

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK OF

PERMIT ISSUED

Permit Number 05 1475
OCT 14 2005

CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING DEPARTMENT

PERMIT

This is to certify that SIMPSON JAMES P & SANDRA L JTS
has permission to install a 8' x 12' Shed
AT 23 TATE ST PORTLAND, OR 97203 044 D013002

provided that the person or persons, firm or organization accepting this permit shall conform with all the provisions of the Statutes of the State of Oregon and of the Ordinances of the City of Portland relating to the construction, maintenance and use of buildings and structures, and of the application of this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work on permit on procedure before this building or part thereof is altered or closed-in. **24 HOUR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before occupying or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept _____
Health Dept. _____
Appeal Board _____
Other _____

Department Name _____

Jamie Bowke
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-1475	Issue Date: PERMIT ISSUED OCT 14 2005	CBL: 044 D013002
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Location of Construction: 23 TATE ST	Owner Name: SIMPSON JAMES P & SANDRA L	Owner Address: 23 TATE ST #2	Phone:
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Sheds	Zone: R6

Past Use: Single Family Home	Proposed Use: Single Family Home/ install a 8' x 12' Shed	Permit Fee: \$39.00	Cost of Work: \$2,000.00	CEO District: 2
Proposed Project Description: install a 8' x 12' Shed		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: R3 Type:
		Signature:		Signature: <i>JMB 10/13/05</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
		Signature:		Date:

Permit Taken By: Idobson	Date Applied For: 10/05/2005	Zoning Approval		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>JMB 10/13/05</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input checked="" type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>JMB</i>
		<i>5 setbacks</i>		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-1475	Date Applied For: 10/05/2005	CBL: 044 D013002
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Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Sheds	

Proposed Use: Single Family Home/ install a 8' x 12' Shed	Proposed Project Description: install a 8' x 12' Shed
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Dept: Zoning **Status:** Approved **Reviewer:** Jeanine Bourke **Approval Date:** 10/13/2005
Note: **Ok to Issue:**

Dept: Building **Status:** Not Applicable **Reviewer:** Jeanine Bourke **Approval Date:** 10/13/2005
Note: **Ok to Issue:**

1) Structure does not need to comply with the building code

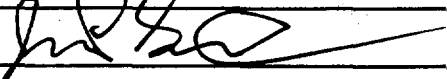
All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 23 TATE ST. PORTLAND, ME 04102		
Total Square Footage of Proposed Structure 80 (96)	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# 44 Block# D Lot# 13	Owner: AMES & SANDRA SIMPSON	Telephone: (207) 879-4202
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: SIMPSON 23 TATE ST. PORTLAND, ME 04102	cost Of Work \$ Fee: \$ 350/100
Current use: RESIDENTIAL		
If the location is currently vacant, what was prior use:		
Approximately how long has it been vacant:		
Proposed use: RESIDENTIAL STORAGE Project description: 8'x12' STORAGE SHED		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: JAMES SIMPSON		
Mailing address: P.O. Box 3222 PORTLAND, ME 04104		
<p>We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: (207) 879-420</p>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date:
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

~~XSS~~ If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

N/A CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

X Donna Martin Admin 10/14/05
 Signature of Applicant/Designee Date
Donna Martin Admin 10 14 05
 Signature of Inspections Official Date

