

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING PERMIT

PERMIT

Permit Number: 100943

Please Read Application And Notes, If Any, Attached

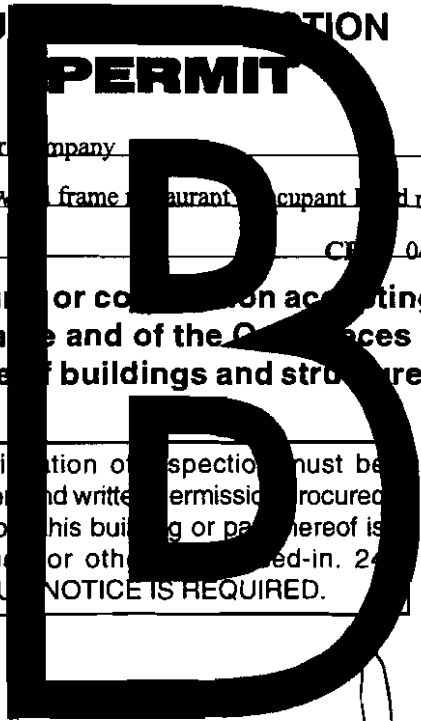
This is to certify that DANA FISHER LLC /Thaxter Company
has permission to Foundation Only for the new wood frame restaurant occupant load max 49
AT 231 YORK ST CE 044 E003001

PERMIT ISSUED

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

AUG 5 2010

City of Portland



Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise finished-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

James Burke 8/5/10
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0943	Issue Date:	CBL: 044 E003001
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Location of Construction: 231 YORK ST	Owner Name: DANA FISHER LLC	Owner Address: PO BOX 169	Phone: 671-5566
Business Name:	Contractor Name: Thaxter Company	Contractor Address: 55 Bell Street Portland	Phone: 2076539822
Lessee/Buyer's Name	Phone:	Permit Type: Foundation Only/Commercial	Zone: B-1

Past Use: Popeye's/Vacant Lot	Proposed Use: Commercial Restaurant/Foundation Only	Permit Fee:	Cost of Work: \$0.00	CEO District: 2
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied Per KG (m) JMB	INSPECTION: Use Group: B Type: SB Foundation Only Signature: JMB 8/5/10	

Proposed Project Description:
Foundation Only for the new wood frame restaurant (Occupant Load max 49)

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)
Action: Approved Approved w/Conditions Denied
Signature: _____ Date: _____

Permit Taken By: jmb	Date Applied For: 08/05/2010	Zoning Approval	
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel 13 zone C</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/> #09-79900017 Date: <i>OK w/conditions</i>	Zoning Appeal <input checked="" type="checkbox"/> Variance (parking) <i>originally approved 8/7/08 thru 8/7/10</i> <input type="checkbox"/> Miscellaneous <input checked="" type="checkbox"/> Conditional Use <i>Restaurant 11/18/08 to 11/18/10</i> <input type="checkbox"/> Interpretation <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>MS</i>
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PERMIT ISSUED

AUG - 5 2010

City of Portland

MS 7/13/10
JMB

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0943	Date Applied For: 08/05/2010	CBL: 044 E003001
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Location of Construction: 231 YORK ST	Owner Name: DANA FISHER LLC	Owner Address: PO BOX 169	Phone: () 671-5566
Business Name:	Contractor Name: Thaxter Company	Contractor Address: 55 Bell Street Portland	Phone: (207) 653-9822
Lessee/Buyer's Name	Phone:	Permit Type: Foundation Only/Commercial	

Proposed Use: Commercial Restaurant/Foundation Only	Proposed Project Description: Foundation Only for the new wood frame restaurant (Occupant Load max 49)
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Jeanine Bourke	Approval Date: 08/05/2010
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
1) Building permit approved on permit 10-0818 and site plan 09-79900017, all conditions apply			
Dept: Building	Status: Approved with Conditions	Reviewer: Jeanine Bourke	Approval Date: 08/05/2010
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
1) This approval is for foundation work only. No further construction is allowed prior to issuance of the building permit # 10-0818.			
2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.			

Comments: 8/5/2010-jmb: Foundation Only permit requested to commence construction for time sensitive variance approval.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0818	Date Applied For: 07/12/2010	CBL: 044 E003001
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Location of Construction: 231 YORK ST	Owner Name: DANA FISHER LLC	Owner Address: PO BOX 169	Phone:
Business Name:	Contractor Name: Thaxter Company	Contractor Address: 55 Bell Street Portland	Phone (207) 653-9822
Lessee/Buyer's Name	Phone:	Permit Type: Commercial	

Proposed Use: Commercial Restaurant - New Restaurant, 2 story wood framed building connected to a small existing structure at rear of site	Proposed Project Description: New Restaurant, 2 story wood framed building connected to a small existing structure at rear of site
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 07/13/2010

Note: **Ok to Issue:**

- 1) The conditional use B-1 Zone standards shall be maintained through the life of the restaurant use such as: the maximum total floor area for use of the public shall be 1,000 square feet - The hours of operation shall be limited to between 6:00 am and 11:00 pm each day - Food service and consumption are the primary function of the restaurant - There shall be no drive-thru service.
- 2) All HVAC units and any other units creating noise shall meet the B-1 noise criteria. The City strictly enforces the maximum noise allowances in every zone. The applicant may have to take further mitigating measures to meet the B-1 zone maximum noise allowance.
- 3) This property shall remain a small restaurant use as allowed as a conditional use in the B-1 Zone. Any change of use shall require a separate permit application for review and approval. The second floor shall not be used for patron food service space (would be over the allowable square footage).
- 4) Separate permits shall be required for any new signage.
- 5) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** **Reviewer:** Jeanine Bourke **Approval Date:**

Note: **Ok to Issue:**

- 1) Approval of City license is subject to health inspections per the Food Code.
- 2) New cafe, restaurant, lounge, bar or retail establishment where food or drink is sold and/or prepared shall meet the requirements of the City and State Food Codes
- 3) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 4) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 5) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Dept: Fire **Status:** Pending **Reviewer:** Capt Keith Gautreau **Approval Date:**

Note: **Ok to Issue:**

Comments:

Location of Construction: 231 YORK ST	Owner Name: DANA FISHER LLC	Owner Address: PO BOX 169	Phone:
Business Name:	Contractor Name: Thaxter Company	Contractor Address: 55 Bell Street Portland	Phone (207) 653-9822
Lessee/Buyer's Name	Phone:	Permit Type: Commercial	

7/13/2010-mes: WAIT FOR PLANNING SIGN OFF

7/15/2010-gautreauk: Tammy or Jeanie,

Please return plans to me for review when you are done. I'll review when back from vacation. I don't see a code summary or a life safety plan. Will call when I get back. Keith

7/19/2010-jmb: Todd Dana called for a status update. I have not started the review, but we discussed special inspections and GeoTech report. He had Sebago Tech do the site plan, but not a soils investigation. I informed the engineer has to base the design on this data. Todd will contact the engineer for more information and will pursue the soil testing profile.

7/28/2010-jmb: Todd D. Came into the office he confirmed he will get the soils report, but it may not be available until 8/5 and he is hoping the permit is issued sooner to meet the conditional use approval deadline. He requested this be a condition of the permit. He also spoke to the engineer who noted on the plans a presumptive soil strength for basis of design, and requires notification if fill or marine clay is uncovered during excavation. He will also be overseeing the construction and SI. I started the plan review this afternoon.

8/4/2010-jmb: Left vcmgs for Todd D. Regarding plan review details, also left a msg for Larry W. (engineer) and Lee Hulst (Architect). Todd responded requesting a meeting at 1:15. Met with Todd, Lee, and 2 reps from Thaxter Co., Keith joined in around 2:15. Discussed the type of construction, classified by the design team as 5A. The structural details are pretty complete, except for a reference of detail D3/S000 that cannot be found, and a Geotech report will be submitted. No details were given for wall types or fire protection (1hour) for bearing walls, exterior and interior, structural frame and supports, and floor construction. At some point the conditional use approval came up for the restriction of occupancy to 49 and a maximum interior space of 1000 sf for the use public gathering. This revelation changes the use to (B) business (49) for IBC and (M) mercantile (49) for NFPA. This now allows the building to be classified as type 5B (2 stories allowed), which essentially removes the fire ratings of the above components except for incidental storage and mechanical areas per Table 302.1.1. The team also confirmed the building will be sprinkled, not on plans, this is not required by IBC or NFPA, but a good idea. Discussed the percentage of exterior wall openings in relation to the property lines, side 10' and rear 20'. These are well below the allowance, especially with sprinklers. Details needed include: 1. Wall types, specs on interior and exterior finishes, including insulation factors and window specs 2. Full section with dimensions and profile detail on stairways, rise/run, handrails, guards. 3. Restaurant fixture layout including plumbing, equipment and seating. 4. Design for additional bathroom fixture for compliance. 5. Com check for compliance with the energy efficiency codes, including electrical and mechanical. There will be a condition on the CO to limit the occupant load to 49 and for storage only in the basement due to 1 means of egress. The basement bathroom is allowed for staff only access off the kitchen. Todd has requested a foundation only permit in order to commence construction to meet the time sensitive conditional use approval.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a “Stop Work Order” and subsequent release to continue with construction.**

 X **Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**

 X **Re-Bar Schedule Inspection: Prior to pouring concrete**

 X **Foundation Inspection: Prior to placing ANY backfill for below grade occupiable space**

 X **The required special inspections shall be performed as required in the engineers statement.**

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

Jeanie Bourke - 231 York Street - Demolition and Construction of New Restaurant

From: Phillip DiPierro
To: Code Enforcement & Inspections
Date: 7/30/2010 3:26 PM
Subject: 231 York Street - Demolition and Construction of New Restaurant

Hi all, this project, site plan #09-79900017 at 231 York Street, meets minimum DRC site plan requirements for the issuance of both the demolition and building permits. Please contact me with any questions. Thanks.

