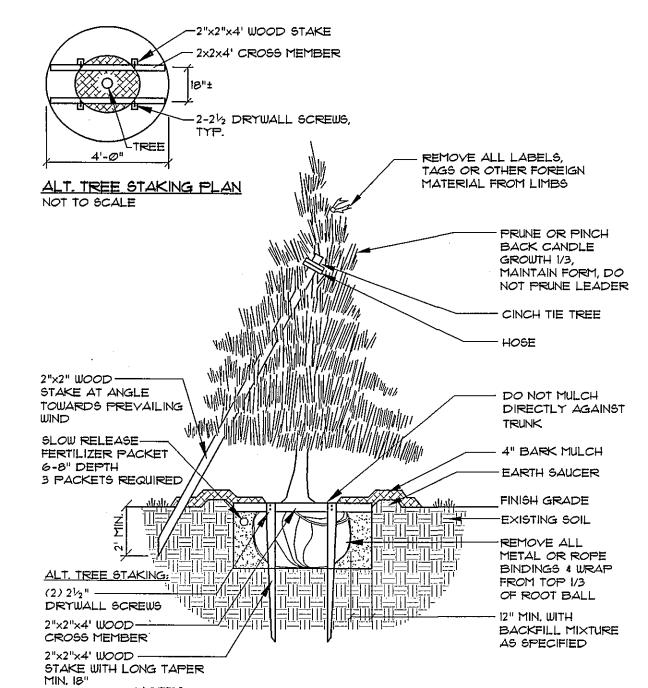


- CONCRETE 5000 PSI AT 28 DAYS
- . H-20 LOADING 3. JOINTS SEALED WITH BUTYL RUBBER JOINT SEALANT (ASSHTO M-19) 4. FORMULA FOR SIZING THE TRAP: TANK SHALL BE SIZED TO
- PROVIDE A MINIMUM TOTAL VOLUME OF 1,250 GALLONS. CHAMBER "A" (2/3 OF TANK YOLUME) MUST BE EQUIYALENT TO THE AVERAGE DAILY PROCESS FLOW FROM THE FACILITY (1,000
- CHAMBER "B" SHALL PROVIDE 1/3 OF TANK VOLUME (500
- 5. NO DOMESTIC SANITARY OR OTHER EXTRANEOUS WASTES SHALL FLOW THROUGH TANK

NOT TO SCALE

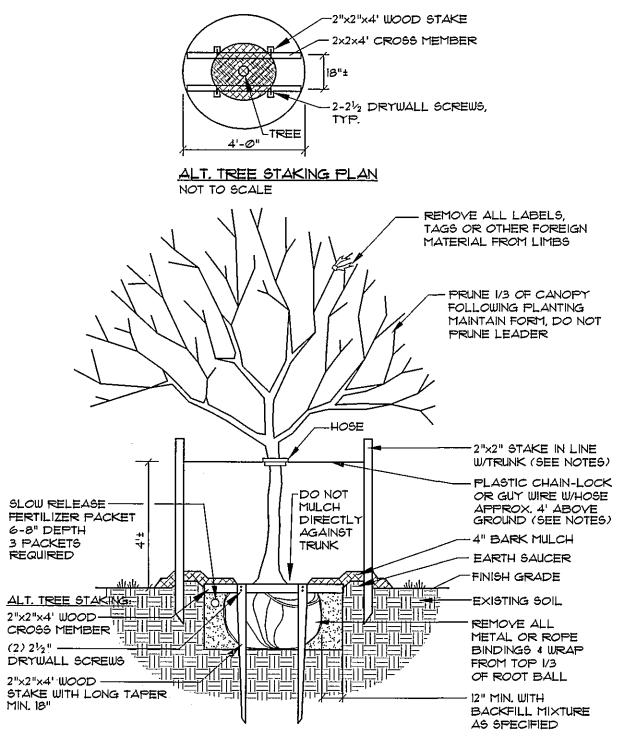


TYPICAL DUMPSTER GATE NOT TO SCALE



- INSTALL STAKES AND GUYS TO TREES IF THE FOLLOWING APPLY:
- I. THE TREE IS OF SUBSTANTIAL SIZE.
- 2. THE PLANTING LOCATION IS EXTREMELY WINDY, AS ON OPEN
- UNDEVELOPED SITES. 3. THE PLANTING LOCATION IS COMPRISED OF SAND OR OTHER
- LOOSE TEXTURED SOILS.
- 4. IF STAKES AND GUYS ARE REQUIRED, REMOVE AFTER ONE

