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General Notes:
 Unless Otherwise Noted All Construction is to Be as Follows:
 Refer to Floor and Roof Framing Plans for Rafters, Header & Floor Joist Sizes
 Roof Ridge Support Carries to Basement
 All Construction per IRC 2003 Latest Edition

Floor System:
 Joists as Indicated on Floor Framing Plan
 2x8 PT Sill Plate w/ Sill Seal
 Subfloor 5/4 T&G Plywood
 Finish Floor per Customer Specs

Exterior Walls:
 2x6 Studs @ 16" OC
 (2) 2x6 Top Plate
 2x6 Bottom Plate
 7/16 OSB Wall Sheathing
 Tyvek Air Infiltration Barrier
 Fiberglass Insulation
 Siding & Finish Trim per Customer Spec

Interior Walls:
 2x4 Studs @ 16" OC
 (2) 2x4 Top Plate
 2x4 Bottom Plate

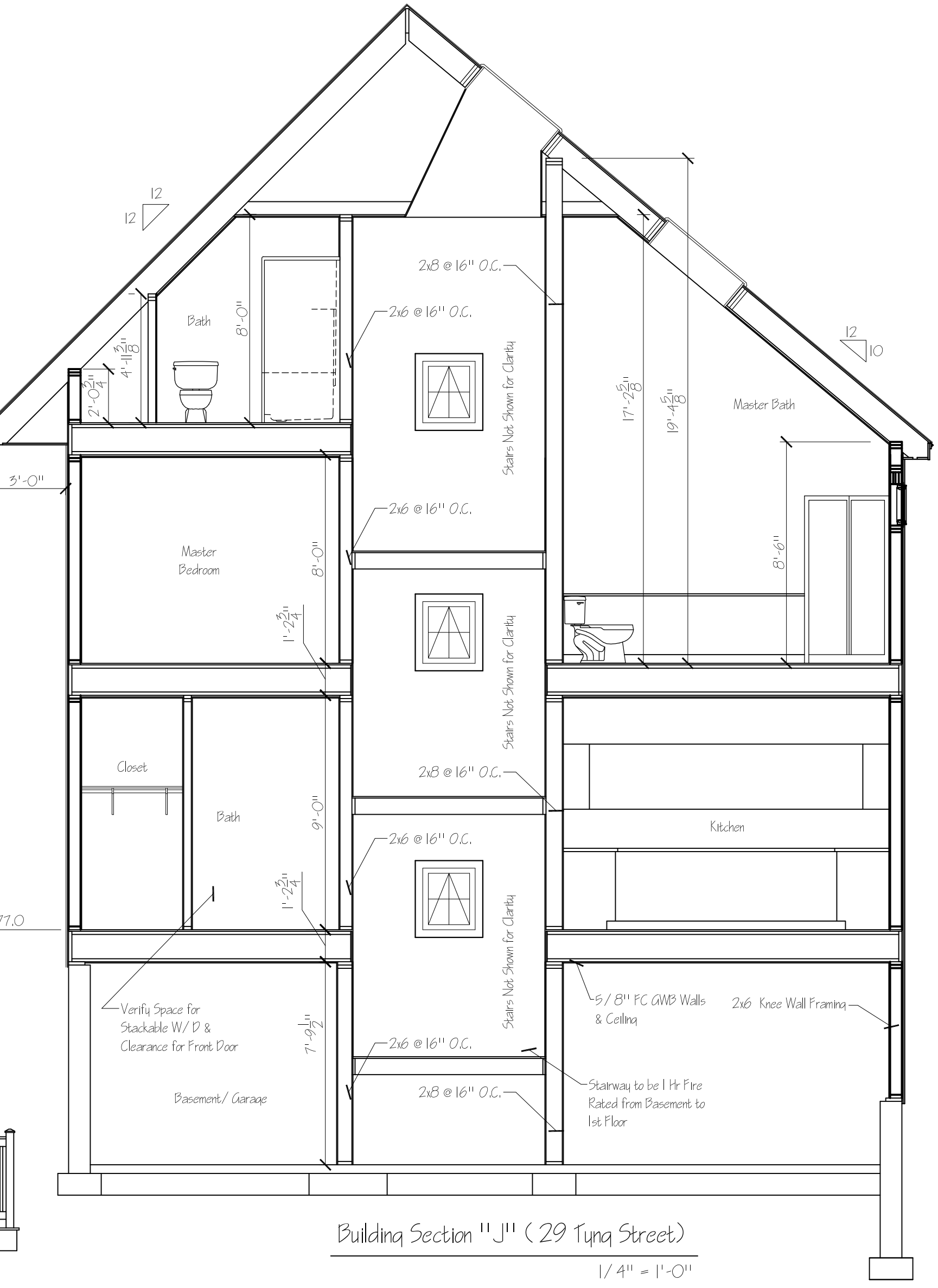
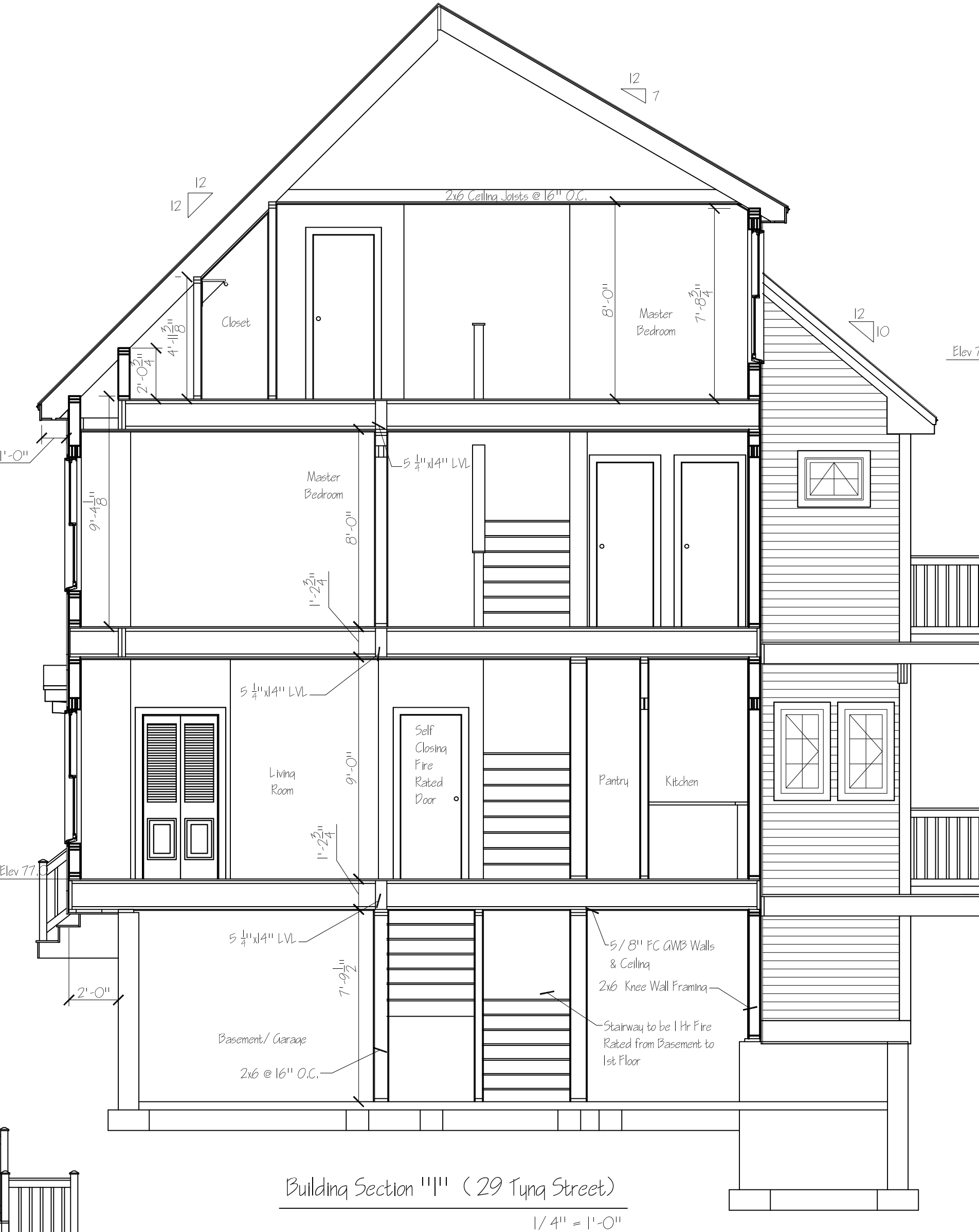
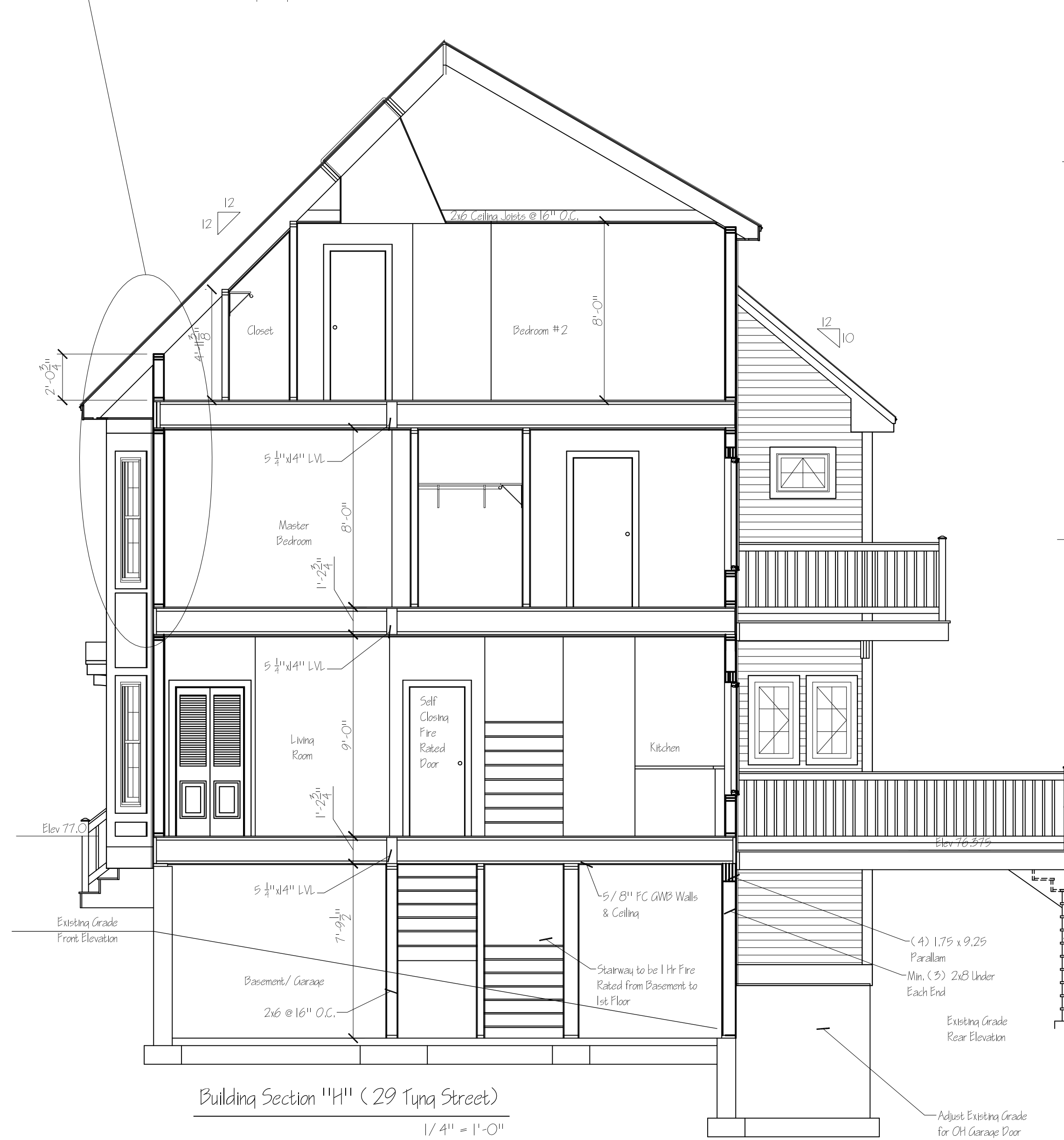
Roof System:
 Rafters per Roof Framing Plan
 5/8 CDX Roof Sheathing
 15# Felt
 25 Yr Asphalt Shingles
 Ice Shield @ Edge (Up 3' Min)
 8" Aluminum Drip Edge

