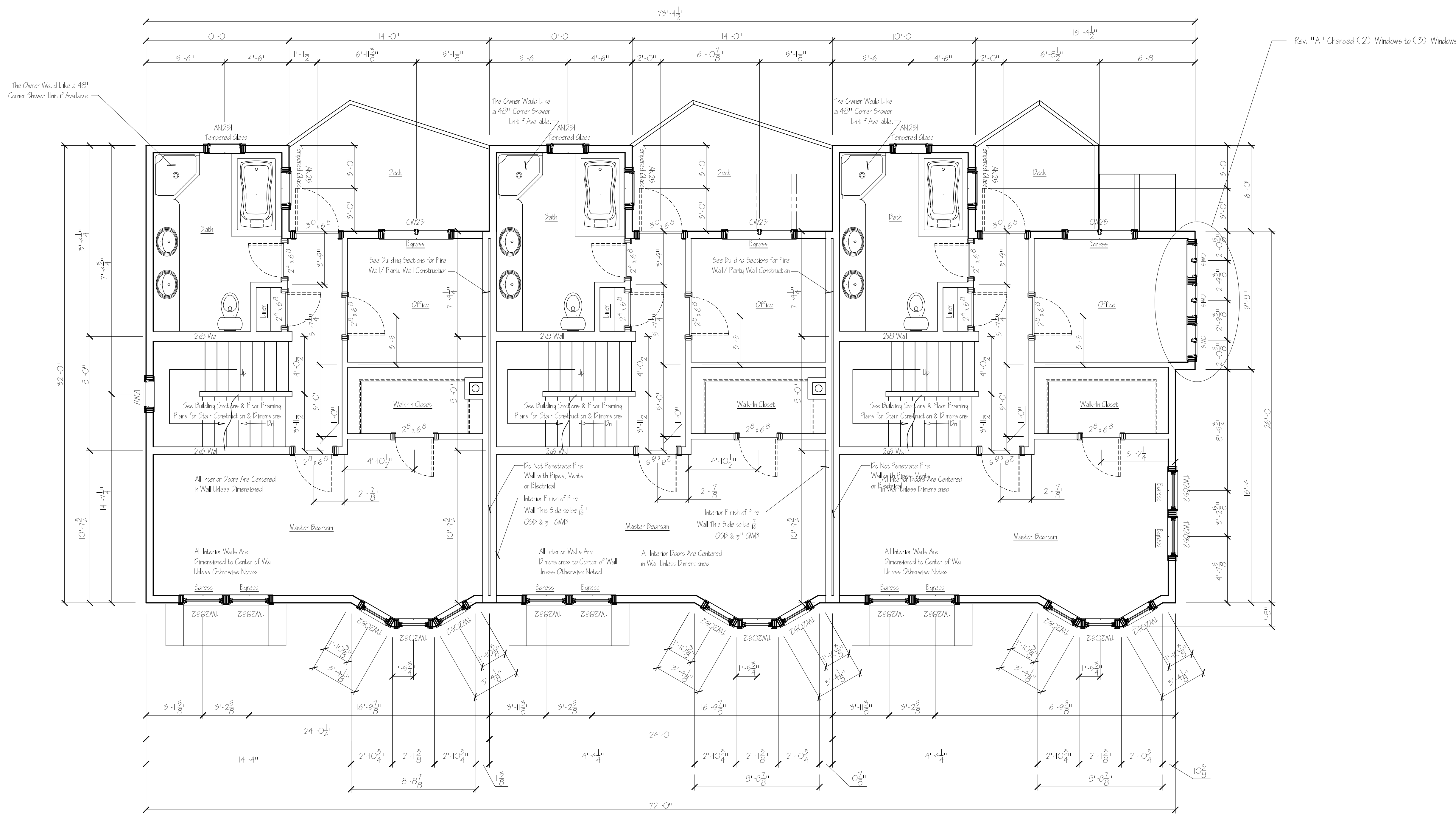


- Stair Construction**
- A.) Max Rise 7 3/4" -- Min Tread Depth 10"
 - B.) Headroom: Min Headroom Shall be Not Less Than 80", Measured Vertically from the Tread Nosing or From the Floor Surface of the Landing or Platform.
 - C.) Winders Shall Have a Tread Depth of Not Less Than 10" at a Point Not More Than 12" From the Side Where the Tread is Narrower and the Min Tread Depth Shall Not be Less Than 6".
- Guardrails**
- A.) Guard Rail to be 42" Min Above FF
 - B.) Openings Shall be such that a Sphere with a 4" Dia. Cannot Pass Through Any Opening
 - C.) Guards Shall Not Have an Ornamental Pattern that Would Provide a Ladder Effect
- Handrails**
- A.) Handrails Shall be Continuous, Without Interruption by Newel Posts, Other Structure Elements or Obstructions. A Handrail and Any Wall or Surface Adjacent to the Handrail Shall be Free of Any Sharp or Abrasive Elements, The Clear Space Between the Handrail and the Adjacent Wall or Surface Shall be Not Less Than 1 1/2". Except that the Clear Space Shall be Not Less Than 2 1/4" for Stairways. Edges Shall have a Min Radius of 1/8".
 - B.) Handrail Height Shall Not be Less Than 54" Nor More Than 36", Measured Vertically, Above the Leading Edge of the Treads or Above the Finished Floor or the Landing or Walking Surfaces.
 - C.) All Stairway & Ramp Handrails Shall Have a Circular Cross Section with an Outside Diameter of at Least 1 1/4" and Not Greater Than 2".
- Glass & Glazing**
- A.) Tempered Glass is Required in All Windows Where the Distance From the FF to the Edge of the Glass is Less Than 18" or the Window is Located in a Hazardous Location



Disclaimer Notes:

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2nd Floor Plan
1/4" = 1'-0"

NOTE: Unless otherwise noted, see building sections for header and girder requirements