DECIDUOUS TREES UNDER 2" CALIFER OR UNDER 8' IN HEIGHT EVERGREEN TREES 1'-0" IN HEIGHT & UNDER NOT TO SCALE



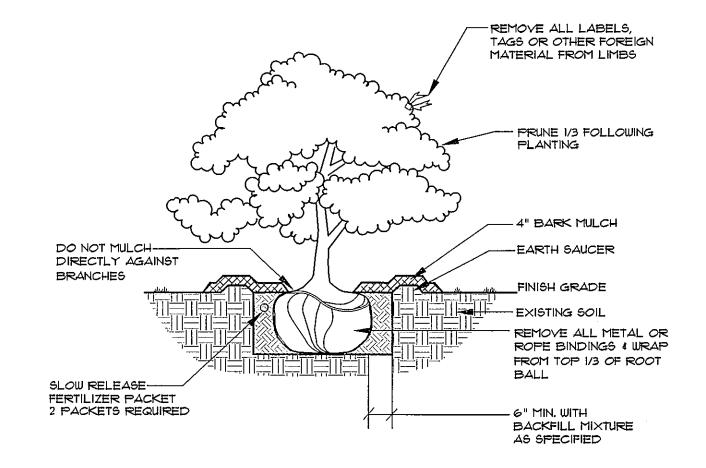
- INSTALL STAKES AND GUYS TO TREES IF THE FOLLOWING APPLY:
- I. THE TREE IS OF SUBSTANTIAL SIZE.
- 2. THE PLANTING LOCATION IS EXTREMELY WINDY, AS ON OPEN UNDEVELOPED SITES.
- 3. THE PLANTING LOCATION IS COMPRISED OF SAND OR OTHER LOOSE TEXTURED SOILS.
- 4. IF STAKES AND GUYS ARE REQUIRED, REMOVE AFTER ONE

DECIDUOUS TREES 2" TO 4" CALIPER

NOT TO SCALE

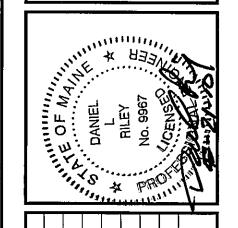
LANDSCAPE NOTES

- PLANT QUANTITIES SHOWN ON PLANT LISTS ARE FOR CONVENIENCE TO THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE FOR ALL PLANT MATERIAL INSTALLATION AS SHOWN ON PLANS.
- SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF "U.S.A. STANDARD FOR NURSERY STOCK," BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- 3. ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE.
- 4. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING, STAKING OR GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE BY THE OWNER.
- PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BY THE CONTRACTOR AND A PERIOD OF TWO YEARS THEREAFTER BY THE OWNER FROM DATE OF INSTALLATION, DURING THE ONE YEAR GUARANTEE PERIOD, DEAD PLANT MATERIAL SHALL BE REPLACED AT NO COST TO THE OWNER. AT THE END OF THE ONE YEAR PERIOD, THE CONTRACTOR SHALL OBTAIN FINAL ACCEPTANCE FROM THE OWNER.
- 6. ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
- 1. EXISTING TREES TO BE PRESERVED WILL BE PROTECTED DURING CONSTRUCTION AND SHALL BE THE RESPONSIBILITY OF THE GENERAL
- 8. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF THE UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF SAME BEFORE COMMENCING AND DIGGING OPERATIONS, THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES, PAVING, WALKS, CURBING, ETC. DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO THE OWNER.
- 9. ALL SHRUB BEDS SHALL BE MULCHED WITH 3" CLEAN SHREDDED DARK BROWN BARK MULCH.
- 10. THE CONTRACTOR SHALL PROVIDE 4" LOAM FOR ALL AREAS TO BE SODDED OR SEEDED. PLANTING AREAS SHALL RECEIVE 12" ROLLED THICKNESS OF LOAM. THE LANDSCAPE CONTRACTOR SHALL COORDINATE SUBGRADE PREPARATION WITH THE GENERAL CONTRACTOR PRIOR TO PLACING LOAM.
- ANY DEVIATION FROM THE LANDSCAPE PLAN, INCLUDING PLANT LOCATION, SELECTION, SIZE, QUANTITY OR CONDITION SHALL BE REVIEWED AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT (AND MUNICIPAL AUTHORITY, IF APPLICABLE) PRIOR TO INSTALLATION ON SITE.
- 12. WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR PERENNIAL AND ANNUAL FLOWER BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8



DECIDUOUS & EVERGREEN SHRUB

NOT TO SCALE



4/21/10, 03:56 P

		REVISED PER CONDITIONS OF APPROVAL	REVISED PER CITY STAFF COMMENTS	SUBMITTED FOR MINOR SITE PLAN REVIEW	STATUS:	THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AN INCOME.
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Technics	250 Goddard Rd Suite B Lewiston, ME 04240 Tel (207) 783-5655	SS.COM
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SCALE 9-25-09 N.T.S.

SHEET 4 OF 4