Phil

Statement of Special Inspections

Project: *York Street Restaurant*
Location: *231 York Street, Portland, Maine*
Owner: *Dana Fisher LLC*

Design Professional in Responsible Charge: *Larry A. Wichroski, P.E.*

This *Statement of Special Inspections* is submitted as a condition for permit issuance in accordance with the Special Inspection and Structural Testing requirements of the Building Code. It includes a schedule of Special Inspection services applicable to this project as well as the name of the Special Inspection Coordinator and the identity of other approved agencies to be retained for conducting these inspections and tests. This *Statement of Special Inspections* encompass the following disciplines:

Structural Mechanical/Electrical/Plumbing
 Architectural Other: _____

The Special Inspection Coordinator shall keep records of all inspections and shall furnish inspection reports to the Building Official and the Registered Design Professional in Responsible Charge. Discovered discrepancies shall be brought to the immediate attention of the Contractor for correction. If such discrepancies are not corrected, the discrepancies shall be brought to the attention of the Building Official and the Registered Design Professional in Responsible Charge. The Special Inspection program does not relieve the Contractor of his or her responsibilities.

Interim reports shall be submitted to the Building Official and the Registered Design Professional in Responsible Charge.

A *Final Report of Special Inspections* documenting completion of all required Special Inspections, testing and correction of any discrepancies noted in the inspections shall be submitted prior to issuance of a Certificate of Use and Occupancy.

Job site safety and means and methods of construction are solely the responsibility of the Contractor.

Interim Report Frequency: *Monthly*

or per attached schedule.

Prepared by:

Larry A. Wichroski, P.E.
(type or print name)

[Handwritten Signature]
Signature

07/06/10
Date



Owner's Authorization:

Building Official's Acceptance:

[Handwritten Signature]
Signature

7/7/10
Date

Signature

Date

Schedule of Inspection and Testing Agencies

This Statement of Special Inspections / Quality Assurance Plan includes the following building systems:

- | | |
|--|--|
| <input checked="" type="checkbox"/> Soils and Foundations | <input type="checkbox"/> Spray Fire Resistant Material |
| <input checked="" type="checkbox"/> Cast-in-Place Concrete | <input checked="" type="checkbox"/> Wood Construction |
| <input type="checkbox"/> Precast Concrete | <input type="checkbox"/> Exterior Insulation and Finish System |
| <input type="checkbox"/> Masonry | <input type="checkbox"/> Mechanical & Electrical Systems |
| <input checked="" type="checkbox"/> Structural Steel | <input type="checkbox"/> Architectural Systems |
| <input type="checkbox"/> Cold-Formed Steel Framing | <input type="checkbox"/> Special Cases |

Special Inspection Agencies	Firm	Address, Telephone, e-mail
1. Special Inspection Coordinator	Larry A. Wickroak, P.E.	Allied Engineering, Inc. 160 Veranda Street Portland, Maine 04103
2. Inspector	James Hodsdon	Allied Engineering, Inc. 160 Veranda Street Portland, Maine 04103
3. Inspector		
4. Testing Agency		
5. Testing Agency		
6. Other		

Note: The inspectors and testing agencies shall be engaged by the Owner or the Owner's Agent, and not by the Contractor or Subcontractor whose work is to be inspected or tested. Any conflict of interest must be disclosed to the Building Official, prior to commencing work.

Quality Assurance Plan

Quality Assurance for Seismic Resistance

Seismic Design Category *B*
Quality Assurance Plan Required (Y/N) *N*

Description of seismic force resisting system and designated seismic systems:

Steel Moment Frames combined with Light Framed Shear Walls

Quality Assurance for Wind Requirements

Basic Wind Speed (3 second gust) *100*
Wind Exposure Category *B*
Quality Assurance Plan Required (Y/N) *N*

Description of wind force resisting system and designated wind resisting components:

Steel Moment Frames combined with Light Framed Shear Walls

Statement of Responsibility

Each contractor responsible for the construction or fabrication of a system or component designated above must submit a Statement of Responsibility.

Qualifications of Inspectors and Testing Technicians

The qualifications of all personnel performing Special Inspection and testing activities are subject to the approval of the Building Official. The credentials of all Inspectors and testing technicians shall be provided if requested.

Key for Minimum Qualifications of Inspection Agents:

When the Registered Design Professional in Responsible Charge deems it appropriate that the individual performing a stipulated test or inspection have a specific certification or license as indicated below, such designation shall appear below the Agency Number on the Schedule.

PE/SE	Structural Engineer – a licensed SE or PE specializing in the design of building structures
PE/GE	Geotechnical Engineer – a licensed PE specializing in soil mechanics and foundations
EIT	Engineer-In-Training – a graduate engineer who has passed the Fundamentals of Engineering examination

American Concrete Institute (ACI) Certification

ACI-CFTT	Concrete Field Testing Technician – Grade 1
ACI-CCI	Concrete Construction Inspector
ACI-LTT	Laboratory Testing Technician – Grade 1&2
ACI-STT	Strength Testing Technician

American Welding Society (AWS) Certification

AWS-CWI	Certified Welding Inspector
AWS/AISC-SSI	Certified Structural Steel Inspector

American Society of Non-Destructive Testing (ASNT) Certification

ASNT	Non-Destructive Testing Technician – Level II or III.
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International Code Council (ICC) Certification

ICC-SMSI	Structural Masonry Special Inspector
ICC-SWSI	Structural Steel and Welding Special Inspector
ICC-SFSI	Spray-Applied Fireproofing Special Inspector
ICC-PCSI	Prestressed Concrete Special Inspector
ICC-RCSI	Reinforced Concrete Special Inspector

National Institute for Certification in Engineering Technologies (NICET)

NICET-CT	Concrete Technician – Levels I, II, III & IV
NICET-ST	Soils Technician – Levels I, II, III & IV
NICET-GET	Geotechnical Engineering Technician – Levels I, II, III & IV

Exterior Design Institute (EDI) Certification

EDI-EIFS	EIFS Third Party Inspector
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Other

Item	Agency # (Qualif.)	Scope
1. Shallow Foundations	PE/GE	<p><i>Inspect soils below footings for adequate bearing capacity and consistency with geotechnical report.</i></p> <p><i>Inspect removal of unsuitable material and preparation of subgrade prior to placement of controlled fill</i></p>
2. Controlled Structural Fill	PE/GE	<p><i>Perform sieve tests (ASTM D422 & D1140) and modified Proctor tests (ASTM D1557) of each source of fill material.</i></p> <p><i>Inspect placement, lift thickness and compaction of controlled fill.</i></p> <p><i>Test density of each lift of fill by nuclear methods (ASTM D2922)</i></p> <p><i>Verify extent and slope of fill placement.</i></p>
3. Deep Foundations	PE/GE	<p><i>Inspect and log pile driving operations. Record pile driving resistance and verify compliance with driving criteria.</i></p> <p><i>Inspect piles for damage from driving and plumbness.</i></p> <p><i>Verify pile size, length and accessories.</i></p> <p><i>Inspect installation of drilled pier foundations. Verify pier diameter, bell diameter, lengths, embedment into bedrock and suitability of end bearing strata.</i></p>
4. Load Testing		
4. Other:		