CBL: 044 DO13 Building Permit #: 051475

Sheds USA Inc. Mill Store specs

Delivered - Built - Guaranteed

Roof Construction

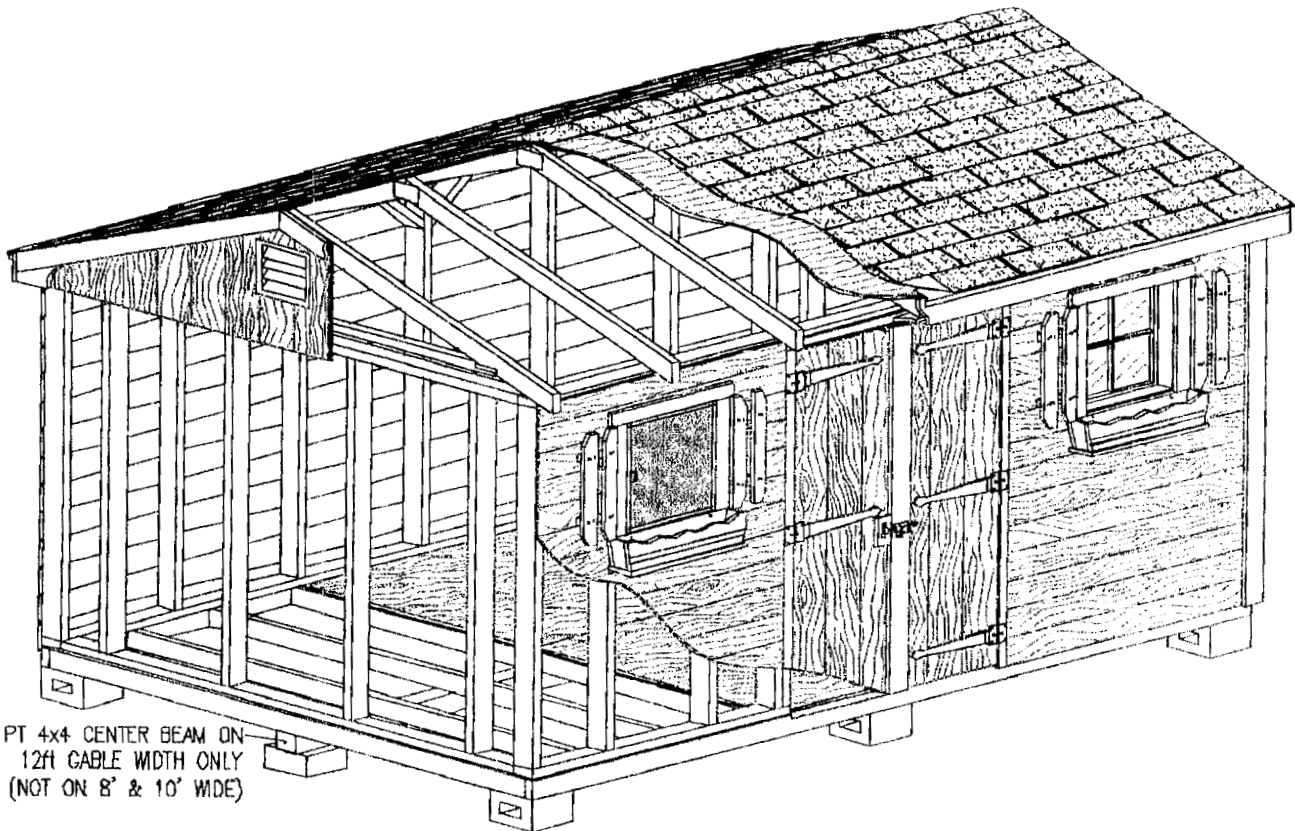
1/2" 5-ply plywood
2x4 trusses w/TPI plates, 24" on center
3ft. 3-tab, self-sealing asphalt shingles
All Peak roof pitches are 5/12
Gambrel roof pitch is 12/12 at bottom
changing to 5/12 pitch at the top
Optional gable vents available

Approx Roof Height

6ft wide peak - 8'
8ft wide peak - 8'3"
8ft wide gambrel - 9'
10ft wide peak - 8'11"
10ft wide gambrel - 9'5"
12ft wide peak - 9'6"
12ft wide gambrel - 9'10"

Walls

2x4 construction, 24" on center
Siding Types:
Primed shed panel
Pine (tongue & groove)
Cedar (tongue & groove)
Maintenance Free Vinyl on 1/2" plywood
Peak/ Gambrel wall height - 71 1/2"
Extended Peak front wall height - 78"



PT 4x4 CENTER BEAM ON
12ft GABLE WIDTH ONLY
(NOT ON 8' & 10' WIDE)

Windows

Size: 18" wide x 22" tall (approx)
Includes flower box & shutters
Optional window screens
Wooden Sheds - functional windows
Vinyl Sheds - non-functional windows
With optional upgrade to functional