Insulation:
 Exterior Walls R19
 Attic Cap R58
 Sills R19

Ventilation:
 Soffits 2" Strip Vent
 Ridges Cont Shingle Vent
 Lower As Shown
 Circulation Vents between Rafters

Headers:

Interior Finish:
 1/2" GWB Walls & Ceiling
 Wall Casings per Cust Spec
 Base Molding per Cust Spec
 Floor Finish per Cust Spec
 Millwork per Cust Spec
 Paint/ Stain per Cust Spec



Stair Construction

- Max Rise 7 5/4" -- Min Tread Depth 10"
- Headroom: Min Headroom Shall be Not Less Than 80", Measured vertically from the Tread Nosing or From the Floor Surface of the Landing or Platform.
- Winders Shall Have a Tread Depth of Not Less Than 10" at a Point Not More Than 12" From the Side Where the Tread is Narrower and the Min Tread Depth Shall Not be Less Than 6".

Guardrails

- Guard Rail to be 42" Min Above FF
- Openings Shall be such that a Sphere with a 4" Dia. Cannot Pass Through Any Opening
- Guards Shall Not Have an Ornamental Pattern that Would Provide a Ladder Effect

Handrails

- Handrails Shall be Continuous, Without Interruption by Newel Posts, Other Structure Elements or Obstructions. A Handrail and Any Wall or Surface Adjacent to the Handrail Shall be Free of Any Sharp or Abrasive Elements. The Clear Space Between the Handrail and the Adjacent Wall or Surface Shall be Not Less Than 1 1/2". Except that the Clear Space Shall be Not Less Than 2 1/4" for Stairways. Edges Shall have a Min Radius of 1/8".
- Handrail Height Shall Not be Less Than 34" Nor More Than 38". Measured Vertically, Above the Leading Edge of the Treads or Above the Finished Floor or the Landing or Walking Surfaces.
- All Stairway & Ramp Handrails Shall have a Circular Cross Section with an Outside Diameter of at Least 1 1/4" and Not Greater Than 2".