Cast-in-Place Concrete

Item	Agency # (Qualif.)	Scope
1. Mix Design	ACI-CCI ICC-RCSI	<i>Review concrete batch tickets and verify compliance with approved mix design. Verify that water added at the site does not exceed that allowed by the mix design.</i>
2. Material Certification	SE	<i>Shop Submittals</i>
3. Reinforcement Installation	ACI-CCI ICC-RCSI	<i>Inspect size, spacing, cover, positioning and grade of reinforcing steel. Verify that reinforcing bars are free of form oil or other deleterious materials. Inspect bar laps and mechanical splices. Verify that bars are adequately tied and supported on chairs or bolsters</i>
4. Post-Tensioning Operations	ICC-PCSI	<i>Inspect placement, stressing, grouting and protection of post-tensioning tendons. Verify that tendons are correctly positioned, supported, tied and wrapped. Record tendon elongations.</i>
5. Welding of Reinforcing	AWS-CWI	<i>Visually inspect all reinforcing steel welds. Verify weldability of reinforcing steel. Inspect preheating of steel when required.</i>
6. Anchor Rods	PE	<i>Inspect size, positioning and embedment of anchor rods. Inspect concrete placement and consolidation around anchors.</i>
7. Concrete Placement	ACI-CCI ICC-RCSI	<i>Inspect placement of concrete. Verify that concrete conveyance and depositing avoids segregation or contamination. Verify that concrete is properly consolidated.</i>
8. Sampling and Testing of Concrete	ACI-CFTT ACI-STT	<i>Test concrete compressive strength (ASTM C31 & C39), slump (ASTM C143), air-content (ASTM C231 or C173) and temperature (ASTM C1064).</i>
9. Curing and Protection	ACI-CCI ICC-RCSI	<i>Inspect curing, cold weather protection and hot weather protection procedures.</i>
10. Other:		

Item	Agency # (Qualif.)	Scope
1. Fabricator Certification/ Quality Control Procedures <input type="checkbox"/> Fabricator Exempt	AWS/AISC- SSI ICC-SWSI	<i>Review shop fabrication and quality control procedures.</i>
2. Material Certification	AWS/AISC- SSI ICC-SWSI	<i>Review certified mill test reports and identification markings on wide-flange shapes, high-strength bolts, nuts and welding electrodes</i>
3. Open-Web-Steel-Joists		<i>Inspect installation, field-welding and bridging of joists.</i>
4. Bolting	AWS/AISC- SSI ICC-SWSI	<i>Inspect installation and tightening of high-strength bolts. Verify that splines have separated from tension control bolts. Verify proper tightening sequence. Continuous inspection of bolts in slip-critical connections.</i>
5. Welding	AWS-CWI ASNT	<i>Visually inspect all welds. Inspect pre-heat, post-heat and surface preparation between passes. Verify size and length of fillet welds.</i> <i>Ultrasonic testing of all full-penetration welds.</i>
6. Shear Connectors	AWS/AISC- SSI ICC-SWSI	<i>Inspect size, number, positioning and welding of shear connectors. Inspect studs for full 360-degree flash. Ring test all shear connectors with a 3-lb hammer. Bend test all questionable studs to 15 degrees.</i>
7. Structural Details	PE/SE	<i>Inspect steel frame for compliance with structural drawings, including bracing, member configuration and connection details.</i>
8. Metal Deck	AWS-CWI	<i>Inspect welding and side-lap fastening of metal roof and floor deck</i>
9. Other:		

Item	Agency # (Qualif.)	Scope
1. Fabricator Certification/ Quality Control Procedures <input type="checkbox"/> Fabricator Exempt	SE	<i>Inspect shop fabrication and quality control procedures for wood truss plant.</i>
2. Material Grading	SE	<i>Inspect sampling of Lumber framing members in place</i>
3. Connections	SE	<i>Inspect framing for compliance with structural drawings including shear wall installations and anchorage, member layout and connection details.</i>
4. Framing and Details	SE	<i>Inspect framing for compliance with structural drawings, including member layout and sizes.</i>
5. Diaphragms and Shearwalls	SE	<i>Inspect size, configuration, blocking and fastening of shearwalls and diaphragms. Verify panel grade and thickness.</i>
6. Prefabricated Wood Trusses		<i>Inspect the fabrication of wood trusses.</i>
7. Permanent Truss Bracing		
8. Other:		

Applicant: Tod Dana ^{DANA Fisher LLC.}

Date: 11/24/09

Address: 231 York St

C-B-L: 44-E-3

CHECK-LIST AGAINST ZONING ORDINANCE

Date -

Zone Location - B-1 Zone

Interior or corner lot -

Proposed Use/Work - BAR to Restaurant - conditional use appeal

Severage Disposal - City ^{Approved use 11/13/08 for 6 mos only (to May 13, 2009)}

Lot Street Frontage - 50' min ^{5/2/09 approved continuance for another 6 mos to Nov. 13, 2009}

Front Yard - 59' shown ^{11/3/09 req. another 6 months} 7.5' inset for stairs
Maximum Front Yard - None more than 10' req. - is right on the front setback

Rear Yard - 20' req. - 20' shown (other existing Bldg to remain)

Side Yard (abutting residential) - 10' min req. - is legally nonconforming

Side yd on side Street: 10' max setback - 10' shown

Projections - furthest is 3.5' 3/10/10

Width of Lot - No min required

Height - 35' MAX however, where abuts a Res. Zone 45' allowed - 30' to ridge

Lot Area - NO min lot size required - 4,111 sq ft given or 3,699.9 sq ft MAX

Lot Coverage / Impervious Surface - 90% MAX allowed ^{3500 sq ft given as imperv. (85.14%)}

Area per Family - N/A ^{SAME 3/10/10}

Off-street Parking - was granted variance by ZBA originally granted 8/7/2008 ^{8/7/2010}

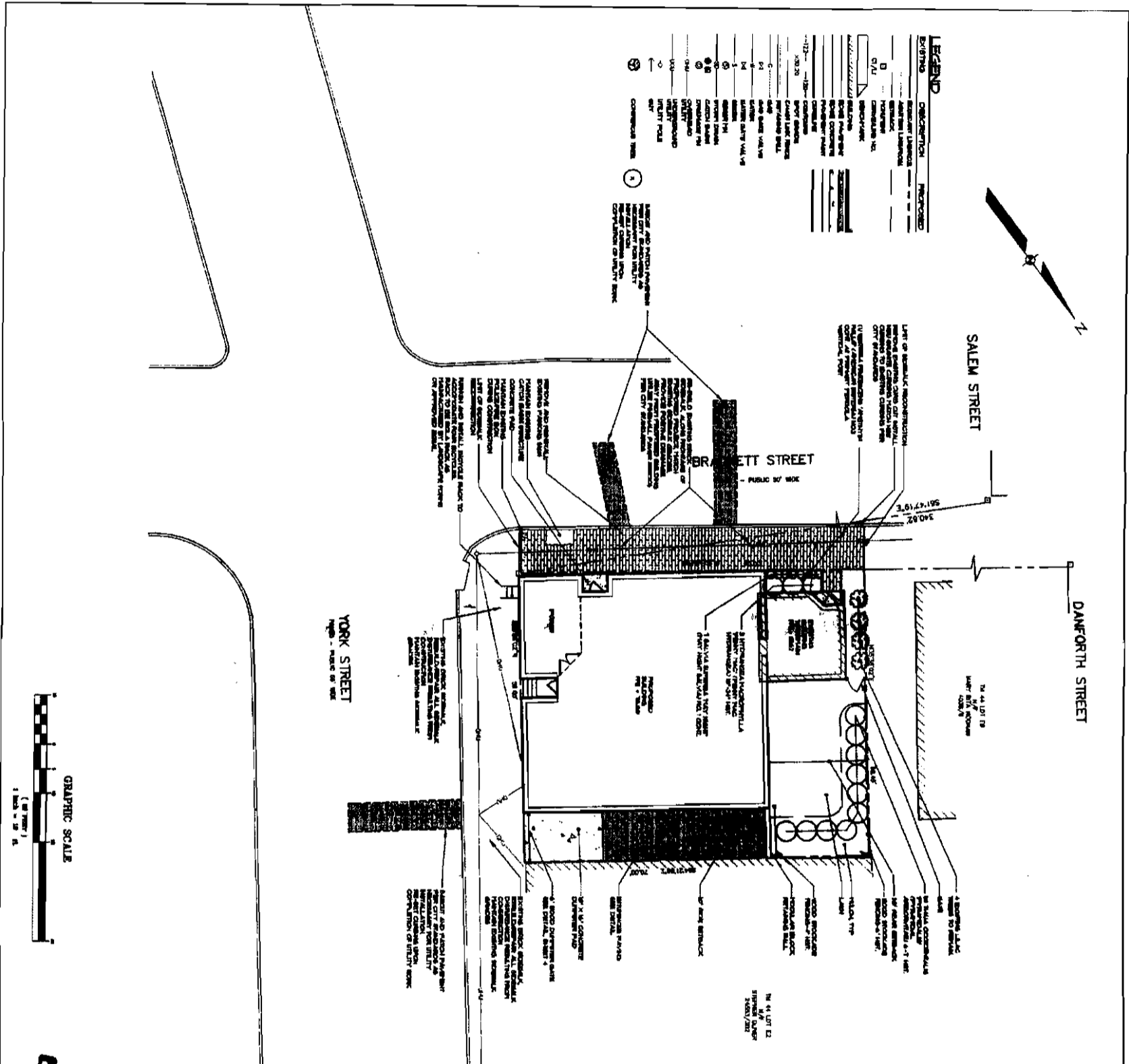
Loading Bays - 0

Site Plan - # 09-79900017 minor site plan

Shoreland Zoning/ Stream Protection - N/A

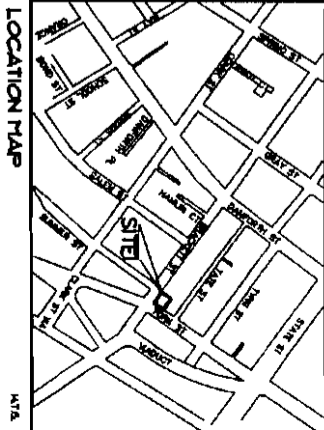
Flood Plains - Panel 13 - Zone C.