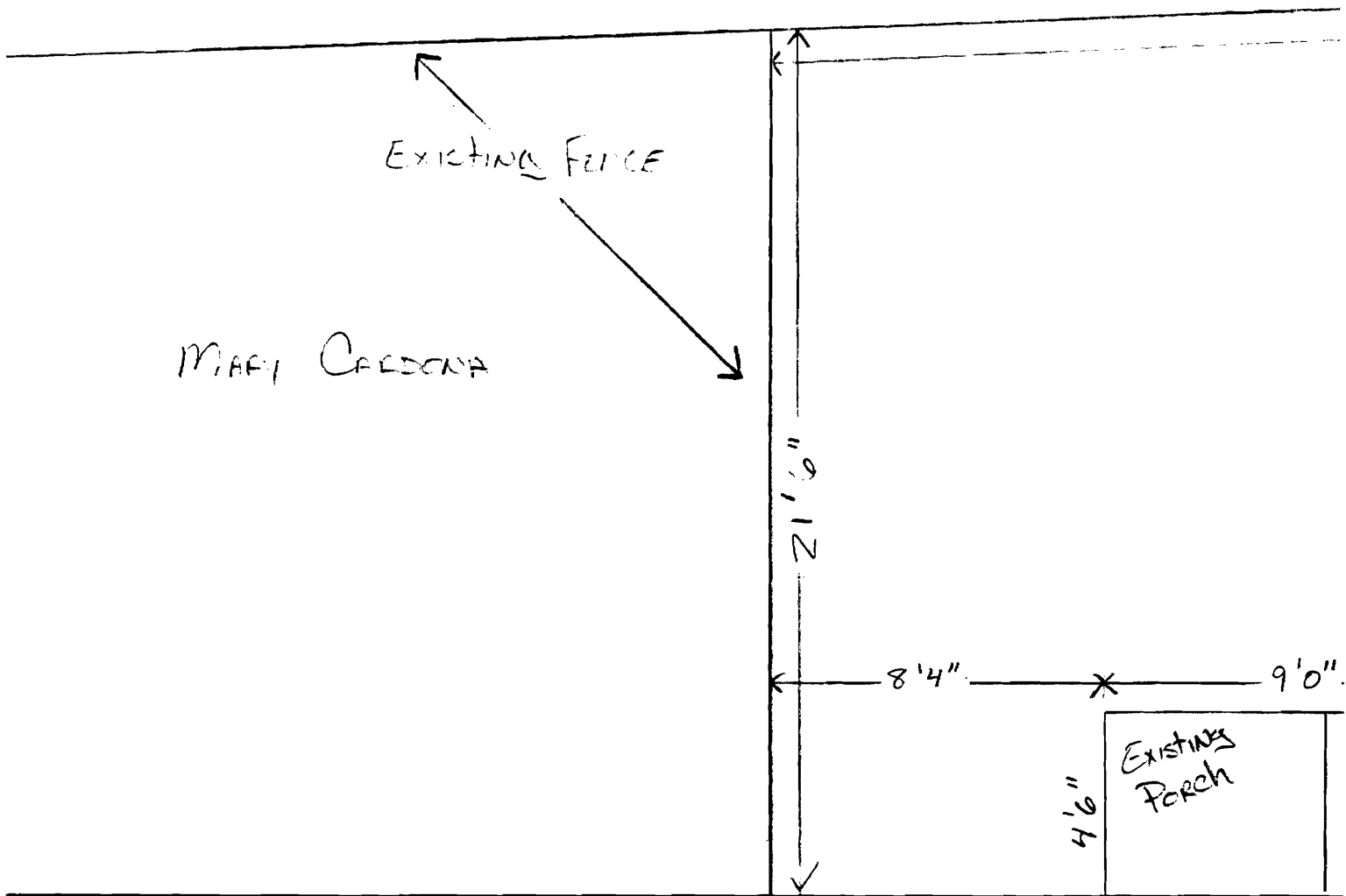
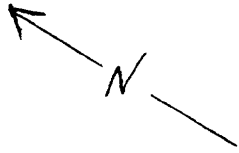
Doors

Standard 40" double door (except 6'x6' shed)
Optional 54", 66", & 78" double door
Optional 26" single door
Door height 69", opening height 67-1/2"

Floor

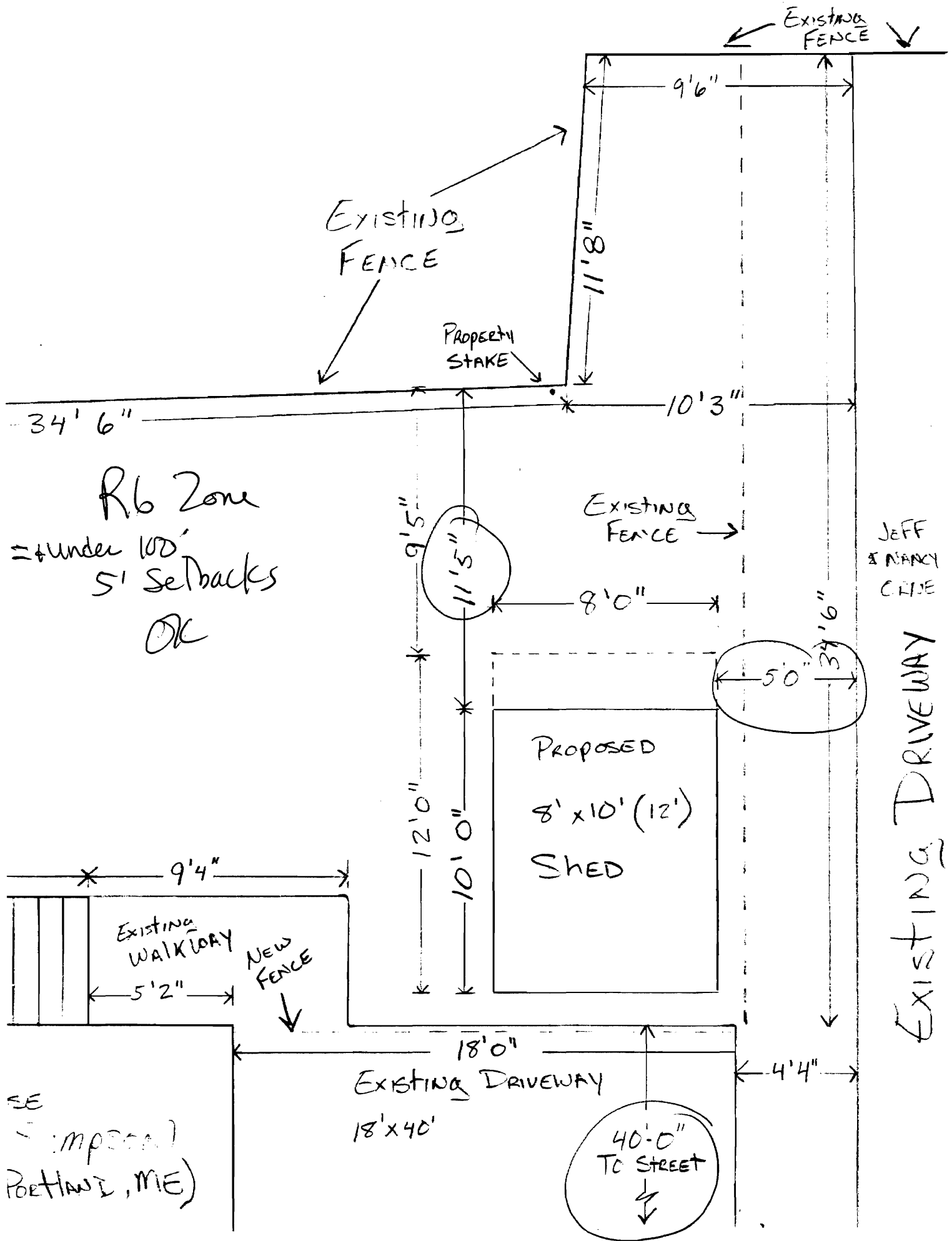
5/8" plywood
optional 5/8" PT plywood
Floor joists - 16" on center
2x4* - 6' & 8' wide sheds
(*optional upgrade to PT 2x6)
or to PT 2x6 12" on center)
2x6* - 10' & 12' wide sheds
(*optional upgrade to PT 2x6)
pressure-treated joists optional
Concrete block supports
PT 4x4 runner under center of
12' gable width sheds only