Glass & Glazing

- Tempered Glass is Required in All Windows Where the Distance From the FF to the Edge of the Glass is Less than 18" or the Window is Located in a Hazardous Location

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General Notes:

- See Roof Framing Plan for Roof Framing Members
- See Floor Framing Plan for Floor Framing Members
- See Foundation Plan for Foundation Specs.
- See Floor Plans for Guardrail & Handrail Specs.

NOTE: Unless otherwise noted, see Dwg sheet AB for header and girder requirements

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PROJECT FOR: **Mariners Row Townhouses**
 #25 - # 29 Tynja Street - Portland, Maine
 Developer: **Ron & Christine Spinella**
 377 Cumberland Avenue
 Portland, Maine 04101

DATE	DESCRIPTION
09.09.08	09.09.08
09.09.08	09.09.08
09.30.04	09.30.04

Building Section H, I & J

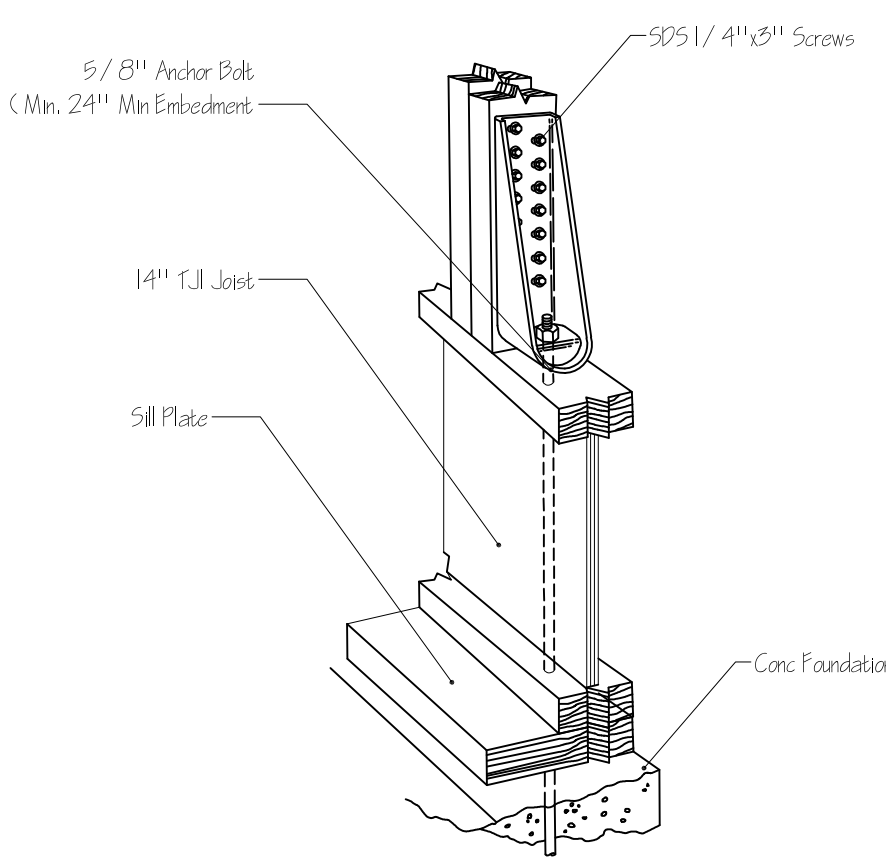
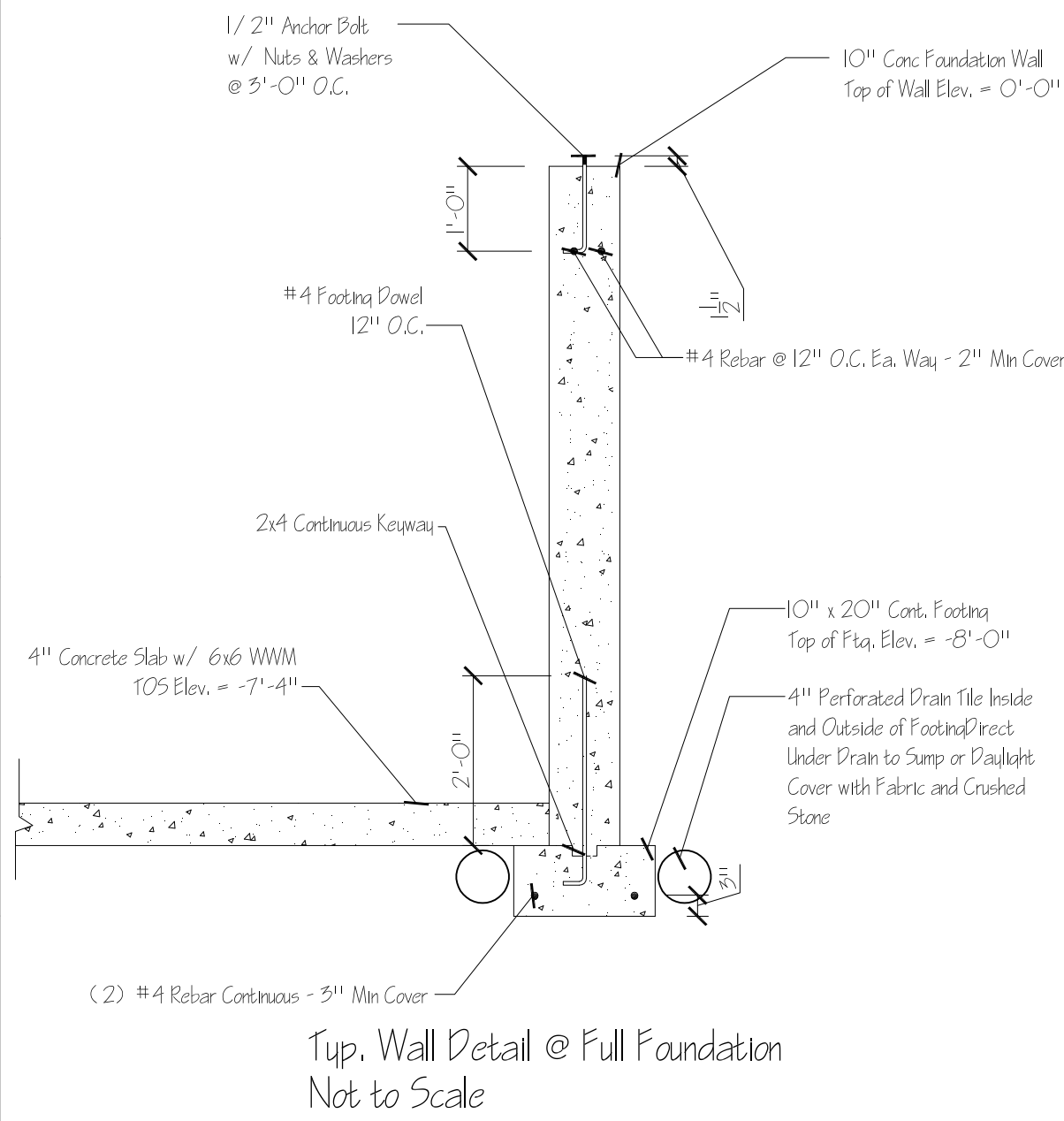
Stamp: **STATE OF MAINE**
RONALD T. BEAUCHESNE
 #4098
 REGISTERED PROFESSIONAL ENGINEER