DESIGN CODES
IRC 2003

NORTHEAST DESIGN DRAFTING
DRAFTING EXCELLENCE BACKED BY DESIGN EXPERIENCE
95 Suncate Street Portland, ME 04105 Phone 207.797.7776 Fax 207.797.7776
WWW.NORTHEASTDESIGNDRAFTING.COM

PROJECT FOR: Mariners Row Townhouses
25 - # 29 Tujing Street - Portland, Maine
Developer: Ron & Christine Spinella
377 Cumberland Avenue
Portland, Maine 04101

DATE	DESCRIPTION
08.30.04	NO STRUCTURAL CHANGES
07.08.05	
06.09.06	

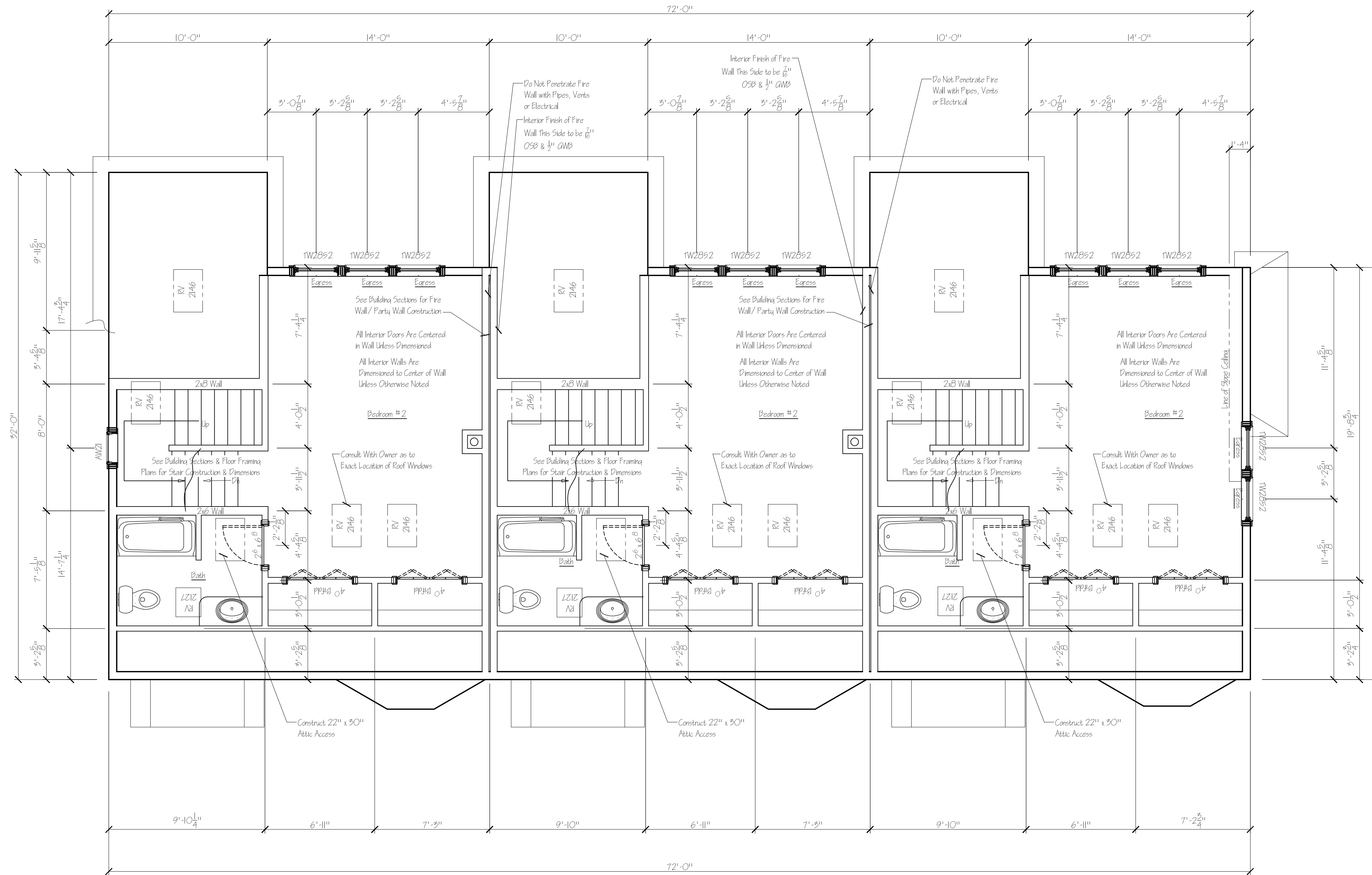
STAMP

For Structural Review

DRAWN	M Lane
DATE	08.30.04
CHECKED	
APPROVED	
SCALE	1/4" = 1'-0"
JOB ORDER	
DRAWING SHEET	A-6
REV.	17

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15

- A**
- Stair Construction
- A) Max Rise 7 3/4" -- Min Tread Depth 10"
 - B) Headroom: Min Headroom Shall be Not Less Than 80", Measured Vertically from the Tread Nosing or From the Floor Surface of the Landing or Platform.
 - C) Winders Shall Have a Tread Depth of Not Less Than 10" at a Point Not More Than 12" From the Side Where the Tread is Narrower and the Min Tread Depth Shall Not be Less Than 6".
- Guards
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 - B) Handrail Height Shall Not be Less Than 34" Nor More Than 38", Measured Vertically, Above the Leading Edge of the Treads or Above the Finished Floor or the Landing or Walking Surfaces.
 - C) All Stairway & Ramp Handrails Shall Have a Circular Cross Section with an Outside Diameter of at Least 1 1/4" and Not Greater Than 2".
- Glass & Glazing
- A) Tempered Glass is Required in All Windows Where the Distance From the FF to the Edge of the Glass is Less Than 18" or the Window is Located in a Hazardous Location



NOTE: Unless otherwise noted, see building sections for header and girder requirements

- K**
- Disclaimer Notes:
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3rd Floor Plan
1/4" = 1'-0"

