

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0334	Issue Date: PERMIT DENIED	CBL: 044 D013003
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Location of Construction: 19 Tate St	Owner Name: Orne Jeffrey C & Nancy I Jts	Owner Address: 19 Tate St #3	Phone: 774-0897
Business Name:	Contractor Name: Owner	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone:

Past Use: Condominium: Two units in building	Proposed Use: Condominium / add a 14' x 14' ft deck	Permit Fee: \$39.00	Cost of Work: \$1,100.00	CEO District: 2
Proposed Project Description: add a 14' x 14' ft deck		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: Type: PERMIT DENIED	
		Signature:	Signature:	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
		Signature:	Date:	

Permit Taken By: Idobson	Date Applied For: 03/31/2004	Zoning Approval		
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p align="center">Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<p align="center">Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<p align="center">Historic Preservation</p> <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Date:	Date:	Date:

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

Delete Schedule Add End Print Permit Print C of O Print Insp Invoicing Taxes

Prmt Tex193 6530 Constr Type New Num1 4
Permit Nbr 04-0334 Location of Construction 25 Tate St Appl. Date
Status Pending Permit Type Additions - Dwellings Issue Date
CBL 044 D013001 District Nbr 2 Estimated Cost \$1,100.00 Date Closed

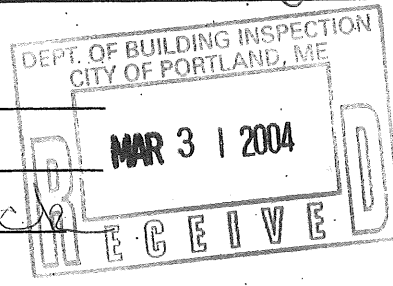
Comment Date	Comment	Add	Delete	Save
04/09/2004	Tried to call - unable to get thru - permit will be denied - does not meet setbacks.			
	Name	Imm	Follow Up Date	Completed
04/08/2004	Tried to call owner - unable to get thru			
	Name	Imm	Follow Up Date	Completed

CreatedBy Idobson CreateDate 03/31/2004 ModBy kwd ModDate 03/31

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>19 Tate</u>		
Total Square Footage of Proposed Structure		Square Footage of Lot <u>44 FT X 65 FT</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>44</u> <u>D</u> <u>13</u>	Owner: <u>Nancy Orne</u> <u>Jeffrey Orne Jr</u>	Telephone: <u>207</u> <u>774-0897</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Nancy Orne 207-774-0897</u> <u>19 Tate St Portland</u>	Cost Of Work: \$ <u>1100</u> Fee: \$ <u>39.00</u>
Current use: <u>Auto Duplex</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>Same</u> <u>14' x 14' deck</u>		
Project description: _____		
Contractor's name, address & telephone: _____		
Who should we contact when the permit is ready: <u>Nancy Orne call</u>		
Mailing address: <u>19 Tate St</u> <u>Portland ME 04102</u> <u>774 0897</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE:		



IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Nancy Orne</u>	Date: _____
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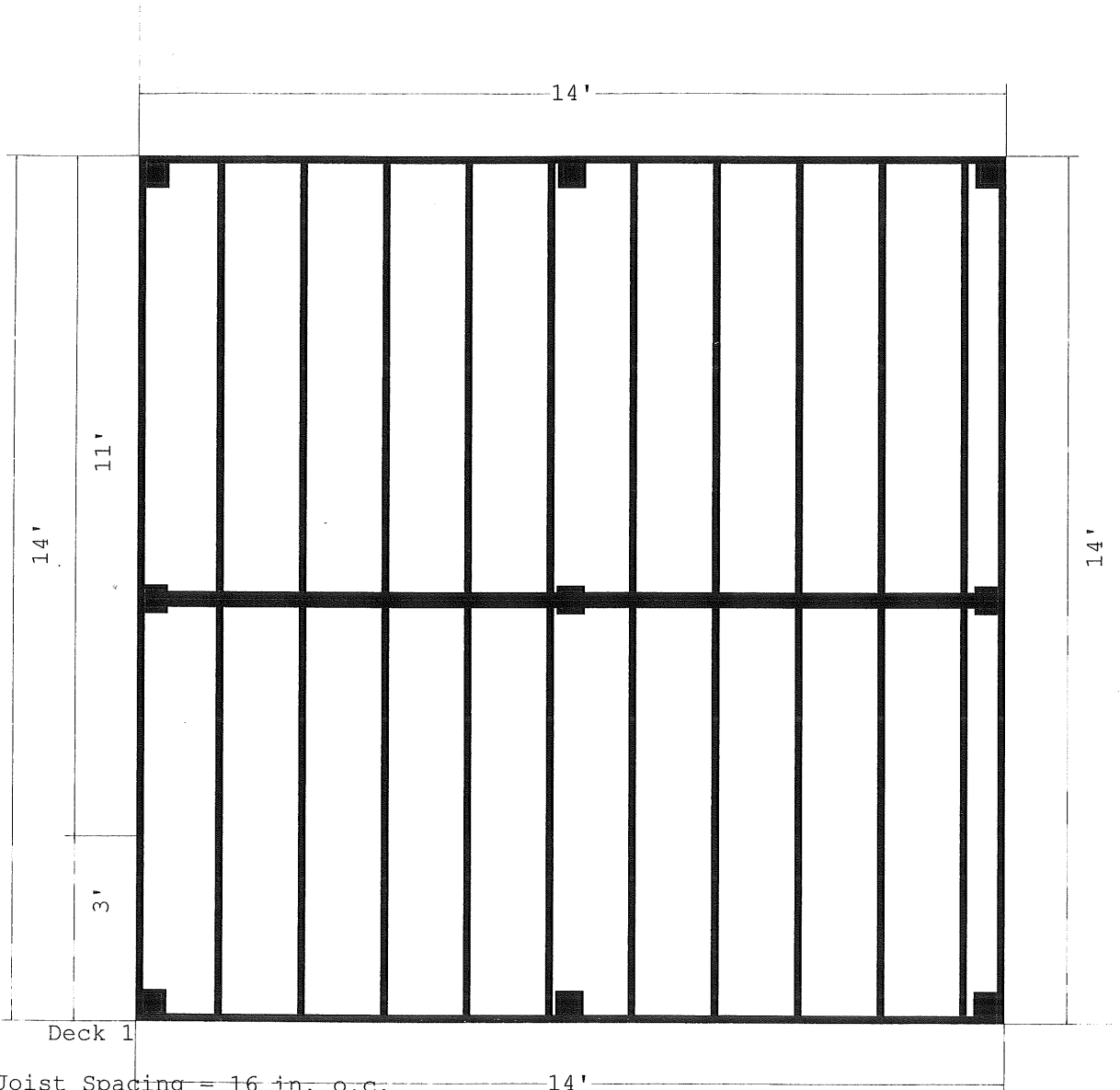
This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

The Home Depot # 2406
300 CLARKS POND PKWY, S PORTLAND, ME 04106
(207) 879-2500

Sun Mar 21 15:35:09 2004

This Project cannot be priced because not all materials are carried in stock.
See Store Associate for prices on non-stock items shown in Bill-of-Materials.