For Structural Review
 DRAWN: M Lane
 DATE: 08.30.04
 CHECKED:
 APPROVED:
 SCALE: 1/4" = 1'-0"
 JOB ORDER:
 DRAWING SHEET: A-11

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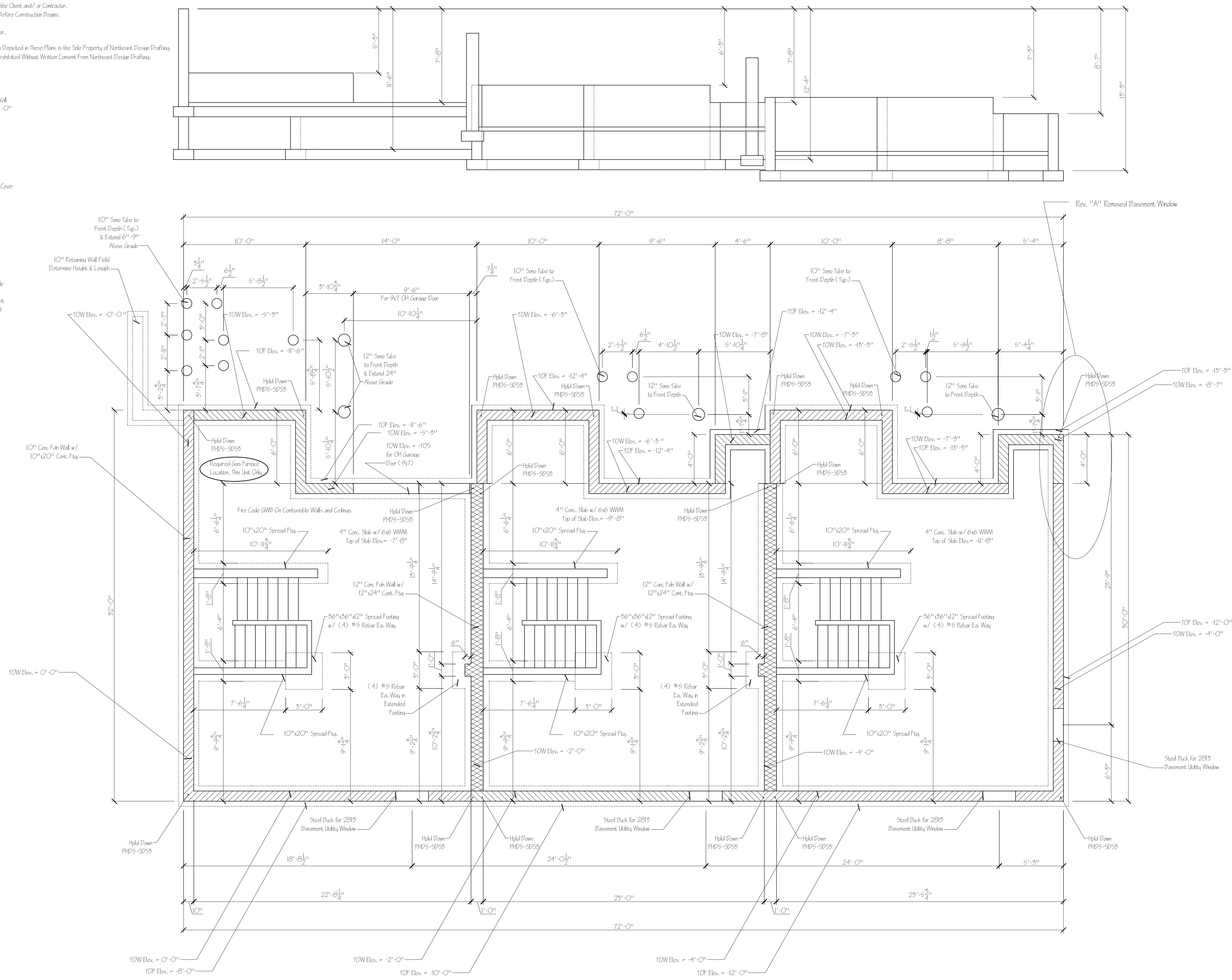
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Simpson Strong-Tie
 PHD5-SD55
 Top Hold Down Detail
 Not to Scale
 See Foundation Plan for Locations
 Install in Accordance with Mfg. Specs.