DESIGN CODES
IRC 2003

NORTHEAST DESIGN DRAFTING
DRAFTING EXCELLENCE BACKED BY DESIGN EXPERIENCE
95 Sunco Street Portland, ME 04105 Phone 207.797.7776 Fax 207.797.7776
WWW.NORTHEASTDESIGNDRAFTING.COM

PROJECT FOR
Mariners Row Townhouses
25 - # 29 Tuna Street - Portland, Maine
Developer
Ron & Christine Spinella
377 Cumberland Avenue
Portland, Maine 04101

REV.	DATE	DESCRIPTION
C	09/09/04	Added Notes, Etc. Per Meeting with Mike Nugent.
D	09/08/04	General Revisions to All Floor Plans. (Non Structural). Added Gas Fireplaces to All 2 Units, 1st Floor Only. Added garage Under 29 Tuna St. Unit.
A	09/30/04	No Structural Changes

STAMP

For Structural Review

DRAWN	M Lane
DATE	08.30.04
CHECKED	
APPROVED	
SCALE	1/4" = 1'-0"
JOB ORDER	
DRAWING SHEET	A-7

A
B
C
D
E
F
G
H
I
J
K

DESIGN CODES
IRC 2003

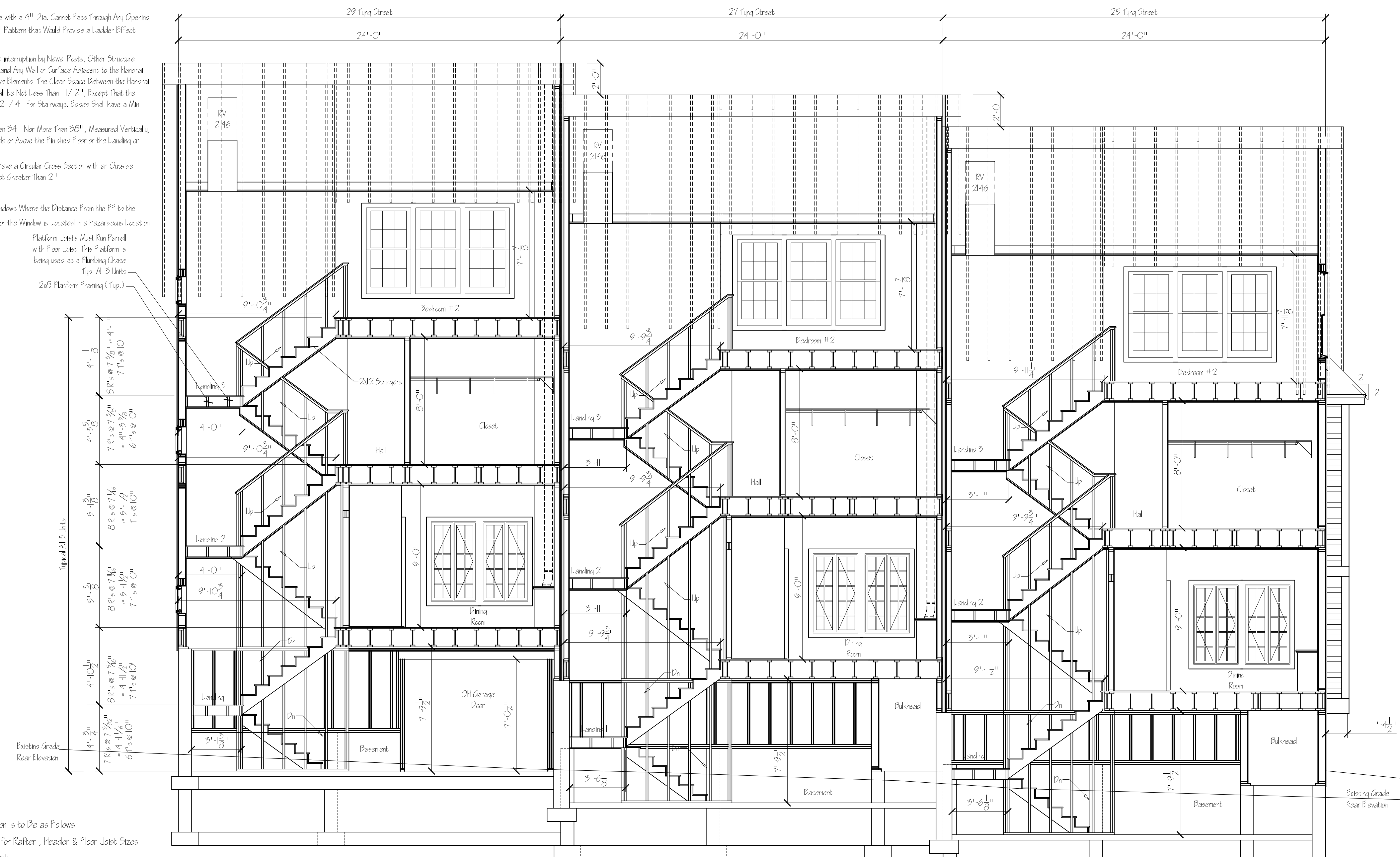
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 - All Load Bearing Requirements Should be Verified by a Registered Engineer or Architect and are the Sole Responsibility of the Client and/or Contractor.
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 - C.) All Stairway & Ramp Handrails Shall Have a Circular Cross Section with an Outside Diameter of at Least 1 1/4" and Not Greater Than 2".