Separate permits for signage
no public on 2nd floor



LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY LINES	---
---	EXISTING DRIVEWAYS	---
---	EXISTING DRIVEWAYS TO BE REMOVED	---
---	EXISTING DRIVEWAYS TO BE RELOCATED	---
---	EXISTING DRIVEWAYS TO BE RECONSTRUCTED	---
---	EXISTING DRIVEWAYS TO BE RECONSTRUCTED WITH CONCRETE	---
---	EXISTING DRIVEWAYS TO BE RECONSTRUCTED WITH ASPHALT	---
---	EXISTING DRIVEWAYS TO BE RECONSTRUCTED WITH GRAVEL	---
---	EXISTING DRIVEWAYS TO BE RECONSTRUCTED WITH CURB AND GUTTER	---
---	EXISTING DRIVEWAYS TO BE RECONSTRUCTED WITH SIDEWALK	---
---	EXISTING DRIVEWAYS TO BE RECONSTRUCTED WITH BIKEWAY	---
---	EXISTING DRIVEWAYS TO BE RECONSTRUCTED WITH LANDSCAPE	---
---	EXISTING DRIVEWAYS TO BE RECONSTRUCTED WITH TREES	---
---	EXISTING DRIVEWAYS TO BE RECONSTRUCTED WITH PLANTS	---
---	EXISTING DRIVEWAYS TO BE RECONSTRUCTED WITH LIGHTS	---
---	EXISTING DRIVEWAYS TO BE RECONSTRUCTED WITH SIGNAGE	---
---	EXISTING DRIVEWAYS TO BE RECONSTRUCTED WITH FENCES	---
---	EXISTING DRIVEWAYS TO BE RECONSTRUCTED WITH WALLS	---
---	EXISTING DRIVEWAYS TO BE RECONSTRUCTED WITH ROADS	---
---	EXISTING DRIVEWAYS TO BE RECONSTRUCTED WITH BRIDGES	---
---	EXISTING DRIVEWAYS TO BE RECONSTRUCTED WITH TUNNELS	---
---	EXISTING DRIVEWAYS TO BE RECONSTRUCTED WITH OTHER STRUCTURES	---



GENERAL NOTES:

1. THE EXISTING CONDITIONS OF THE PROPERTY AND SURROUNDING AREAS ARE SHOWN AS EXISTING ON THIS PLAN AND SHOULD BE VERIFIED BY THE CONTRACTOR BEFORE COMMENCING WORK.
2. THE PROPERTY IS LOCATED ON THE CITY OF PORTLAND ZONING MAP FOR LOT 12B.
3. THE PROPERTY IS LOCATED ON THE CITY OF PORTLAND ZONING MAP FOR LOT 12B.
4. THE PROPERTY IS LOCATED ON THE CITY OF PORTLAND ZONING MAP FOR LOT 12B.
5. THE PROPERTY IS LOCATED ON THE CITY OF PORTLAND ZONING MAP FOR LOT 12B.
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17. THE PROPERTY IS LOCATED ON THE CITY OF PORTLAND ZONING MAP FOR LOT 12B.
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20. THE PROPERTY IS LOCATED ON THE CITY OF PORTLAND ZONING MAP FOR LOT 12B.