General Notes:
 - All Construction per IRC 2003 Latest Edition
 - Concrete Walls as Indicated w/ #4x24 inch Footing Dowels @ 48 inch OC
 - Additional Reinforcing as Indicated
 - Anchors @ Corners & @ 6 inch OC
 - Concrete 5000 PSI Walls, Slab & Footing
 - Soil Bearing 2500 PSF
 - All Footings to Frost Depth
 - 3/2 inch Concrete Filled Lally Columns Where Indicated
 - 30 inch x 30 inch x 15 inch Lally Column Spread Footings Where Indicated
 - 4 inch Concrete Slab on 6 mil Vapor Barrier on 8 inch Minimum Crushed Stone
 - 4 inch Perforated Under drain Pipes Both Sides of Fdn Wall
 - Direct Under drain Pipe to Sump or Daylight by Gravity Flow
 - 4 inch Perforated Radon Pipes Under Slab @ 20 inch Max. Connect to Under drain & Provide 2 Stubs for Future Ventilation
 - Control Joints as Indicated
 - Asphalt Paint Exterior of Foundation Walls Below Grade



Foundation Plan

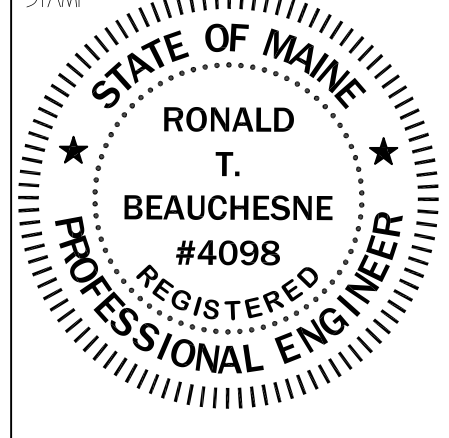
1/4" = 1'-0"

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PROJECT FOR:
 Mariners Row Townhouses
 # 25 - # 29 Tying Street - Portland, Maine
 Developer
 Ron & Christine Spinella
 377 Cumberland Avenue
 Portland, Maine 04101

DATE	DESCRIPTION
09/05/08	Added Notes, Etc. Per Meeting with Mike Nugent
09/08/08	General Revisions to All Floor Plans. (Non Structural). Added Gas Fireplaces to All 5 Units, 1st Floor Only. Added garage Under 29 Tying St. Unit.
09/30/08	No Structural Changes