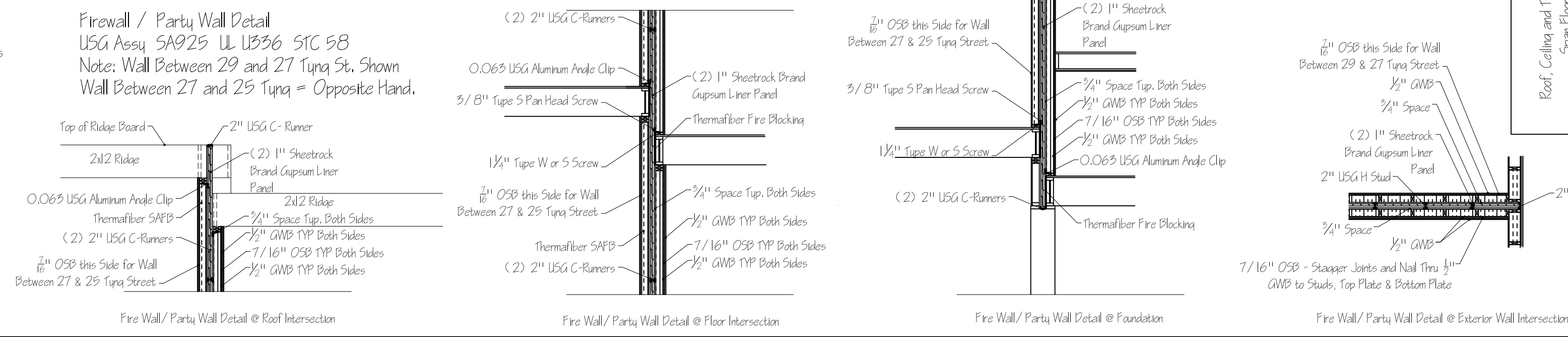
- Glass & Glazing**
- A.) Tempered Glass is Required in All Windows Where the Distance From the FF to the Edge of the Glass is Less than 18" or the Window is Located in a Hazardous Location



Building Section "A-A"
1/4" = 1'-0"

- General Notes:**
- Unless Otherwise Noted All Construction Is to Be as Follows:
 - Refer to Floor and Roof Framing Plans for Rafter, Header & Floor Joist Sizes
 - Roof Ridge Support Carries to Basement
 - All Construction per IRC 2003 Latest Edition

- Framing Specifications:**
- Floor System:**
 - Joists as Indicated on Floor Framing Plan
 - 2x8 PT Sill Plate w/ Sill Seal
 - Subfloor 3/4 T&G Plywood
 - Finish Floor per Customer Specs
 - Exterior Walls:**
 - 2x6 Studs @ 16" OC
 - (2) 2x6 Top Plate
 - 2x6 Bottom Plate
 - 7/16 OSB Wall Sheathing
 - Tyvek Air Infiltration Barrier
 - Fiberglass Insulation
 - Siding & Finish Trim per Customer Spec
 - Interior Walls:**
 - 2x4 Studs @ 16" OC
 - (2) 2x4 Top Plate
 - 2x4 Bottom Plate
 - Roof System:**
 - Rafters per Roof Framing Plan
 - 5/8 CDX Roof Sheathing
 - 15# Felt
 - 25 Yr Asphalt Shingles
 - Ice Shield @ Edge (Up 5' Min)
 - 8" Aluminum Drip Edge
 - Insulation:**
 - Exterior Walls R19
 - Attic Cap R38
 - Sills R19
 - Ventilation:**
 - Soffits 2" Strip Vent
 - Ridges Cont Shingle Vent
 - Lower As Shown
 - Circulation Vents between Rafters
 - Headers:**
 - 1/2" OSB this Side for Wall Between 27 & 29 Tuna Street
 - 1/2" OSB this Side for Wall Between 27 & 25 Tuna Street
 - Interior Finish:**
 - 1/2" OSB Walls & Ceilings
 - Wall Casings per Cust Spec
 - Base Molding per Cust Spec
 - Floor Finish per Cust Spec
 - Millwork per Cust Spec
 - Paint/ Stain per Cust Spec



Girder and Header Spans for Interior Bearing Walls
(Maximum Spans for Douglas Fir-Larch, Hem-Fir, Southern Pine and Spruce-Pine-Fir and Required Number of Jack Studs (NJ))

Girders and Headers Supporting	Size	Building Width in Feet (Measured Perpendicular to the Ridge)					
		20		28		36	
		Span Ft-In	NJ	Span Ft-In	NJ	Span Ft-In	NJ
One Floor Only	2-2x4	3-1	1	2-8	1	2-5	1
	2-2x6	4-6	1	3-11	1	3-6	1
	2-2x8	5-9	1	5-0	2	4-5	2
	2-2x10	7-0	2	6-1	2	5-5	2
	2-2x12	8-1	2	7-0	2	6-3	2
	3-2x8	7-2	1	6-3	1	5-7	2
	3-2x10	8-9	1	7-7	2	6-9	2
	3-2x12	10-2	2	8-10	2	7-10	2
	4-2x8	5-10	1	5-1	2	4-6	2
	4-2x10	10-1	1	8-9	1	7-10	2
Two Floors	2-2x4	2-2	1	1-10	1	1-7	1
	2-2x6	3-2	2	2-9	2	2-5	2
	2-2x8	4-1	2	3-6	2	3-2	2
	2-2x10	4-11	2	4-3	2	3-10	3
	2-2x12	5-9	2	5-0	3	4-5	3
	3-2x8	5-1	2	4-5	2	3-11	2
	3-2x10	6-2	2	5-4	2	4-10	2
	3-2x12	7-2	2	6-3	2	5-7	3
	4-2x8	4-2	2	3-7	2	3-2	2
	4-2x10	7-2	2	6-2	2	5-6	2
4-2x12	8-4	2	7-2	2	6-5	2	

Girder and Header Spans for Exterior Bearing Walls
(Maximum Spans for Douglas Fir-Larch, Hem-Fir, Southern Pine and Spruce-Pine-Fir and Required Number of Jack Studs (NJ))