RECEIVED
 AUG - 5 2010
 Dept of Building Inspections
 City of Portland Maine

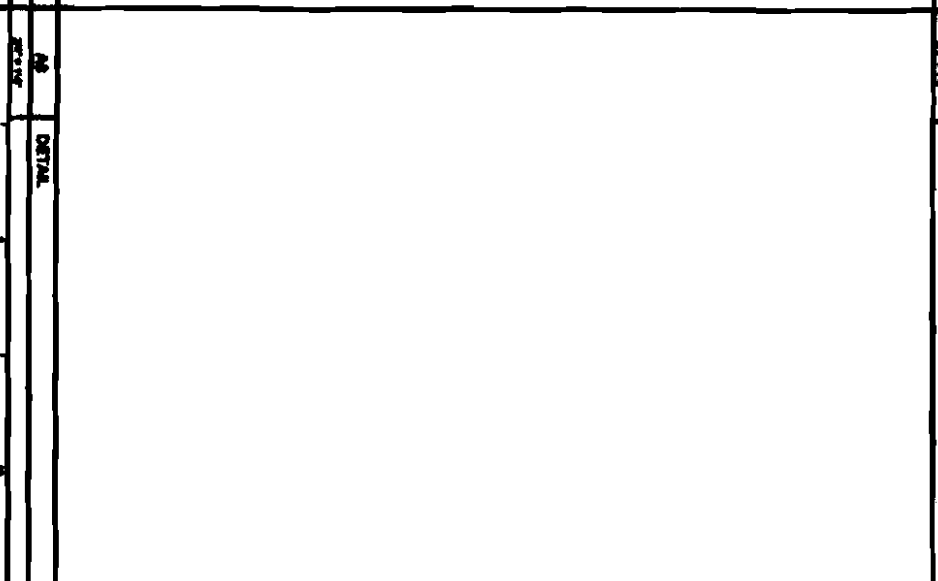
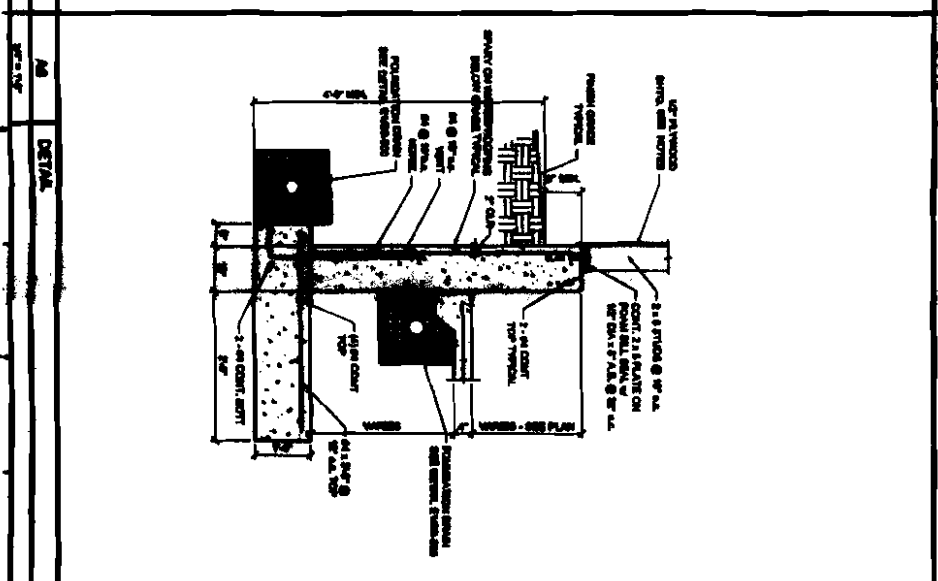
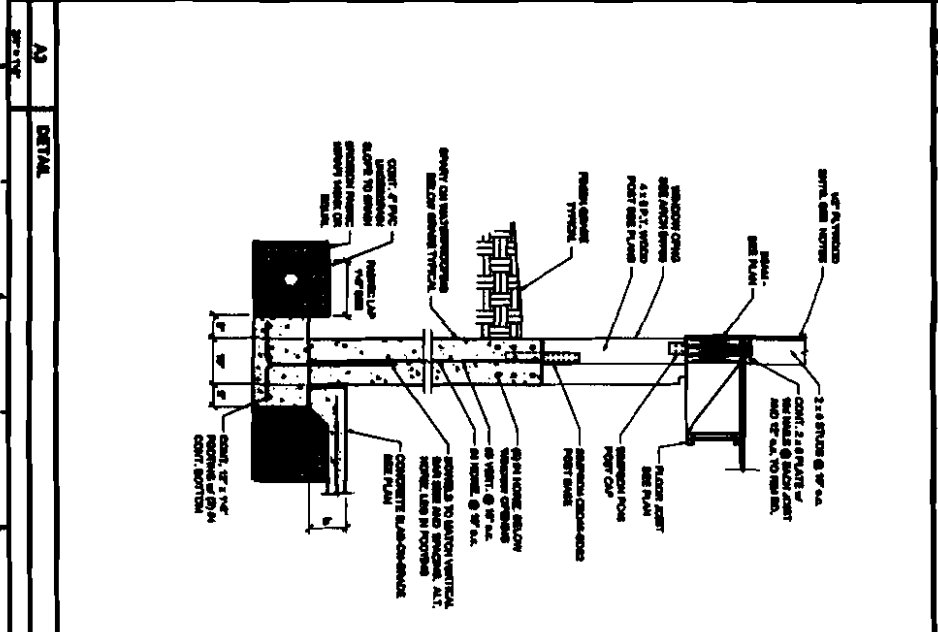
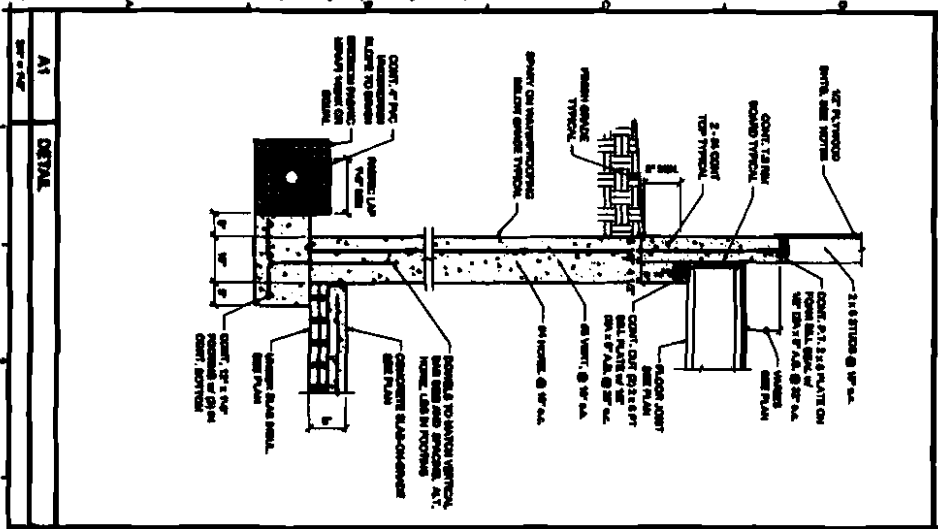
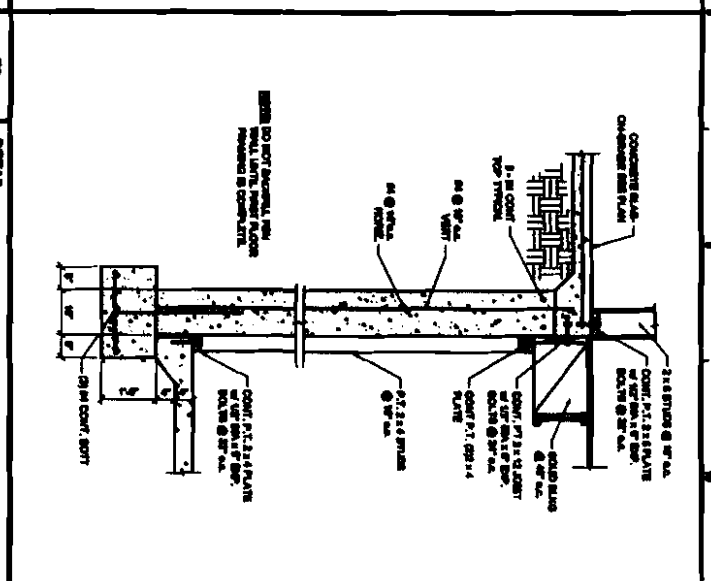
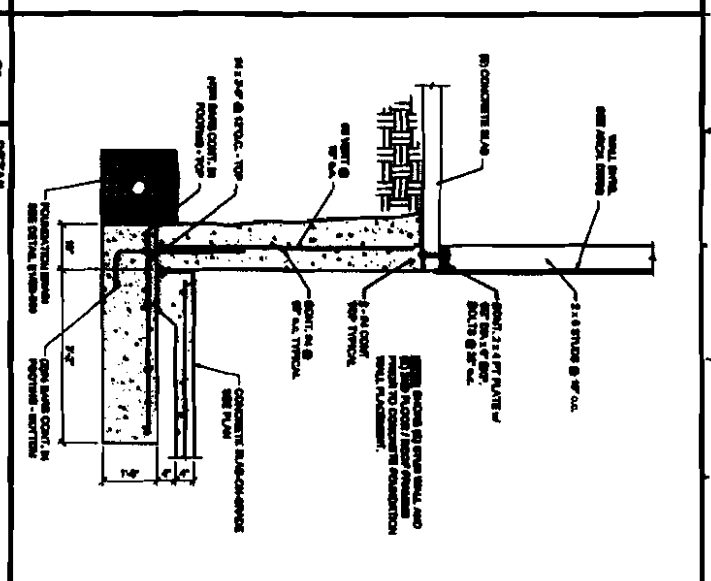
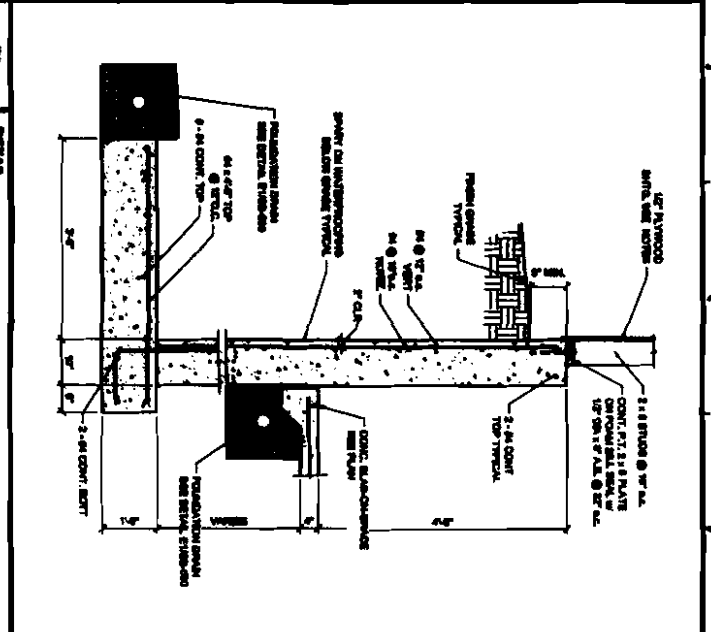
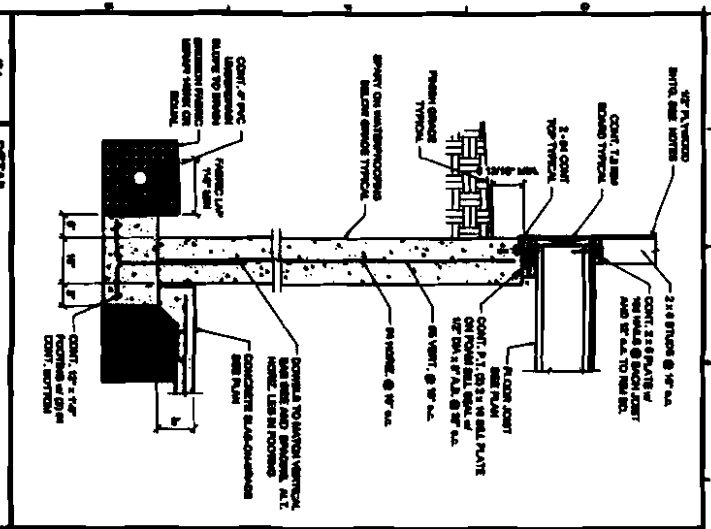
SITE PLAN
 231 YORK STREET
 PORTLAND, MAINE
 FOR:
DANA FISHER, LLC.
 P.O. BOX 188
 PORTLAND, MAINE 04112

DATE	SCALE
DATE	SCALE
DATE	SCALE

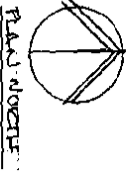
Sebegeo Technics
 Mechanical, Electrical, Plumbing, Fire Protection
 100 State Street
 Portland, Maine 04101
 Tel: 603.761.1234
 Fax: 603.761.1235
 www.sebegeo.com

PROJECT NO.	FIELD BOOK	DRAWN	CHKD	DATE
9975	10A	APP	CLR	APP
		REVISIONS: REV. NO. DATE DESCRIPTION 1 04-10-09 REVISED PER CITY STAFF COMMENTS 2 04-10-09 SUBMITTED FOR MINOR SITE PLAN REVIEW		





SB-500	FOUNDATION DETAILS	REVISIONS	<p>Allied Engineering Structural Mechanical Electrical Consulting</p>											
	<p>231 YORK STREET RESTAURANT PORTLAND, ME</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 10%;">NO.</th> <th style="width: 80%;">DESCRIPTION</th> <th style="width: 10%;">DATE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DESCRIPTION	DATE									
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PLAN NORTH