Note: Options may not be available for all sheds. Call your Distributor or Sheds USA for more information.

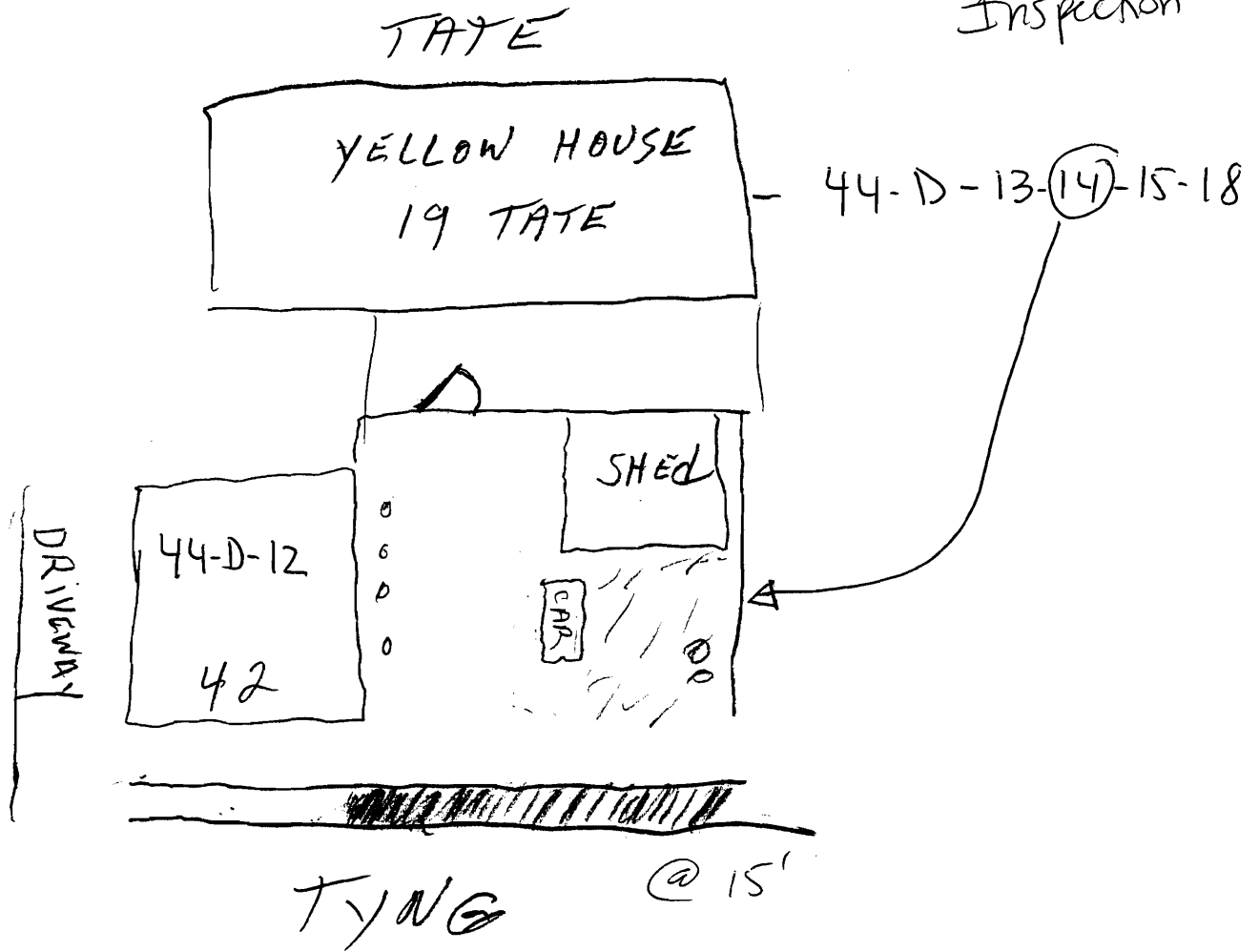