JEFFREY ORNE
DECK DESIGN
75807
Deck Dimensions for Deck 1



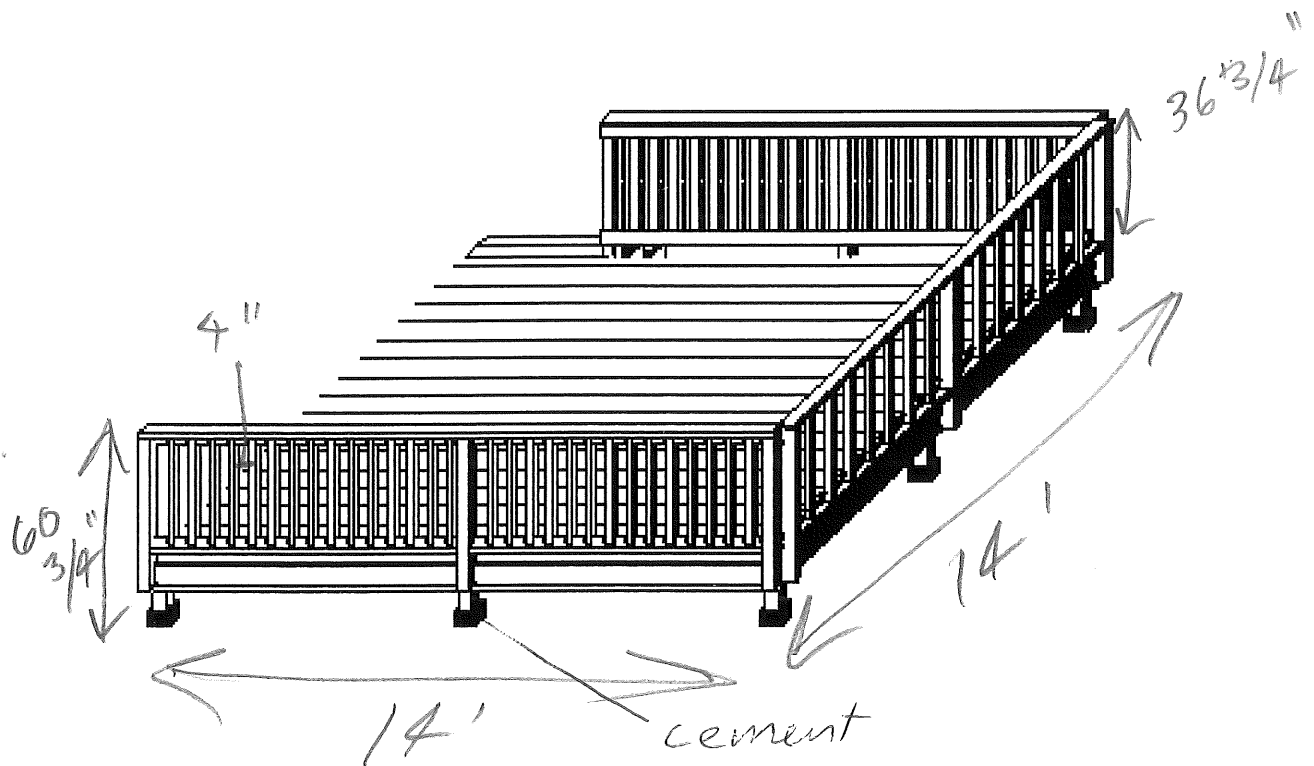
Joist Spacing = 16 in. o.c.
Baluster Spacing = 3 3/4"
Toe Spacing = 3 3/4"
Railing Height = 36"

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JEFFREY ORNE
DECK DESIGN
75807
3D View



cement

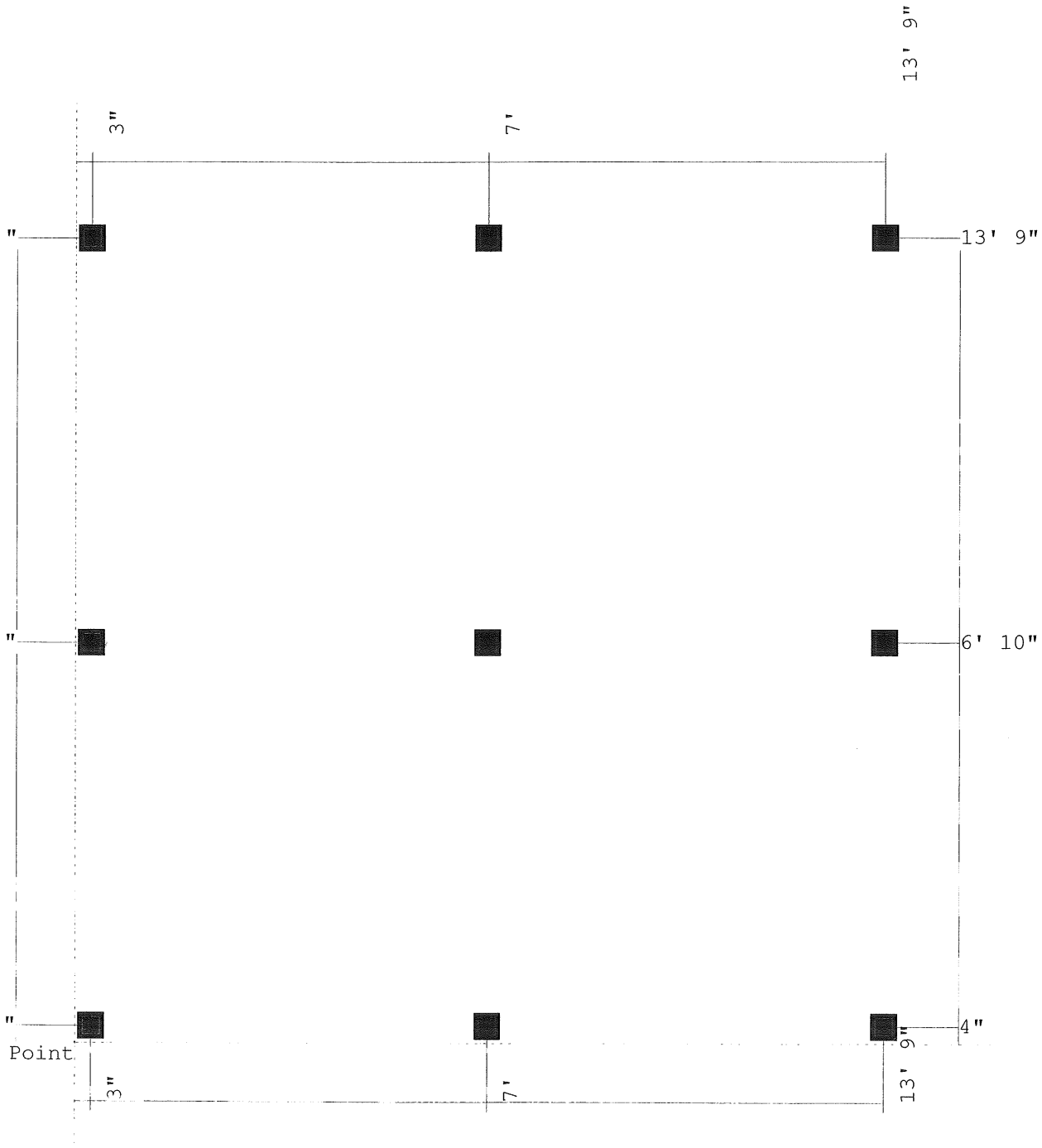
Blocks

sit level on ground

blocks are 10" high

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JEFFREY ORNE
DECK DESIGN
75807
Post Layout for Deck 1





Home

17ft

50ft

Driveway

14x14ft

65ft

8 1/2ft

22 1/2ft

yard

10 1/2ft



Rear - 20'
Sides - 16'

T A X R E C E I P T
City of Portland, Maine
P O Box 544
Portland ME 041120544
207-874-8856

Paid by: ORNE JEFFREY C & NANCY I JTS
19 TATE ST #3
PORTLAND ME 04102

Receipt#: 50436 / 407726
Batch: TONYAM 3/29/2004 00
Date paid: 3/29/2004

Account ID: 108479 Description: P P1099
19 TATE ST SEWER USER
Owner: ORNE JEFFREY C & NANCY I JTS
Account Number ORNE, JEFFREY & NANCY

Year	Value	Rate	Base	Pen & Int	Coll fee	Total paid
2001 1 SW DEL	7182	0.01000	71.82	22.24		94.06
2001 2 FEE		1.00	1.00			1.00
2001 2 FCLFEE		1.00	1.00			1.00
2001 2 MAIL 1		3.74	3.94			3.94
2001 3 LIEN FEE		1.00	1.00			1.00
2001 3 MAIL 2		3.74	7.88			7.88
2001 3 MORT 3		6.80	8.84			8.84
2001 3 LIEN		35.00	35.00			35.00
	Year total:		130.48	22.24		152.72
2004 1 SW DEL	32589	0.01000	325.89			325.89
2004 1 SW LATE	1132	0.01000	11.32			11.32
	Year total:		337.21			337.21

Printed: 3/26/04 14:57:18

Receipt total: 489.93

Tender: CASH 500.00

P.T. =
Pressure
Treated

First thing take off first 3 layers of siding for proper installation of deck. cement blocks will be $4\frac{1}{2}$ feet apart 10" high SAUNA TUBES will be $4\frac{1}{2}$ feet apart.

SPACE BETWEEN DECKING BOARDS ONE EIGHTH INCH $\frac{1}{8}$ " apart

SQUARE FOOTAGE OF DECK will BE 14 X 14 FEET USING 2X8

ALL WOOD METATERIALS will BE Pressure Treated.