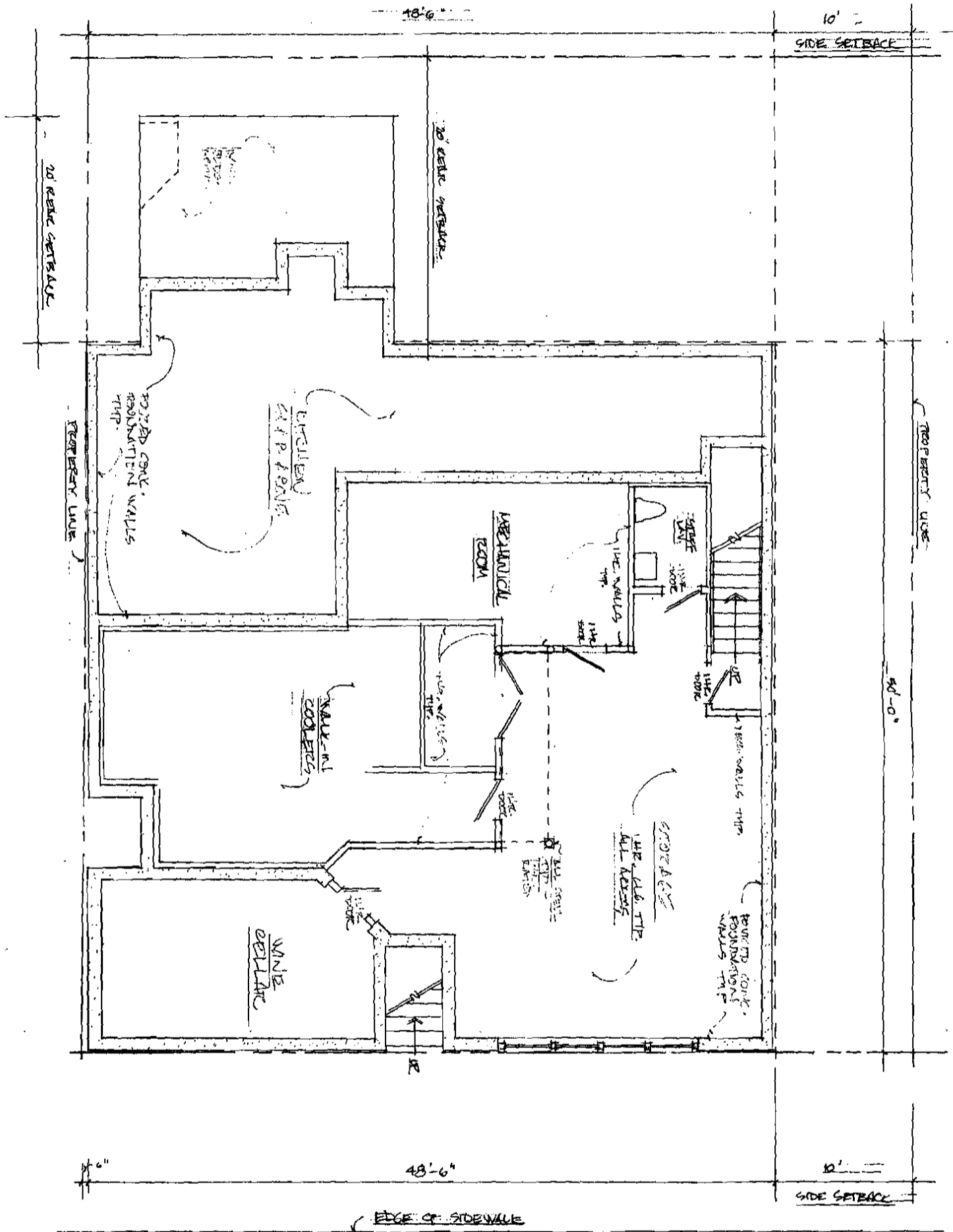
231 YORK STREET PORTLAND, MAINE

BASEMENT PLAN PROPOSAL

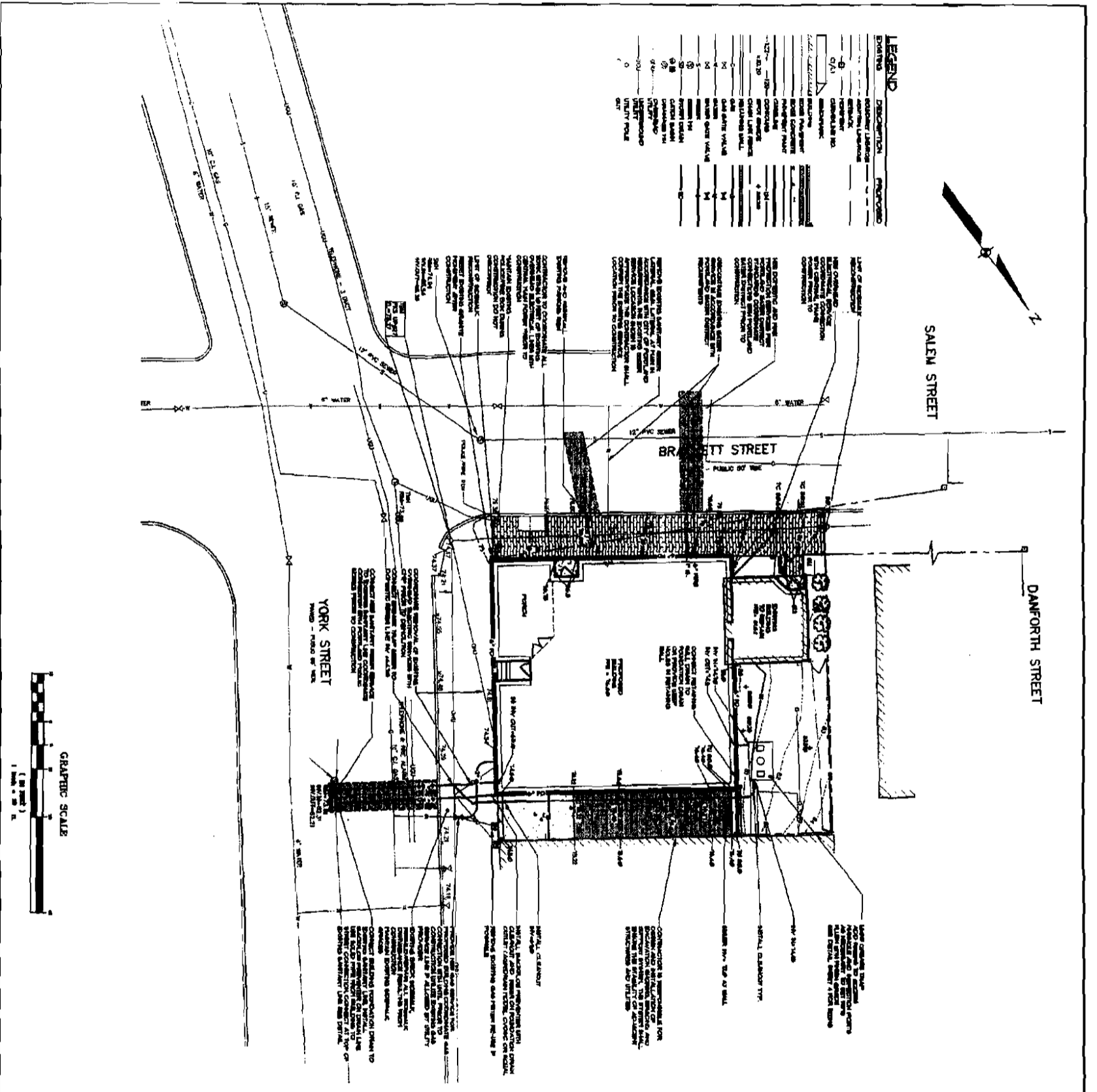
1/4" = 1'-0"

REV: 3/2/09

BACKSTREET STREET



LELAND HULSE
 ARCHITECTURAL SERVICES
 278 Spring Street / Portland, Maine 04101 / (207) 773-8844



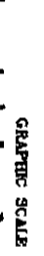
SYMBOL	DESCRIPTION	PROPOSED
[Symbol]	Proposed Building Footprint	...
[Symbol]	Proposed Driveway	...
[Symbol]	Proposed Utility Lines	...
[Symbol]	Proposed Grading	...
[Symbol]	Proposed Stormwater Management	...
[Symbol]	Proposed Retaining Wall	...
[Symbol]	Proposed Fencing	...
[Symbol]	Proposed Site Access	...