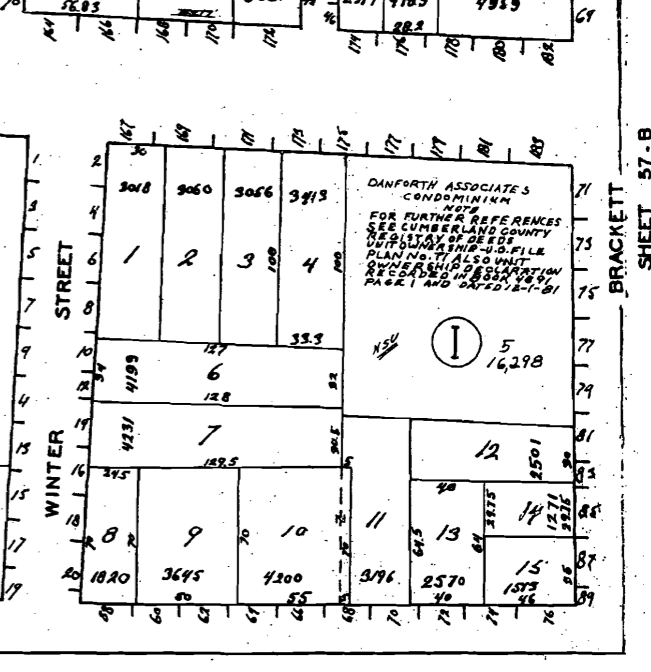
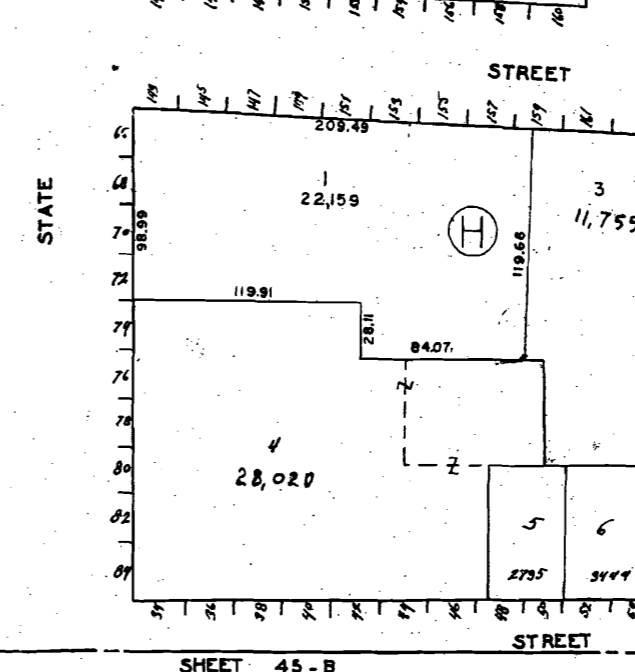
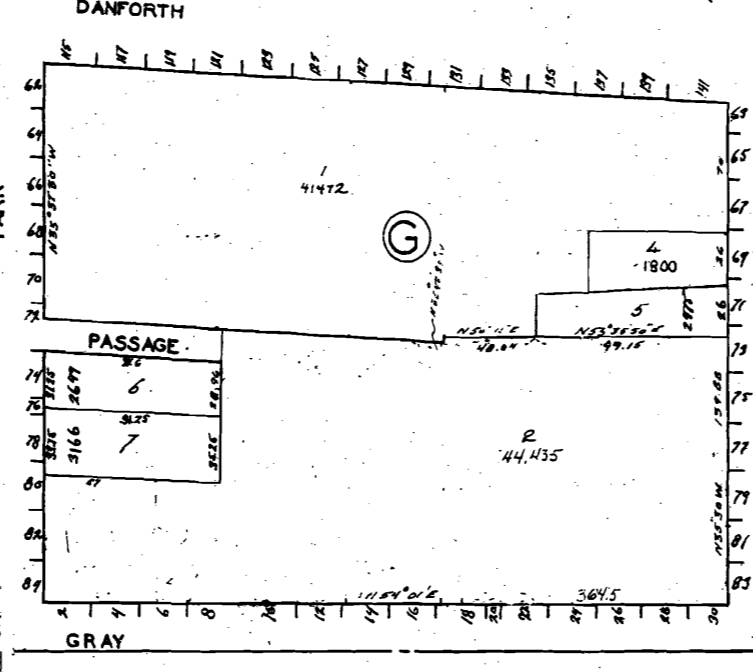