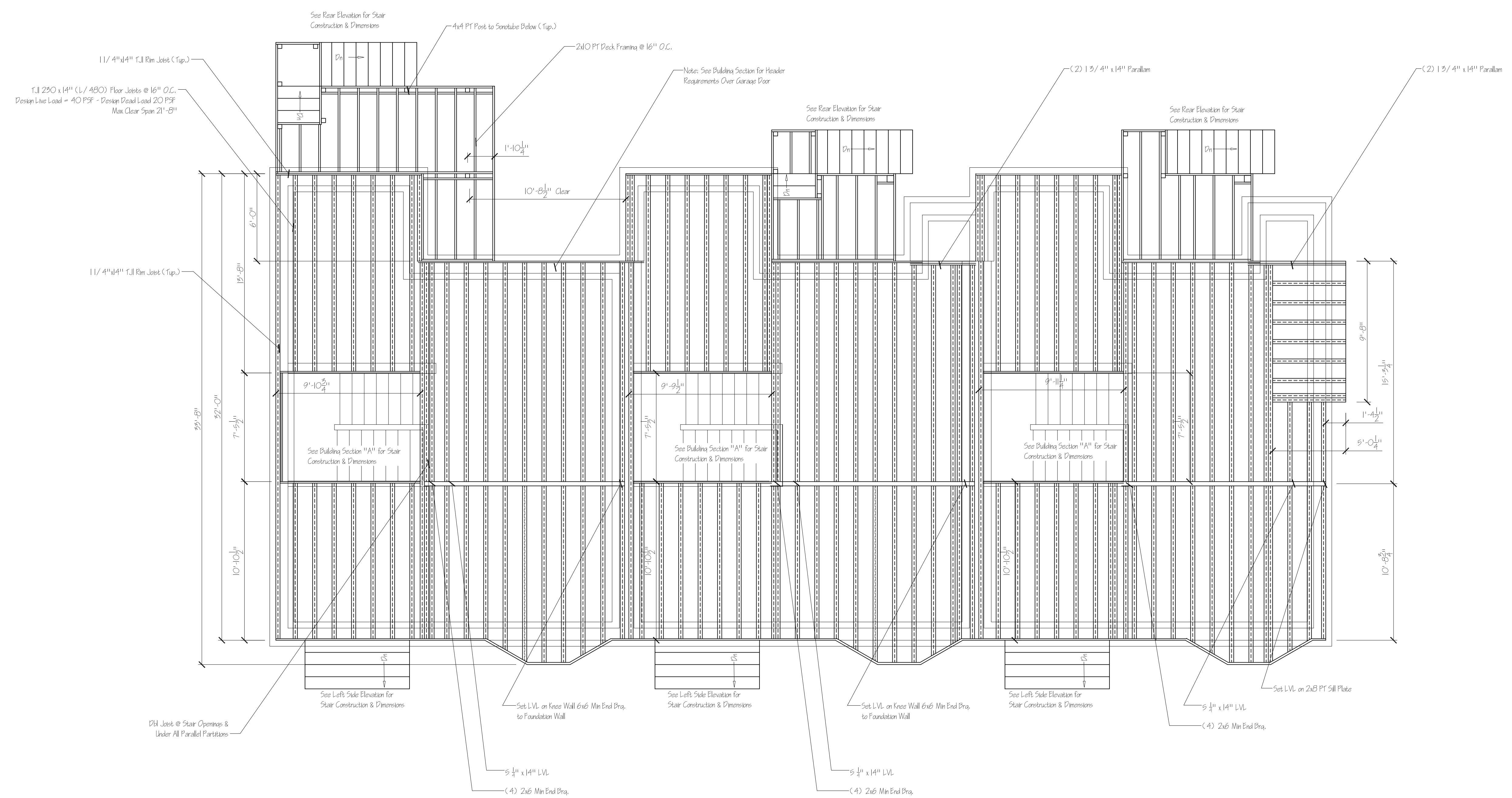


For Structural Review	DATE	08/30/08
DRAWN	M Lane	
CHECKED		
APPROVED		
SCALE	1/4" = 1'-0"	
JOB ORDER		
DRAWING SHEET	A-12	Rev. 1/17/08

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General Notes:
 1.) Double Floor Joists Under All Parallel Load Bearing Walls
 2.) Min. 2" Clearance @ Fireplaces & Chimney's

1st Floor Framing Plan
 1/4" = 1'-0"

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PROJECT FOR:
 Mariners Row Townhouses
 # 25 - # 29 Tying Street - Portland, Maine
 Developer
 Ron & Christine Spinella
 377 Cumberland Avenue
 Portland, Maine 04101

REV.	DESCRIPTION	DATE
C	Added Notes, Etc. Per Meeting with Mike Nugent	09/09/08
B	General Revisions to All Floor Plans. (Non Structural). Added Gas Fireplaces to All 2 Units, 1st Floor Only. Added garage under 29 Tying St. Unit.	09/08/08
A	No Structural Changes	09/30/04

STAMP

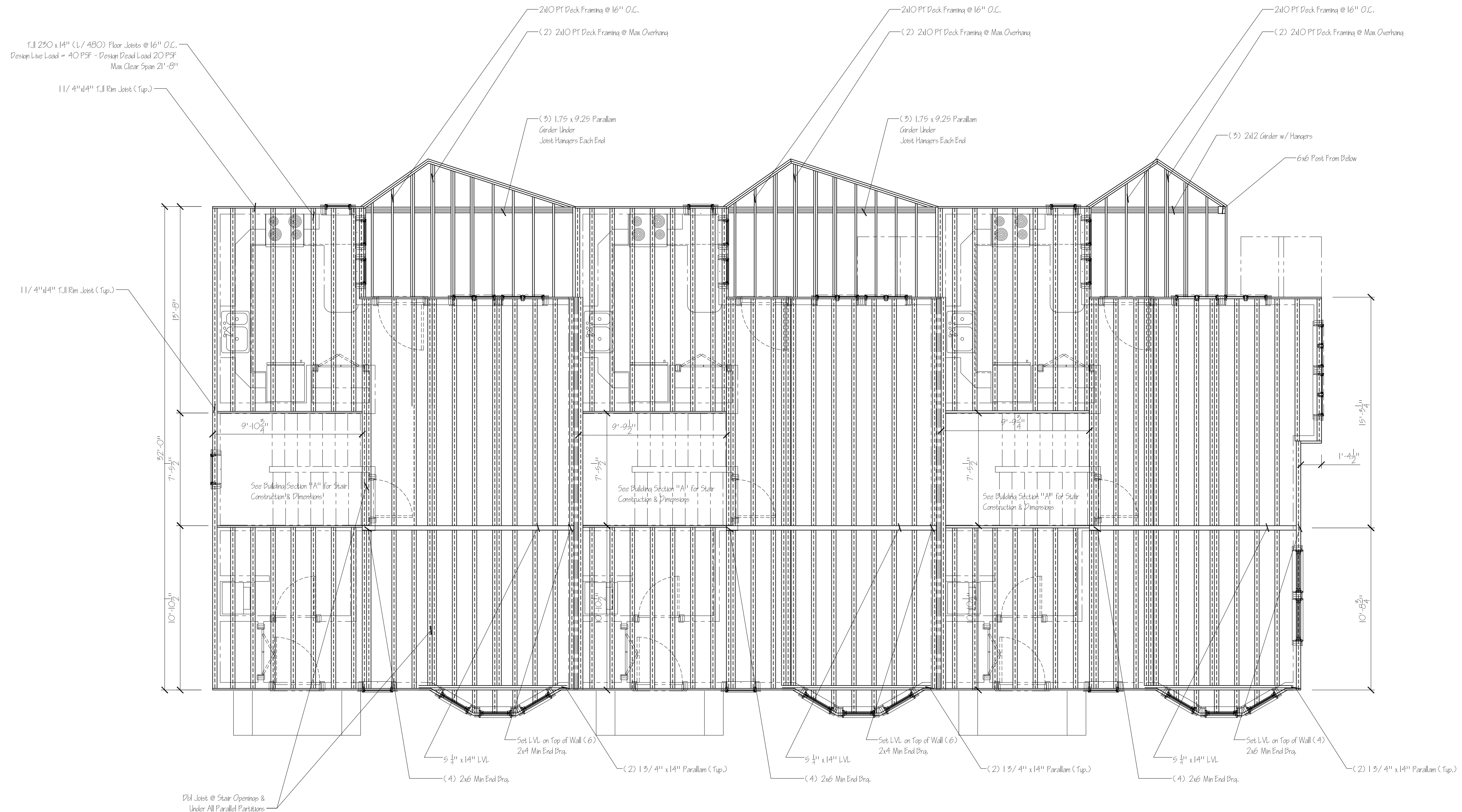
For Structural Review

DRAWN	M Lane
DATE	08.30.04
CHECKED	
APPROVED	
SCALE	1/4" = 1'-0"
JOB ORDER	
DRAWING SHEET	A-13

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2nd Floor Framing Plan
 1/4" = 1'-0"

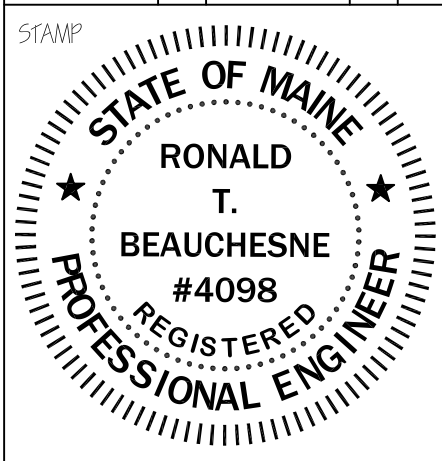
General Notes:
 1.) Double Floor Joists Under All Parallel Load Bearing Walls
 2.) Min. 2" Clearance @ Fireplaces & Chimney's

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 Developer:
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REV.	DATE	DESCRIPTION
C	09.09.09	Added Notes, Etc. Per Meeting with Mike Nugent.
B	09.08.09	General Revisions to All Floor Plans. (Non Structural). Added Gas Fireplaces to All 9 Units, 1st Floor Only. Added garage under 29 Tyng St. Unit.
A	09.30.04	No Structural Changes



FOR STRUCTURAL REVIEW
DRAWN: M Lane
DATE: 08.30.04
CHECKED:
APPROVED:
SCALE: 1/4" = 1'-0"
JOB ORDER:
DRAWING SHEET: A-14