N
Salem Street

Brantley Street

York Street

Danforth Street



GRAPHIC SCALE

CONSTRUCTION NOTES

1. ALL SHALL CONFORM TO THE APPLICABLE CODES AND ORDINANCES.
2. EXISTING UTILITIES SHALL BE MAINTAINED UNLESS OTHERWISE SPECIFIED ON THIS PLAN.
3. ALL UTILITIES SHALL BE DEEPENED TO A MINIMUM OF 48" BELOW FINISHED GRADE UNLESS OTHERWISE SPECIFIED.
4. ALL UTILITIES SHALL BE PROTECTED BY AN APPROPRIATE METHOD OF PROTECTION.
5. ALL UTILITIES SHALL BE REINSTALLED TO ORIGINAL OR BETTER CONDITIONS.
6. ALL UTILITIES SHALL BE PROTECTED BY AN APPROPRIATE METHOD OF PROTECTION.
7. ALL UTILITIES SHALL BE REINSTALLED TO ORIGINAL OR BETTER CONDITIONS.
8. ALL UTILITIES SHALL BE PROTECTED BY AN APPROPRIATE METHOD OF PROTECTION.
9. ALL UTILITIES SHALL BE REINSTALLED TO ORIGINAL OR BETTER CONDITIONS.
10. ALL UTILITIES SHALL BE PROTECTED BY AN APPROPRIATE METHOD OF PROTECTION.

GRADING AND UTILITY PLAN
 331 YORK STREET
 PORTLAND, MAINE
 FOR:
DANA FISHER, LLC.
 P.O. BOX 108
 PORTLAND, MAINE 04112

Sebago Technics
 Engineering Services, Inc. dba Seabco, Inc.
 888 Ocean Drive • Suite 101
 Portland, ME 04106
 Phone: (603) 751-0000
 Fax: (603) 751-0001
 www.sebagotechnics.com

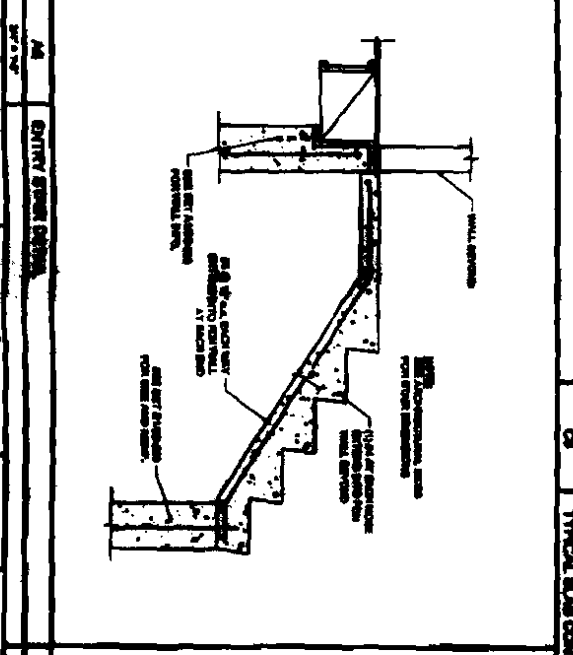
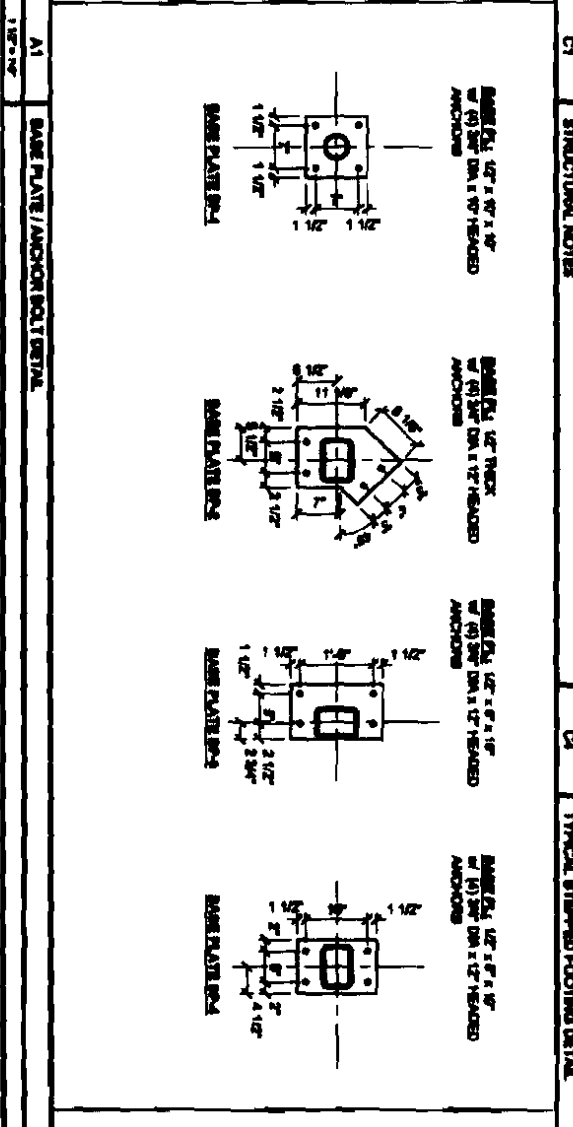
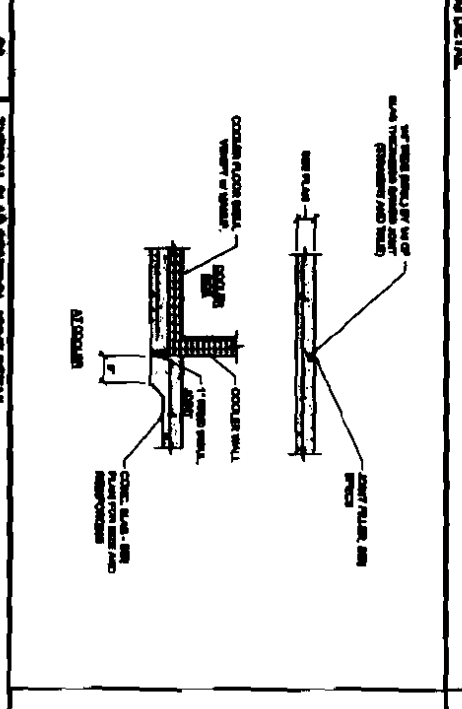
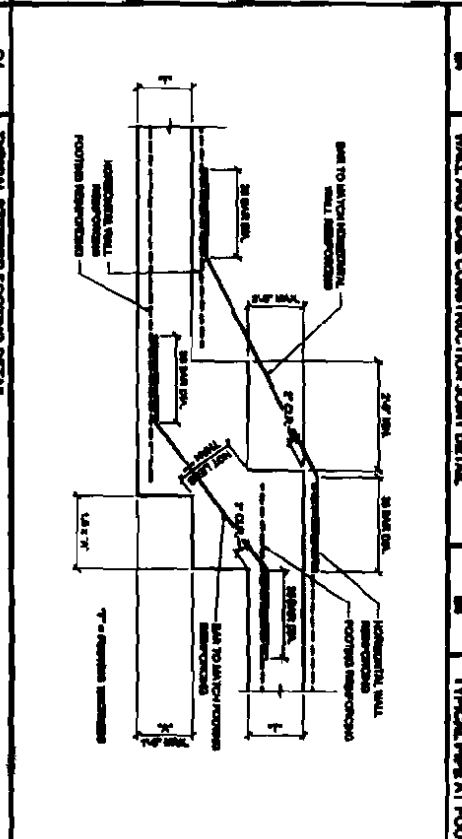
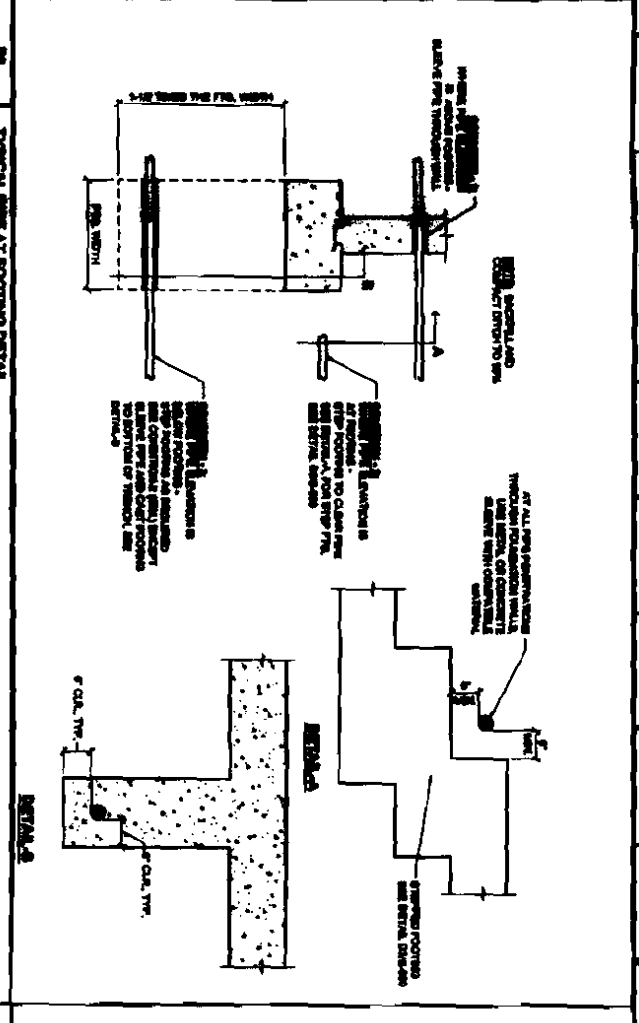
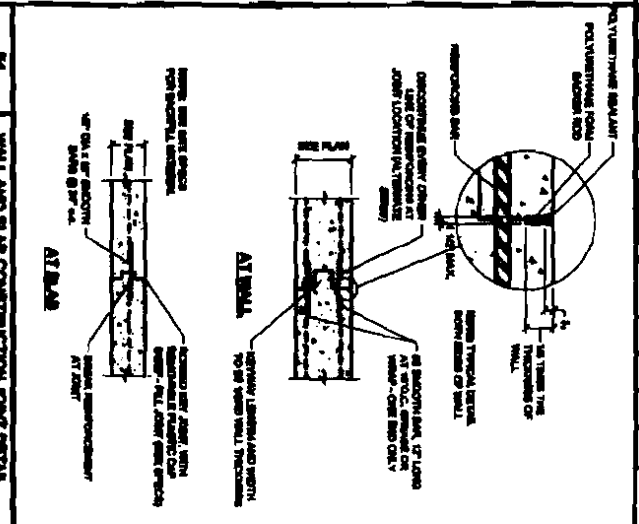
PROJECT NO:	0213
FIELD BOOK:	
DRAWN:	NA
CHECKED:	APP
DATE:	DLR
DATE:	DLR
DATE:	DLR
DATE:	DLR

STATE OF MAINE
 DANIEL
 CIVIL ENGINEER
 No. 6847

REVISIONS: 1. 10/15/10 - 10/15/10 - 10/15/10
 2. 10/15/10 - 10/15/10 - 10/15/10
 3. 10/15/10 - 10/15/10 - 10/15/10
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 9. 10/15/10 - 10/15/10 - 10/15/10
 10. 10/15/10 - 10/15/10 - 10/15/10

GENERAL NOTES:
 1. Refer to drawings for dimensions and details.
 2. All work shall be in accordance with the specifications.
 3. The contractor shall be responsible for obtaining all necessary permits.
 4. The contractor shall be responsible for protecting existing conditions.
 5. The contractor shall be responsible for maintaining access to adjacent properties.
 6. The contractor shall be responsible for maintaining safety during construction.
 7. The contractor shall be responsible for maintaining cleanliness during construction.
 8. The contractor shall be responsible for maintaining records of construction.
 9. The contractor shall be responsible for maintaining communication with the architect.
 10. The contractor shall be responsible for maintaining communication with the engineer.

STRUCTURAL NOTES:
 1. All steel shall be AISC 360-10.
 2. All concrete shall be ACI 308-11.
 3. All masonry shall be CMU 8000.
 4. All wood shall be Southern Pine 2400.
 5. All glass shall be 1/2" thick clear tempered glass.
 6. All doors shall be 1 3/4" thick solid core doors.
 7. All windows shall be 2" thick insulated glass units.
 8. All roof shall be 2" thick concrete on 2" thick steel deck.
 9. All floor shall be 4" thick concrete on 2" thick steel deck.
 10. All walls shall be 8" thick CMU with 20# reinforcement.



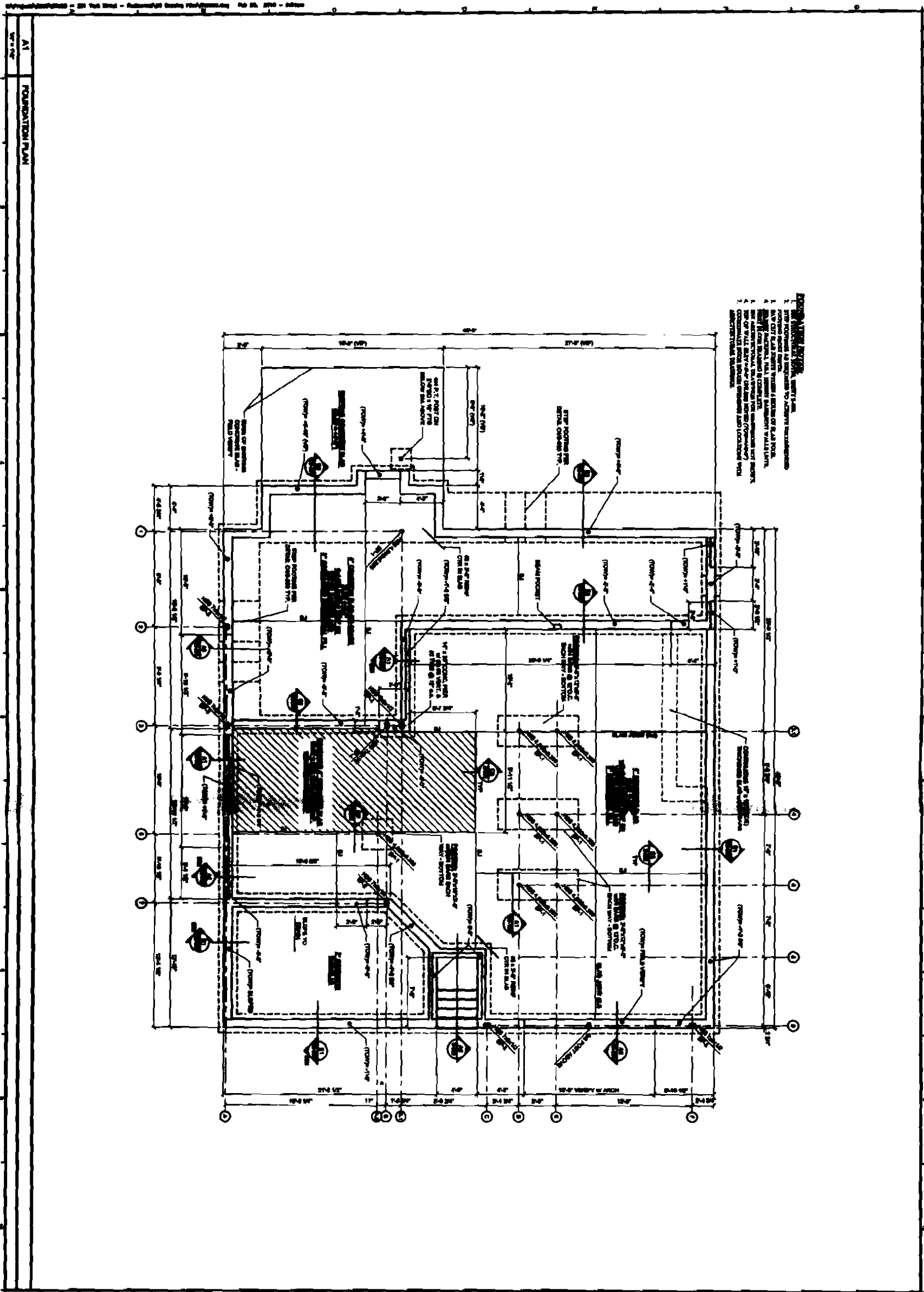
BEAM HANGER SCHEDULE			
NO.	DESCRIPTION	QUANTITY	UNIT
01	1\"/>		

JOIST HANGER SCHEDULE			
NO.	DESCRIPTION	QUANTITY	UNIT
01	1\"/>		

DETAILS & NOTES
 201 YORK STREET RESTAURANT
 100 Veranda Street, Parkland, Maine 04963
 Tel: 207.221.2266
 Fax: 207.221.2266
 Web: www.allied-eng.com

REVISIONS

8-000



1. ALL DIMENSIONS UNLESS OTHERWISE NOTED.
 2. ALL FOUNDATION ELEMENTS TO BE CONCRETE UNLESS OTHERWISE NOTED.
 3. ALL FOUNDATION ELEMENTS TO BE REINFORCED WITH #4 @ 12\"/>

A1
 FOUNDATION PLAN
 SCALE: AS SHOWN

SB-100

FOUNDATION PLAN
 221 YORK STREET
 RESTAURANT
 PORTLAND, ME

NO.	DATE	DESCRIPTION
1	11/14/11	ISSUED FOR PERMITS
2	11/14/11	ISSUED FOR PERMITS
3	11/14/11	ISSUED FOR PERMITS
4	11/14/11	ISSUED FOR PERMITS
5	11/14/11	ISSUED FOR PERMITS
6	11/14/11	ISSUED FOR PERMITS
7	11/14/11	ISSUED FOR PERMITS
8	11/14/11	ISSUED FOR PERMITS
9	11/14/11	ISSUED FOR PERMITS
10	11/14/11	ISSUED FOR PERMITS



Allied Engineering
 Structural Mechanical Electrical Commissioning
 588 Vermont Street
 Portland, Maine 04103
 Tel: 207.321.3260
 Fax: 207.321.3266
 Web: www.Allied-eng.com