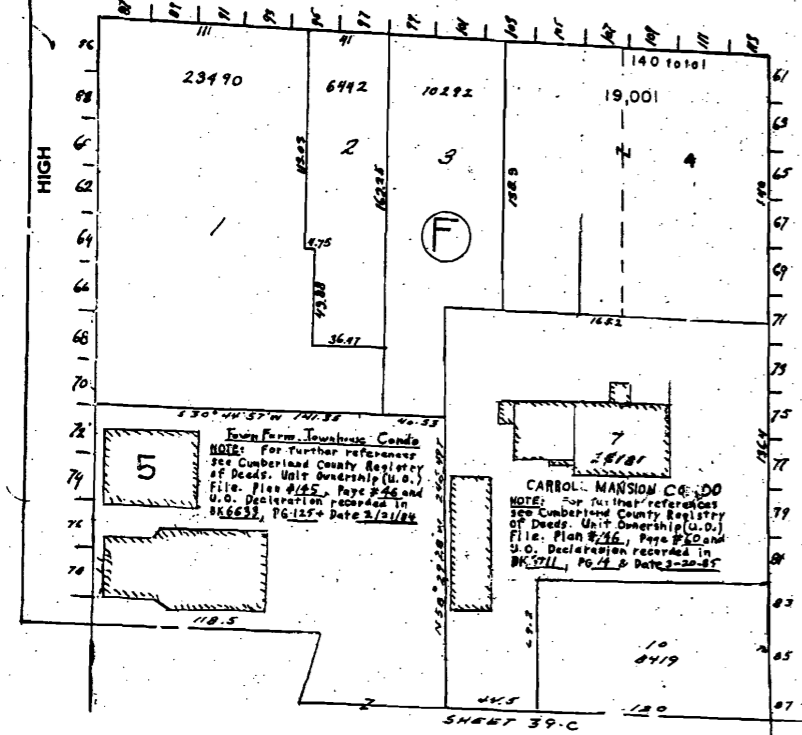
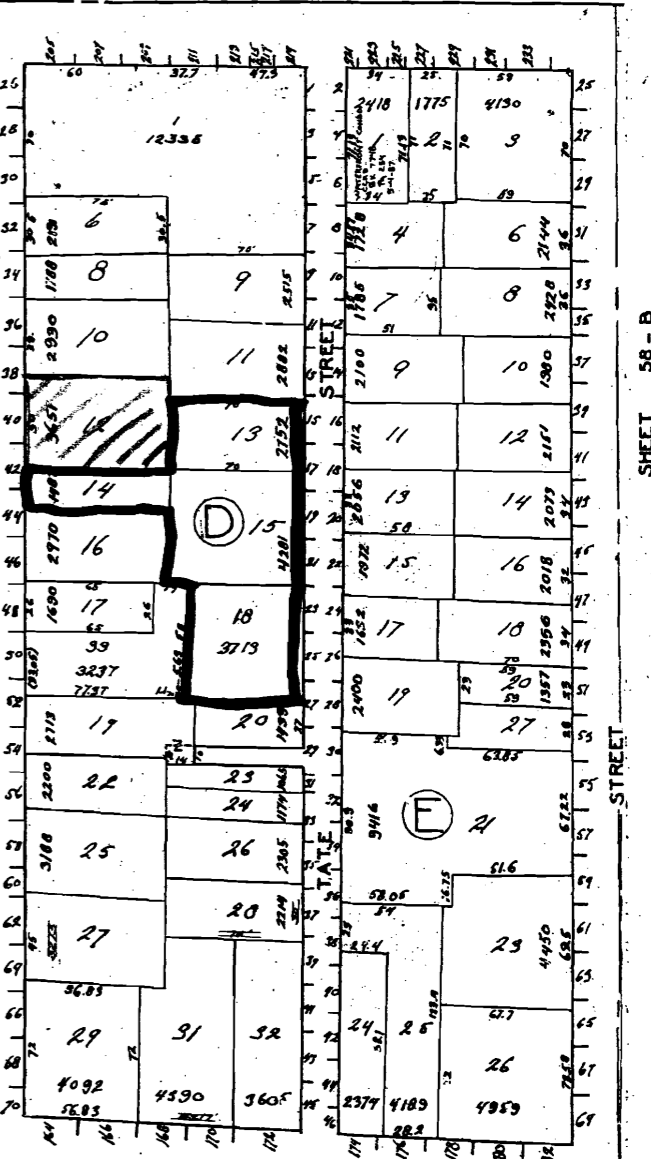
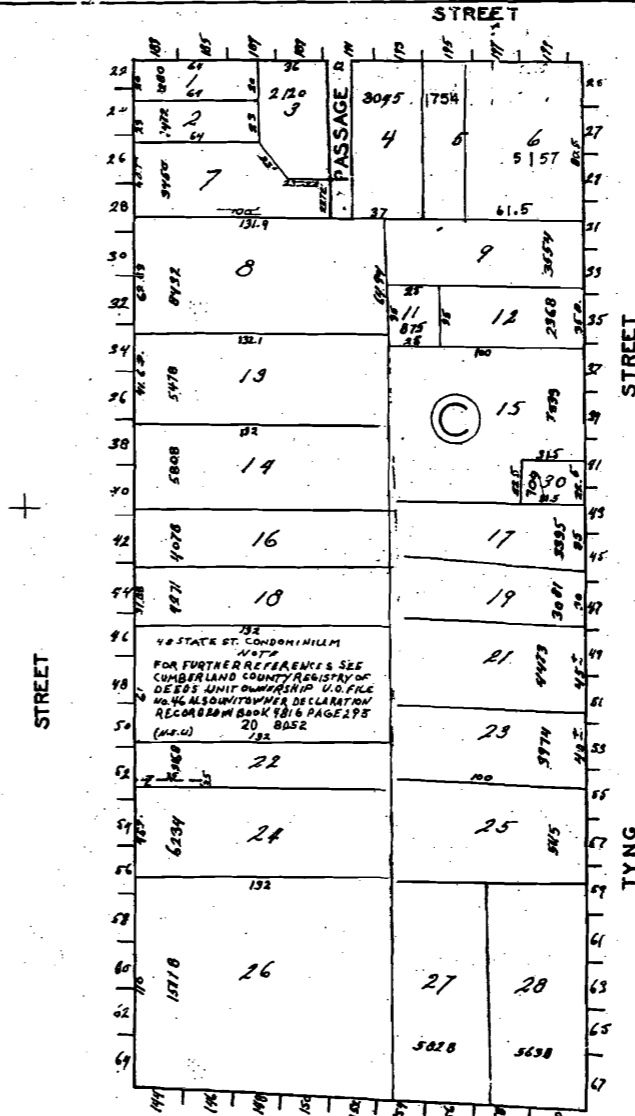