Ground Snow Load (psf): 50

Girders and Headers Supporting	Size	Building Width in Feet (Measured Perpendicular to the Ridge)					
		20		28		36	
		Span Ft-In	NJ	Span Ft-In	NJ	Span Ft-In	NJ
Roof and Ceiling	2-2x4	3-2	1	2-9	1	2-6	1
	2-2x6	4-8	1	4-1	1	3-8	2
	2-2x8	5-11	2	5-2	2	4-7	2
	2-2x10	7-3	2	6-3	2	5-7	2
	2-2x12	8-5	2	7-3	2	6-6	2
	3-2x8	7-5	1	6-5	2	5-9	2
	3-2x10	9-1	2	7-10	2	7-0	2
	3-2x12	10-7	2	9-2	2	8-2	2
	4-2x8	8-4	1	7-5	1	6-8	1
	4-2x10	10-6	2	9-1	2	8-2	2
Roof, Ceiling and One Center Bearing Floor	2-2x4	2-9	1	2-5	1	2-2	1
	2-2x6	4-1	1	3-7	2	3-3	2
	2-2x8	5-2	2	4-6	2	4-1	2
	2-2x10	6-4	2	5-6	2	5-0	2
	2-2x12	7-4	2	6-5	2	5-9	3
	3-2x8	6-5	2	5-8	2	5-1	2
	3-2x10	7-11	2	6-11	2	6-3	2
	3-2x12	9-2	2	8-0	2	7-3	2
	4-2x8	7-5	1	6-6	1	5-11	2
	4-2x10	9-1	2	8-0	2	7-2	2
Roof, Ceiling and One Clear Span Floor	2-2x4	2-7	1	2-3	1	2-0	1
	2-2x6	3-10	2	3-4	2	3-0	2
	2-2x8	4-10	2	4-2	2	3-9	2
	2-2x10	5-11	2	5-1	2	4-7	3
	2-2x12	6-10	2	5-11	3	5-4	3
	3-2x8	6-1	2	5-3	2	4-8	2
	3-2x10	7-5	2	6-5	2	5-9	2
	3-2x12	8-7	2	7-5	2	6-8	2
	4-2x8	7-0	1	6-1	2	5-5	2
	4-2x10	8-7	2	7-5	2	6-7	2
Roof, Ceiling and Two Center Bearing Floor	2-2x4	2-6	1	2-2	1	1-11	1
	2-2x6	3-8	2	3-2	2	2-10	2
	2-2x8	4-7	2	4-0	2	3-8	2
	2-2x10	5-8	2	4-11	2	4-5	3
	2-2x12	6-6	2	5-9	3	5-2	3
	3-2x8	5-9	2	5-1	2	4-7	2
	3-2x10	7-1	2	6-2	2	5-7	2
	3-2x12	8-2	2	7-2	2	6-5	3
	4-2x8	6-8	1	5-10	2	5-3	2
	4-2x10	8-2	2	7-2	2	6-5	2
Roof, Ceiling and Two Clear Span Floor	2-2x4	2-0	1	1-8	1	1-5	2
	2-2x6	3-0	2	2-7	2	2-3	2
	2-2x8	3-10	2	3-4	2	2-11	3
	2-2x10	4-8	2	4-0	3	3-7	3
	2-2x12	5-5	3	4-8	3	4-2	3
	3-2x8	4-9	2	4-1	2	3-8	2
	3-2x10	5-10	2	5-0	2	4-6	3
	3-2x12	6-9	2	5-10	3	5-3	3
	4-2x8	5-6	2	4-9	2	4-3	2
	4-2x10	6-9	2	5-10	2	5-2	2
4-2x12	7-9	2	6-9	2	6-0	3	

- General Notes:**
- See Roof Framing Plan for Roof Framing Members
 - See Floor Framing Plan for Floor Framing Members
 - See Foundation Plan for Foundation Specs.
 - See Floor Plans for Guardrail & Handrail Specs.

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PROJECT FOR: Mariners Row Townhouses
25 - # 29 Tuna Street - Portland, Maine
Developer: Ron & Christine Spinella
377 Cumberland Avenue
Portland, Maine 04101

Building Section A

DATE: 09.30.04
REV. DATE DESCRIPTION

STATE OF MAINE
RONALD T. BEAUCHESNE #4098 REGISTERED PROFESSIONAL ENGINEER

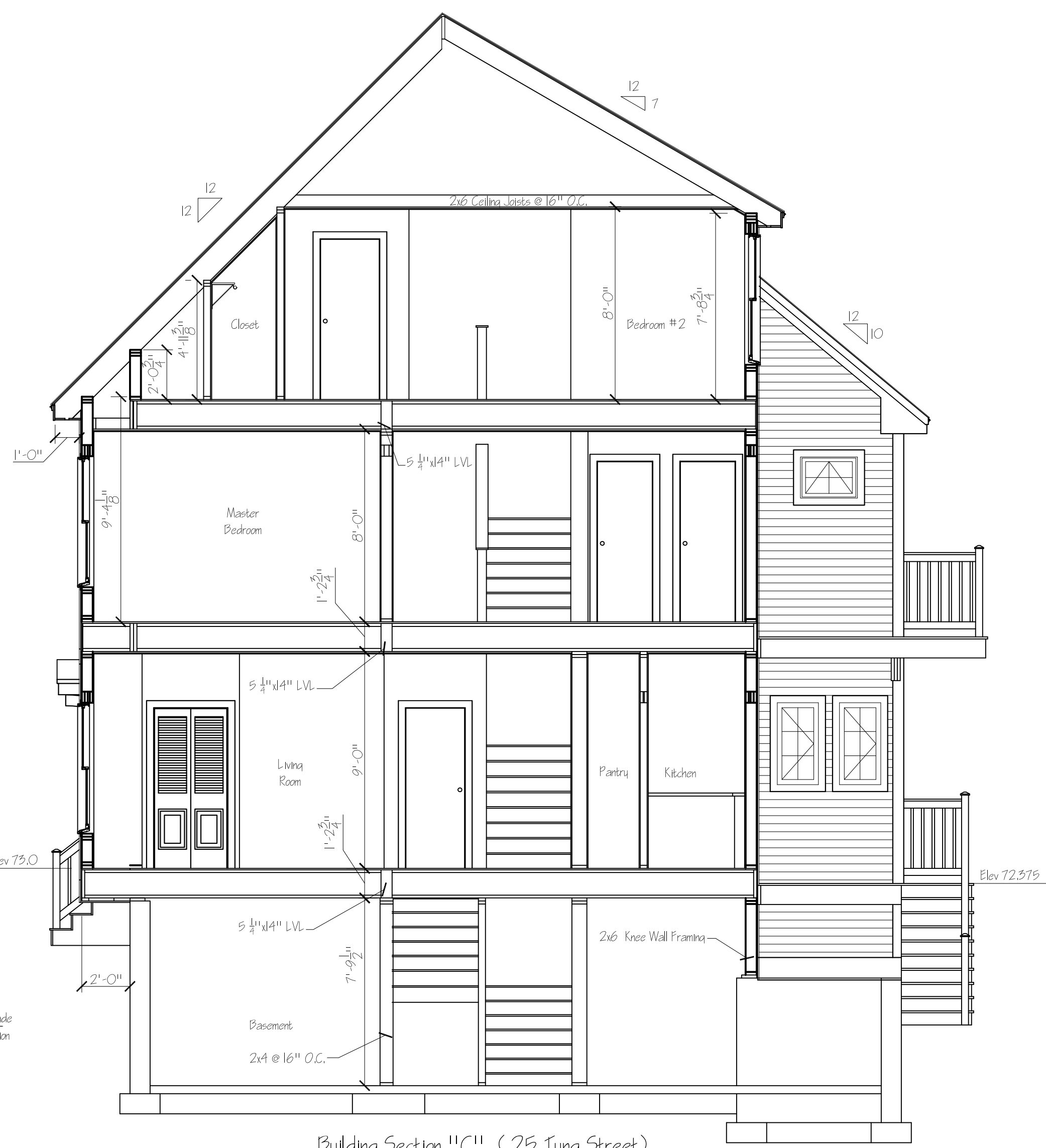
For Structural Review
DRAWN: M Lane
DATE: 08.30.04
CHECKED:
APPROVED:
SCALE: 1/4" = 1'-0"
JOB ORDER:
DRAWING SHEET: A-8