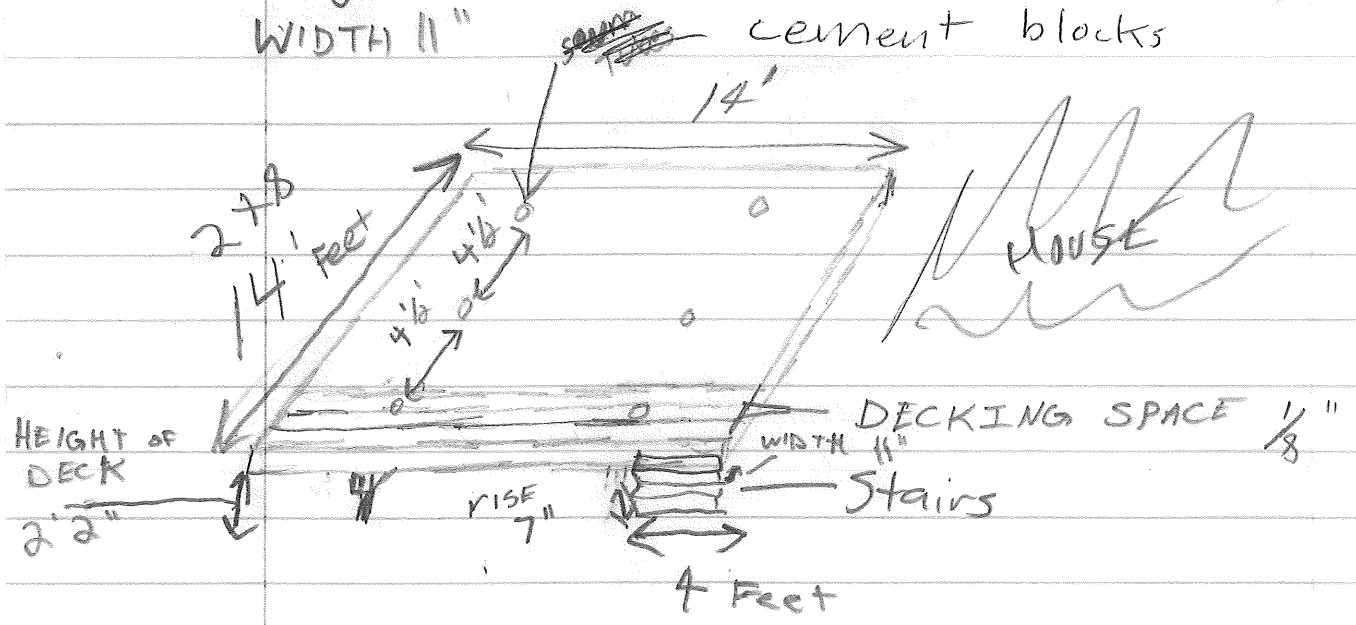
SIZE OF DECKING will be $5/4 \times 6$ " p.t.

HIGHT of DECK will BE 2 Feet 2 inch.

Length of stairs 4' 4"

WIDTH 11"

~~SAUNA TUBES~~ cement blocks



Drive WAY

FROM SURFACE OF DECK to top of railing
will BE $36 \frac{3}{4}$ "

OVER ALL Height from ground to top
of railing will be $60 \frac{3}{4}$ " High

Balusters are 2×2 and 42 " long

Spacing between balusters will be 4 "

WE will be using stainless 2 " screws

for decking + blocks set level on ^{blocks are 10 " high}

~~6 SAUNA TUBES~~ ~~4~~ in the ground

~~with concrete for support~~ Followed

~~by the backfill of dirt~~

Will be using $30 \frac{5}{4} \times 6$ " decking
boards.

4×4 " post carrying deck

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 3/21/2004
 JEFFREY ORNE
 DECK DESIGN
 75807

Materials for Deck:

Qty	UOM	SKU	Use	Description
82	EA	557285	Baluster	2X2-42IN. NO.1 SINGLE POINT BALUSTER
4	EA	255677	Beam	2X8-16 #1 SYP .25 ACQ/CA
30	EA	261586	Decking	5/4X6-16 PREM PRESERVE PLUS
6	EA	254258	V Top Rail	2X4-8 #1 SYP .25 ACQ/CA
6	EA	261124	H Top Rail	5/4X6-8 PREM PRESERVE PLUS
14	EA	255457	Joist	2X6-16 #1 SYP .25 ACQ/CA
4	EA	Spec. Order 1	Post	4x4x4 .40 Treated Southern Pine No. 2
9	EA	Spec. Order 1	Railing Post	4x4x4 .40 Treated Southern Pine No. 2
1	EA	255989	Stair Stringer	2X12-12 #2 SYP .25 ACQ/CA
2	EA	261392	Tread	5/4X6-10 PREM PRESERVE PLUS
6	EA	254258	V Bottom Rail	2X4-8 #1 SYP .25 ACQ/CA
6	EA	254258	V Top Rail	2X4-8 #1 SYP .25 ACQ/CA
44	EA	865827	2x6 Joist Hanger	ZMAX 2X6 JOIST HANGER
1	EA	735002	BalusterScrewGreen	GREEN 5LB 2 1/2IN DECKMATE DECK SCRW
18	EA	544208	Beam Bolt 4x4	CARRIAGE BOLT-GALV. 1/2 X 8
18	EA	538892	Beam Nut	HEX NUT GALV 1/2
18	EA	538981	Beam Washer	FLAT CUT WASHER GALV 1/2
2	EA	735003	Deck Screws3inGreen	GREEN 5LB 3IN DECKMATE DECK SCRW
3	PK	462810	Hanger Nails 2x6	10D JOIST HANGER NAILS
1	EA	192708	Joist Framing Nails	16D 3-1/2" HOT GALV COMMON 5 LB
9	EA	734283	Pier Block	DECK-SO-PORT 50LBS
18	EA	929514	Pier Block InGround	60LB. CONCRETE MIX
18	EA	544208	Rail Post-Bolt	CARRIAGE BOLT-GALV. 1/2 X 8
18	EA	538892	Rail Post-Nut	HEX NUT GALV 1/2
18	EA	538981	Rail Post-Washer	FLAT CUT WASHER GALV 1/2
1	EA	735002	Step Screw Green	GREEN 5LB 2 1/2IN DECKMATE DECK SCRW

The total cost of in stock materials is \$1105.09 plus tax.
 This Price does not include any Special Order Items.
 Please see Store Associate to adjust the design
 or to price and order items.
 This estimate was created on 3/21/2004 and is valid for 3 business days.

Parameters from UBC.cod parameter file.
 Parameters used for Deck 1: 80 psf live load, 48 inch footing depth.

WARNING:

THIS IS NOT A FINAL DESIGN PLAN. VARIATIONS IN BUILDING CODES, SPECIFIC ARCHITECTURAL CONSIDERATIONS, OR SITE CONDITIONS MAY REQUIRE CHANGES TO THIS DESIGN. YOU ARE RESPONSIBLE FOR THE FINAL STRUCTURE, CODE VERIFICATION, MATERIAL USAGE, AND STRUCTURAL SAFETY OF THIS DESIGN. BE SURE TO CHECK AND VERIFY THE DESIGN WITH YOUR LOCAL ARCHITECT AND BUILDING INSPECTOR.

THE COMPANY ASSUMES ABSOLUTELY NO RESPONSIBILITY FOR THE CORRECT USE OF THIS PROGRAM. ALL OUTPUT SHOULD BE EXAMINED BY A QUALIFIED PROFESSIONAL TO DETERMINE IF THEY ARE REASONABLE AND ACCURATE.

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Sun Mar 21 15:36:33 2004
JEFFREY ORNE
DECK DESIGN
75807

Construction Specifications

deck 1:

Construction Method = Beam Flush With Joist
Footing Type = In-Ground with Pier
Live Load = 80
Dead Load = 10
Decking Spacing = 0 1/8"
Joist Spacing = 16"
Beam Spacing = 84"
Post Spacing = 81 1/4"
Decking = 5/4X6 Treated Premium Southern Pine Standard
Beams = 2X8 .25 ACQ Southern Pine No. 1
Joists = 2X6 .25 ACQ Southern Pine No. 1
Posts = 4X4 .40 Treated Southern Pine No. 2
Deck Height = 18"
Diagonal Bracing = No
Deck Skirt = No
Joist Overhang = 0"
Beam Overhang = 0"
Decking Deflection Factor = 360
Joist Deflection Factor = 360
Beam Deflection Factor = 360
Pref Decking Size =
Pref Joist Size = NONE
Pref Beam Size = NONE
Pref Post Size = NONE

Railing 3:

Railing Height = 36"
Baluster Spacing = 3 3/4"
Toe Space = 3 3/4"

Railing 2:

Railing Height = 36"
Baluster Spacing = 3 3/4"
Toe Space = 3 3/4"

Stair 1:

Step Width = 36"
Step Height = 18"
Step Rise = 5 9/16"
Step Run = 11"
Stringers = 2X12 .25 ACQ Southern Pine No. 2
Risers = 5/4X6 Treated Premium Southern Pine Standard
Treads = 5/4X6 Treated Premium Southern Pine Standard

Railing 1:

Railing Height = 36"
Baluster Spacing = 3 3/4"
Toe Space = 3 3/4"