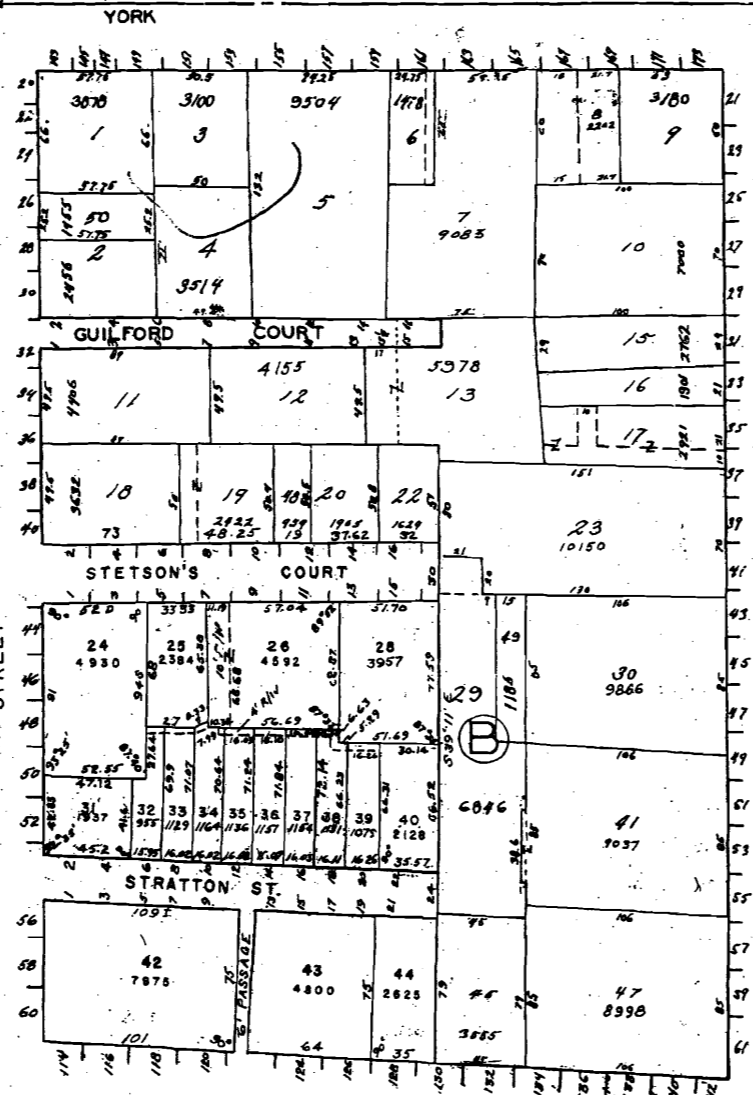
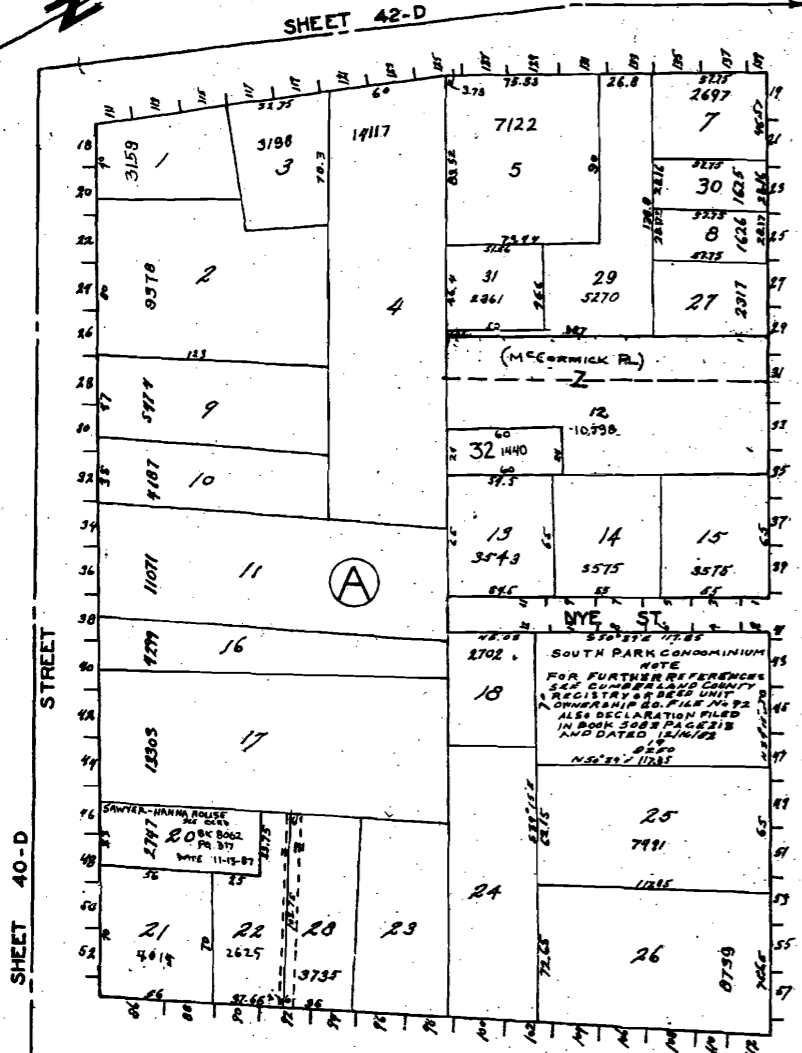
TITLE		DRAWN BY	
PLOT PLAN		JPS	
SCALE	1/4" = 1'	SHEET	1
DATE	9/3/03		