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15

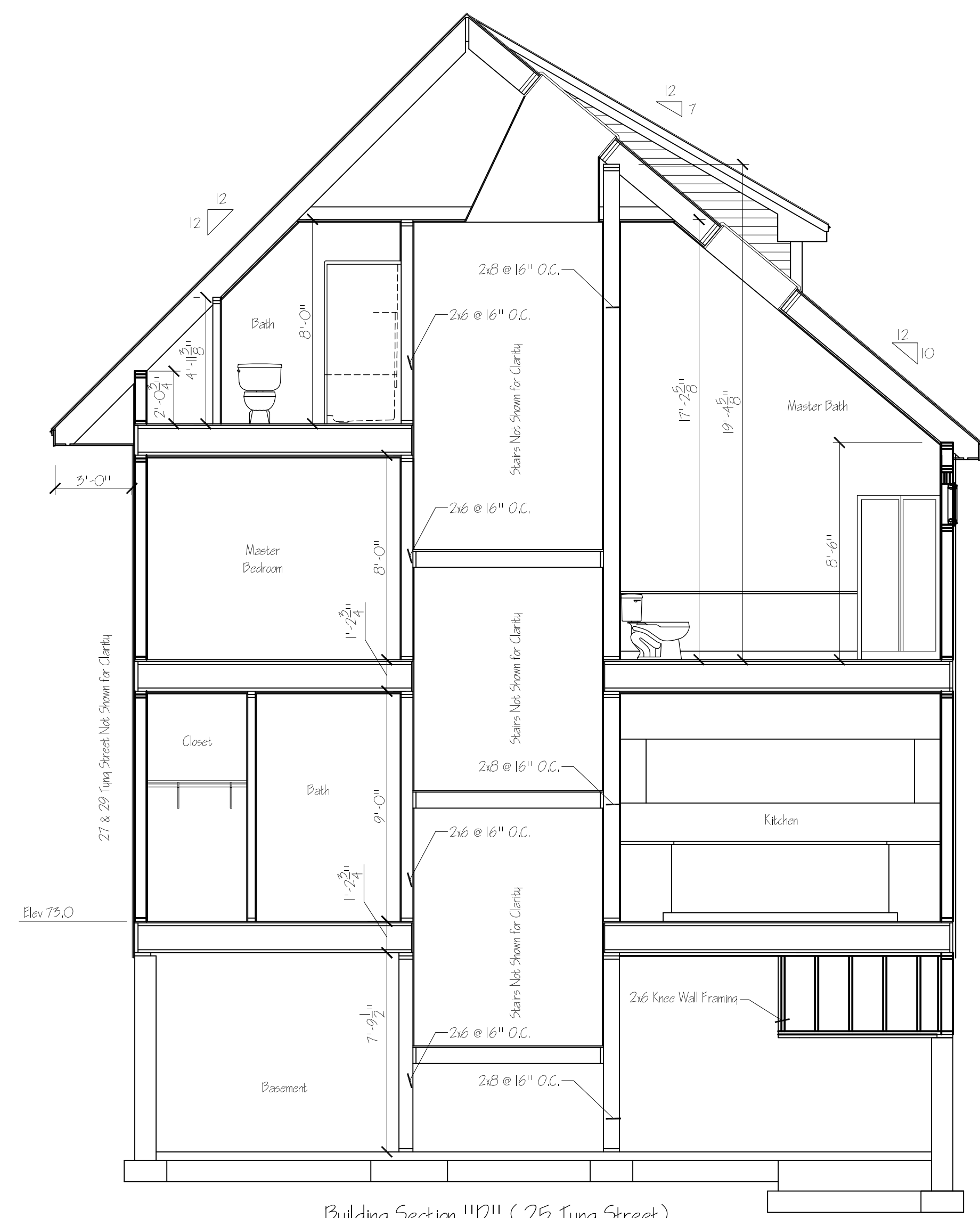
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Building Section "B" (25 Tuna Street)
 1/4" = 1'-0"



Building Section "C" (25 Tuna Street)
 1/4" = 1'-0"



Building Section "D" (25 Tuna Street)
 1/4" = 1'-0"

Stair Construction
 A.) Max Rise 7 3/4" -- Min Tread Depth 10"
 B.) Headroom: Min Headroom Shall be Not Less Than 80", Measured vertically from the Tread Nosing or from the Floor Surface of the Landing or Platform.
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General Notes:
 Unless Otherwise Noted All Construction Is to Be as Follows:
 Refer to Floor and Roof Framing Plans for Rafter, Header & Floor Joist Sizes
 Roof Ridge Support Carries to Basement
 All Construction per IRC 2003 Latest Edition
 Framing Specifications:
 Floor System:
 Joists as Indicated on Floor Framing Plan
 2x8 PT Sill Plate w/ 5/8" Seal
 Subfloor 3/4" T&G Plywood
 Finish Floor per Customer Specs
 Exterior Walls:
 2x6 Studs @ 16" OC
 (2) 2x6 Top Plate
 2x6 Bottom Plate
 7/16 OSB Wall Sheathing
 Tiquek Air Infiltration Barrier
 Fiberglass Insulation
 Siding & Finish Trim per Customer Spec
 Interior Walls:
 2x4 Studs @ 16" OC
 (2) 2x4 Top Plate
 2x4 Bottom Plate

Roof System:
 Rafters per Roof Framing Plan
 5/8 CDX Roof Sheathing
 15# Felt
 25 Yr Asphalt Shingles
 Ice Shield @ Edge (Up 5' Min)
 8" Aluminum Drip Edge
 Insulation:
 Exterior Walls R19
 Attic Cap R38
 Sills R19
 Ventilation:
 Soffits 2" Strip Vent
 Ridges Cont Shingle Vent
 Lower As Shown
 Circulation Vents between Rafters
 Headers:
 Interior Finish:
 1/2" GWB Walls & Ceilings
 Wall Coating per Cust Spec
 Base Molding per Cust Spec
 Floor Finish per Cust Spec
 Millwork per Cust Spec
 Paint/ Stain per Cust Spec

NOTE: Unless otherwise noted, see Dwg sheet AB for header and girder requirements

DESIGN CODES
 IRC 2003

General Notes:
 1.) See Roof Framing Plan for Roof Framing Members
 2.) See Floor Framing Plan for Floor Framing Members
 3.) See Foundation Plan for Foundation Specs.
 4.) See Floor Plans for Guardrail & Handrail Specs.

NORTHEAST DESIGN DRAFTING
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PROJECT FOR:
 Mariners Row Townhouses
 # 25 - # 29 Tuna Street - Portland, Maine
 Developer
 Ron & Christine Spinella
 577 Cumberland Avenue
 Portland, Maine 04101

DATE	DESCRIPTION
09/05/08	Added Notes, Etc. Per Meeting with Mike Nugent
09/08/08	General Revisions to All Floor Plans. (New Structural). Added Case Finishes to All 2 Units. 1st Floor Only.
09/30/08	Added average Under 29 Tuna St. Unit. No Structural Changes

STAMP

 For Structural Review
 DRAWN M Lane
 DATE 08.30.08
 CHECKED
 APPROVED
 SCALE 1/4" = 1'-0"
 JOB ORDER
 DRAWING SHEET A-9 9/17/08

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15

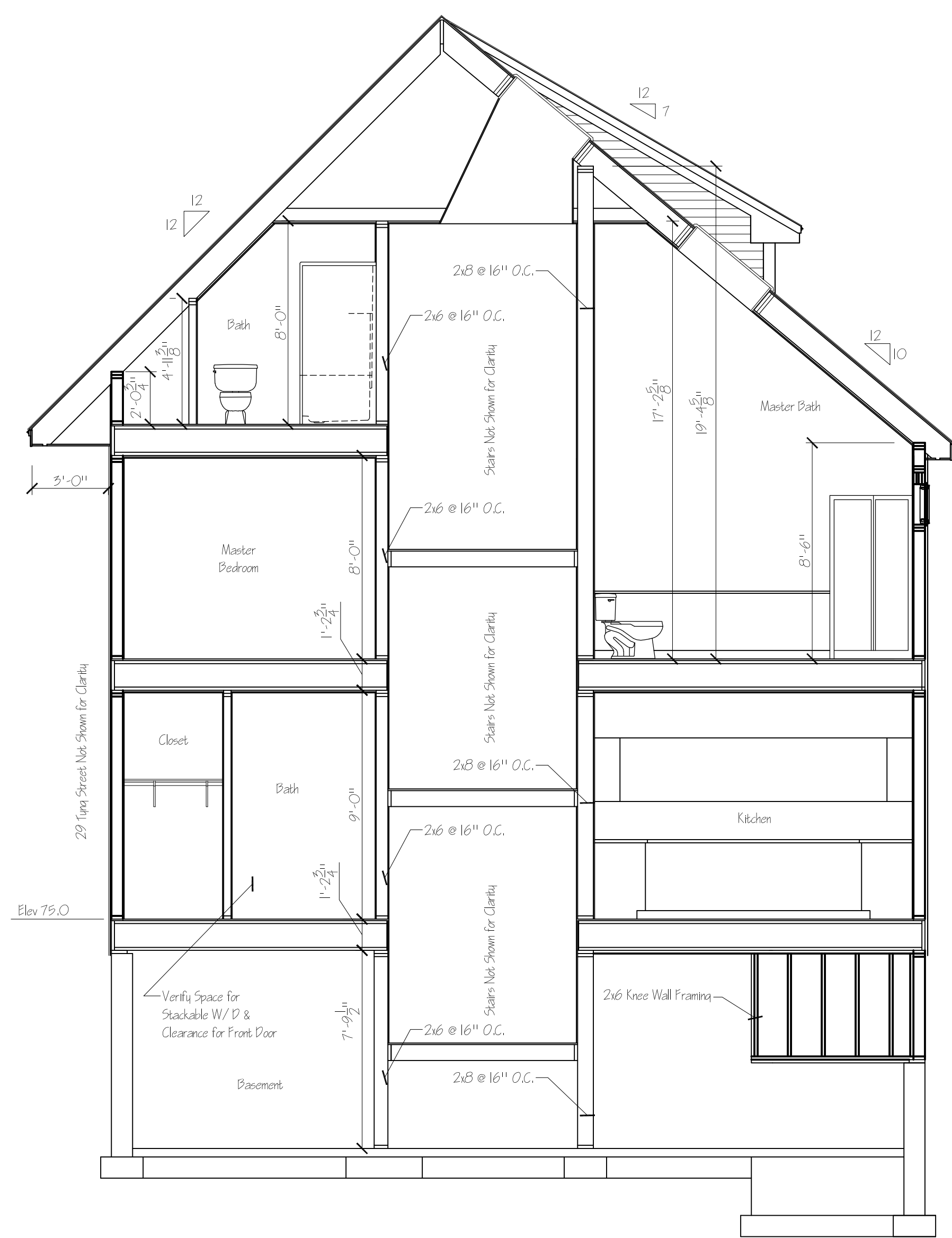
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Building Section "E" (27 Tuna Street)
 1/4" = 1'-0"



Building Section "F" (27 Tuna Street)
 1/4" = 1'-0"



Building Section "G" (27 Tuna Street)
 1/4" = 1'-0"

Stair Construction
 A.) Max Rise 7 3/4" -- Min Tread Depth 10"
 B.) Headroom: Min Headroom Shall be Not Less Than 80", Measured vertically from the Tread Nosing or From the Floor Surface of the Landing or Platform.
 C.) Winders Shall Have a Tread Depth of Not Less Than 10" at a Point Not More Than 12" From the Side Where the Tread is Narrower and the Min Tread Depth Shall Not be Less Than 6".

Guardrails
 A.) Guard Rail to be 42" Min Above FF
 B.) Openings Shall be such That a Sphere with a 4" Dia. Cannot Pass Through Any Opening
 C.) Guards Shall Not Have an Ornamental Pattern that Would Provide a Ladder Effect

Handrails
 A.) Handrails Shall be Continuous, Without Interruption by Novel Posts, Other Structure Elements or Obstructions. A Handrail and Any Wall or Surface Adjacent to the Handrail Shall be Free of Any Sharp or Abrasive Elements. The Clear Space Between the Handrail and the Adjacent Wall or Surface Shall be Not Less Than 1 1/2", Except that the Clear Space Shall be Not Less Than 2 1/4" for Stairways. Edges Shall have a Min Radius of 1/8".
 B.) Handrail Height Shall Not be Less Than 34" Nor More Than 38", Measured Vertically, Above the Leading Edge of the Treads or Above the Finished Floor or the Landing or Walking Surfaces.
 C.) All Stairway & Ramp Handrails Shall Have a Circular Cross Section with an Outside Diameter of at Least 1 1/4" and Not Greater Than 2".

Glass & Glazing
 A.) Tempered Glass is Required in All Windows Where the Distance From the FF to the Edge of the Glass is Less than 18" or the Window is Located in a Hazardous Location

General Notes:
 Unless Otherwise Noted All Construction Is to Be as Follows:
 Refer to Floor and Roof Framing Plans for Rafter, Header & Floor Joist Sizes
 Roof Ridge Support Carries to Basement
 All Construction per IRC 2003 Latest Edition

Framing Specifications:

Floor System:
 Joists as Indicated on Floor Framing Plan
 2x8 PT Sill Plate w/ Sill Seal
 Subfloor 5/4 T&G Plywood
 Finish Floor per Customer Specs

Exterior Walls:
 2x6 Studs @ 16" OC
 (2) 2x6 Top Plate
 2x6 Bottom Plate
 7/16 OSB Wall Sheathing
 Tyvek Air Infiltration Barrier
 Fiberglass Insulation
 Siding & Finish Trim per Customer Spec

Interior Walls:
 2x4 Studs @ 16" OC
 (2) 2x4 Top Plate
 2x4 Bottom Plate

Roof System:
 Rafters per Roof Framing Plan
 5/8 CDX Roof Sheathing
 15# Felt
 25 Yr Asphalt Shingles
 Ice Shield @ Edge (Up 3' Min)
 8" Aluminum Drip Edge

Insulation:
 Exterior Walls R19
 Attic Cap R58
 Sills R19

Ventilation:
 Soffits 2" Strip Vent
 Ridges Cont Shingle Vent
 Lower As Shown
 Circulation Vents between Rafters

Headers:

Interior Finish:
 1/2" GWB Walls & Ceilings
 Wall Casings per Cust Spec
 Base Molding per Cust Spec
 Floor Finish per Cust Spec
 Millwork per Cust Spec
 Paint/ Stain per Cust Spec

NOTE: Unless otherwise noted, see Dwg sheet A8 for header and girder requirements

DESIGN CODES
 IRC 2003

General Notes:
 1.) See Roof Framing Plan for Roof Framing Members
 2.) See Floor Framing Plan for Floor Framing Members
 3.) See Foundation Plan for Foundation Specs.
 4.) See Floor Plans for Guardrail & Handrail Specs.

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PROJECT FOR:
 Mariners Row Townhouses
 # 25 - # 29 Tuna Street - Portland, Maine
 Developer
 Ron & Christine Spinella
 377 Cumberland Avenue
 Portland, Maine 04101

DATE	DESCRIPTION
09/05/08	Added Notes, Etc. Per Meeting with Mike Nugent
09/08/08	General Revisions to All Floor Plans. (Non-Structural). Added Gas P Replaces to All 2 Units. 1st Floor Only. Added garage Under 29 Tuna St. Unit.
09/30/08	No Structural Changes

STAMP

STATE OF MAINE
 RONALD T. BEAUCHESNE
 #4098
 REGISTERED PROFESSIONAL ENGINEER

For Structural Review
 DRAWN M Lane
 DATE 08/30/08
 CHECKED
 APPROVED
 SCALE 1/4" = 1'-0"
 JOB ORDER
 DRAWING SHEET A-10/17C