EXISTING HOUSE
JAMES & CALDONA
(33 TATE STREET)



3/26/08
Joe Edwards
Inspection





NOTE: For further reference see Cumberland County Registry of Deeds, Unit Ownership (U.O.) File: Plan #25, Page 326 and U.O. Declaration recorded in 86633, Pg. 125, Date 3/21/88

CARROLL MARSON C.E. DO
NOTE: For further reference see Cumberland County Registry of Deeds, Unit Ownership (U.O.) File: Plan #26, Page 326 and U.O. Declaration recorded in 86633, Pg. 125, Date 3-22-88

STATE ST. CONDOMINIUM
FOR FURTHER REFERENCE SEE CUMBERLAND COUNTY REGISTRY OF DEEDS UNIT OWNERSHIP U.O. FILE NO. 86633, UNIT NUMBER 15, DECLARATION RECORD IN BOOK 1816 PAGE 195 (M.C.U.) 20 BASE

DANFORTH ASSOCIATES CONDOMINIUM
FOR FURTHER REFERENCE SEE CUMBERLAND COUNTY REGISTRY OF DEEDS UNIT OWNERSHIP U.O. FILE NO. 86633, UNIT NUMBER 15, DECLARATION RECORD IN BOOK 1816 PAGE 195 (M.C.U.) 20 BASE



CITY OF PORTLAND, MAINE
Department of Building Inspections

20

Received from _____

Location of Work _____

Cost of Construction \$ _____

Permit Fee \$ _____

Building (IL) ___ Plumbing (I5) ___ Electrical (I2) ___ Site Plan (U2) ___

Other _____

CBL: _____

Check #: _____ **Total Collected \$** _____

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy